



Denman Island Local Trust Committee

Regular Meeting Agenda

Date: March 15, 2016
Time: 10:30 am
Location: Denman Seniors Hall
1111 Northwest Rd, Denman Island, BC

Pages

1. CALL TO ORDER 10:30 AM - 10:45 AM

"Please note, the order of agenda items may be modified during the meeting. Times are provided for convenience only and are subject to change."

2. APPROVAL OF AGENDA

3. COMMUNITY INFORMATION MEETING - none

4. PUBLIC HEARING - to start 10:45 AM

- 4.1 Recess for Public Hearing
 - 4.1.1 Bylaw Nos. 219 and 220
- 4.2 Recall to Order

5. CLOSED MEETING - approximately 90 minute session anticipated

- 5.1 Motion to Close Meeting

That the meeting be closed to the public in accordance with the Community Charter, Part 4, Division 3, s.90(1)(i) for the purpose of considering: the receipt of advice that is subject to solicitor-client privilege, including communications necessary for that purpose and that the recorder and staff attend the meeting.
- 5.2 Recall to Order
- 5.3 Rise and Report

6. TOWN HALL AND QUESTIONS - approximately 12:30 pm

7. MINUTES

- 7.1 Local Trust Committee Minutes dated January 12, 2016 4 - 12
- 7.2 Section 26 Resolutions-Without-Meeting Report dated March 3, 2016 13 - 14
- 7.3 Advisory Planning Commission Minutes - none
- 7.4 Marine Advisory Planning Commission Minutes - none

8. BUSINESS ARISING FROM MINUTES

- | | | |
|-----|---|---------|
| 8.1 | Follow-up Action List dated March 3, 2016 | 15 - 17 |
| 8.2 | Memorandum dated March 2, 2016 regarding Coastal Douglas-Fir and Associated Ecosystems Conservation Partnership (CDFCP) | 18 - 20 |

9. DELEGATIONS

- | | | |
|-------|--|---------|
| 9.1 | Marine Advisory Planning Commission regarding Report on Beach Accesses | |
| 9.1.1 | Report dated February 11, 2016 | 21 - 24 |
| 9.2 | Denman Community Land Trust Association (DCLTA) regarding Seniors Affordable Housing | |
| 9.3 | Simon Palmer for Denman Housing Association regarding Proposed Affordable Housing Project | |
| 9.3.1 | Email submission from Denman Housing Association | 25 - 27 |
| 9.4 | Denman Island Residents Association Marine Guardians Committee (DIRA MG's) regarding Marine Issues | |

10. CORRESPONDENCE

(Correspondence received concerning current applications or projects is posted to the LTC webpage)

- | | | |
|------|---|---------|
| 10.1 | Notice of License for Denman Island Community Boat Ramp | 28 - 30 |
| 10.2 | Denman Island Local Trust Committee Letter of Support dated January 29, 2016 to Comox Valley Regional District (CVRD) South Region Liquid Waste Management Plan | 31 - 32 |

11. APPLICATIONS AND REFERRALS

- | | | |
|--------|---|-----------|
| 11.1 | Bylaw No. 219 | 33 - 36 |
| | Bylaw No. 219 cited as "Denman Island Official Community Plan, 2008, Amendment No. 2, 2015" - for consideration of third reading and submission to Executive Committee and to the Minister of Community, Sport and Cultural Development for approval. | |
| 11.2 | Bylaw No. 220 | 37 - 40 |
| | Bylaw No. 220 cited as "Denman Island Land Use Bylaw, 2008, Amendment No. 3, 2015" - for consideration of third reading and submission to Executive Committee for approval. | |
| 11.3 | DE-ALR-2015.1 Denman Community Land Trust Association | |
| 11.3.1 | Staff Report dated January 25, 2016 | 41 - 73 |
| 11.4 | DE-DP-2015.3 (Devilliers - 8330 Owl Crescent) | |
| 11.4.1 | Staff Report dated March 2, 2016 | 74 - 128 |
| 11.5 | DE-DP-2015.4 (DeVilliers - 2201 Tristone Road) | |
| 11.5.1 | Staff Report dated March 2, 2016 | 129 - 161 |

12. LOCAL TRUST COMMITTEE PROJECTS

12.1 Denman Island Farm Plan

12.1.1 Staff Report dated February 3, 2016 162 - 274

13. REPORTS

13.1 Work Program Reports

13.1.1 Top Priorities Report dated March 3, 2016 275 - 275

13.1.2 Projects List Report dated March 3, 2016 276 - 277

13.2 Applications Report dated March 3, 2016 278 - 283

13.3 Trustee and Local Expense Report dated February, 2016 284 - 284

13.4 Adopted Policies and Standing Resolutions - none

13.5 Local Trust Committee Webpage

13.6 Chair's Report

13.7 Trustee Reports

13.8 Electoral Area Director's Report

13.9 Trust Fund Board Report - none

14. NEW BUSINESS

14.1 Land Use Consultation for Radio Communication Utilities

14.1.1 Memorandum dated January 5, 2016 285 - 294

14.2 Annual Comox Valley Regional District Meeting with Denman/Hornby Local Trust Committees

14.2.1 Letter dated January 6, 2016 295 - 299

14.3 Watercourse Mapping Concern

14.3.1 Correspondence regarding A and H Schmidt-Schweda 300 - 312

15. UPCOMING MEETINGS

15.1 Next Regular Meeting Scheduled for Tuesday, April 19, 2016 at 10:30 am at the Denman Seniors Centre, 1111 Northwest Road, Denman Island, BC

16. TOWN HALL

17. ADJOURNMENT



Denman Island Local Trust Committee Minutes of Regular Meeting

Date: January 12, 2016
Location: Denman Seniors Hall
 1111 Northwest Rd, Denman Island, BC

Members Present Susan Morrison, Chair
 David Critchley, Local Trustee
 Laura Busheikin, Local Trustee

Staff Present Rob Milne, Island Planner
 Vicky Bockman, Recorder

Others Present Approximately nine (9) members of the public - am
 Approximately one (1) member of the public - pm

1. CALL TO ORDER

Chair Morrison called the meeting to order at 10:32 am. She welcomed the public and introduced herself, Trustees, staff and recorder. She acknowledged that the meeting was being held in traditional territory of the Coast Salish First Nations.

2. APPROVAL OF AGENDA

The following additions to the agenda were presented for consideration:

- 7.3 Comox Valley Regional District (CVRD) Proposed Special Events Permit Bylaw No. 395
- 10.2 Memorandum dated January 7, 2016 re: Conducting a Public Hearing for File No. DE-RZ-2015.1 (Pandesign)

By general consent the agenda was adopted as amended.

3. TOWN HALL AND QUESTIONS

Theresa Wenner asked about the Islands Trust protocol regarding attributing names to comments made. She also asked if it is possible to change a special report through input provided subsequent to its receipt.

Chair Morrison explained that a name will always be included with a comment if it is so requested. Planner Milne explained that once the Local Trust Committee (LTC) receives a document, any change or amendment to that information would be addressed through creation of a separate document and not through an amendment to the received report.

Dean Ellis observed that he has not received a response from the LTC in answer to the questions he posed at the last meeting, and asked if a response would be forthcoming.

Trustees responded that Islands Trust staff monitors changes in provincial legislation and how those changes might affect the LTCs. They commented that the LTC has been advised to decline to discuss any matter that is currently in litigation or that has been litigated.

Doug Wright, a shellfish grower, asked how he can view the Islands Trust Forage Fish Habitat Map. He provided comments relative to draft Bylaw No. 207 (beach access and vehicular controls) and made the following points:

- approximately 65-70% of Denman Island beaches do not get driven on; 10% are rarely used, 20% are actively used and one-half of that is on gravel or rock;
- the area of greatest vehicular use is in the Hinton Road area;
- opening additional vehicular accesses in that area might help although there might be community concern expressed;
- working with Fisheries and Oceans Canada (DFO), medium and high value areas such as salt marshes and forage fish areas might be mapped and these areas could be protected through Shellfish Management Plans; and
- Shellfish Management Plan wording might be modified to restrict vehicular access for purposes of seeding and harvesting.

Trustees pointed out that the location of the Forage Fish Habitat Map is on the Trust Fund Board website and offered to send him the link to that site.

Dan Stoneman stated that several years ago Islands Trust staff made an agreement with the Agricultural Land Commission and Ministry of Agriculture to bring the Official Community Plan (OCP) and Land Use Bylaw (LUB) into compliance with provincial legislation. He asked why this has not happened and offered to provide written documentation of the agreement.

Trustees declined to respond, indicating that the LTC has been advised to decline to discuss any matter that is currently in litigation or that has been litigated.

David Graham encouraged the LTC to prioritize the review of the OCP and LUB regarding implementation of Denman Island Farm Plan work project. He also complimented the LTC on the recently produced publication, Secondary Suites & Cottages Guide for Homeowners and Builders.

4. COMMUNITY INFORMATION MEETING - none

5. PUBLIC HEARING - none

6. MINUTES

6.1 Local Trust Committee Minutes dated December 1, 2015 for adoption

By general consent the minutes were adopted.

6.2 Local Trust Committee Public Hearing Record dated December 1, 2015 for receipt

Received.

6.3 Section 26 Resolutions-Without-Meeting - none**6.4 Advisory Planning Commission Minutes - none****6.5 Marine Advisory Planning Commission Minutes**

The Marine Advisory Planning Commission January 5, 2016 meeting minutes were received.

7. BUSINESS ARISING FROM MINUTES**7.1 Follow-up Action List dated January 4, 2016**

Planner Milne reported that most projects are moving forward. He indicated that he will provide Trustees with a copy of the Follow-up Action List dated January 4, 2016.

7.2 Proposed Meeting with K'omoks First Nation

Planner Milne reported that a tentative date has been set for the meeting and that he will provide further updates as availability of other attendees is confirmed.

7.3 Comox Valley Regional District (CVRD) Proposed Special Events Permit Bylaw No. 395

Trustee Critchley noted that the CVRD proposed Special Events Permit Bylaw No. 385 exempts Denman Island from the bylaw. He suggested that the lack of regulation in this regard might be a cause for concern and questioned whether the LTC might want to consider requesting staff to investigate event bylaws in other areas or might consider the creation of a similar bylaw for Denman Island.

Trustees discussed the proposal with the following points noted:

- Lasqueti Island has chosen to restrict off-island advertising as an approach to the concerns relating to special events;
- Denman Island's proximity to a larger population might create concerns requiring other considerations;
- legal advice has led the CVRD bylaw to focus on public safety, not nuisance factors;
- the Denman Island Hall Committee has created security protocols that are working well; and
- learning how other islands are responding to this issue might be helpful.

DE-2016-001**It was MOVED and SECONDED,**

That the Denman Island Local Trust Committee request staff to examine the topic of Special Events bylaws and their frequency and nature on other Gulf Islands.

CARRIED

8. DELEGATIONS

8.1 Denman Community Land Trust Association regarding Agricultural Land Commission Application

Susan-Marie Yoshihara read a presentation on behalf of the Denman Community Land Trust Association (DCLTA), providing information on the background of DCLTA's request for exclusion from the Agriculture Land Reserve in order to build eight units of affordable housing for Denman Island seniors. She submitted the presentation for the record.

In response to a Trustee's inquiry, Planner Milne commented that there will be an opportunity for the LTC to provide a comment on the application which will likely be on the agenda for the next LTC meeting.

9. CORRESPONDENCE

9.1 Email dated December 1, 2015 from Graham Brazier regarding Bylaw No. 207

Received.

10. APPLICATIONS AND REFERRALS

10.1 Pesticide Use Permit Application (Ministry of Environment, Ecosystems Protection) - Response dated December 9, 2015

Received.

10.2 Memorandum dated January 7, 2016 re: Conducting a Public Hearing for File No. DE-RZ-2015.1 (Pandesign)

Planner Milne explained that the required restrictive covenant will be ready for review shortly and suggested March 15, 2016 as a possible date for community review at a Public Hearing. He explained that the reasons for the delay included legal review and development of language which has now reached consensus.

DE-2016-002

It was MOVED and SECONDED,

That the Denman Island Local Trust Committee proceed to a Public Hearing for Bylaw Nos. 219 and 220 to be held prior to the regular meeting of the Local Trust Committee to be held on March 15, 2016 and that copies of the draft restrictive covenant for the "receiving" property be available for public review.

CARRIED

11. LOCAL TRUST COMMITTEE PROJECTS

11.1 Marihuana for Medical Purposes Regulation

11.1.1 Staff Report dated November 9, 2015

Planner Milne advised that since the last meeting, staff have not received any further input from the community on this topic.

Chair Morrison recognized members of the public who wished to speak on this issue and the following points were noted:

- Theresa Wenner expressed her concerns for the record:
 - that the April, 2014 staff report is not an appropriate document to be used to frame this discussion as she feels that the tone and language are misleading and there are inaccuracies;
 - she requested removal of this issue from the Top Priorities;
- concern was expressed that the method of regulating by the number of plants is not appropriate as the potential impact of noise, light, and odor are not related to the number of plants; and
- opinions were expressed that the current bylaws provide adequate protection through setback, height, and lot coverage regulations.

Planner Milne observed that Bylaw Enforcement has identified a concern that current bylaws allow commercial horticulture as an accessory use on virtually every property on Denman. He suggested this issue might be reviewed within the context of the consideration of the production of medical marihuana on Denman Island.

Trustees considered the approach to take on this matter and the following points were noted:

A Trustee observed that:

- research has shown that other communities regulate by number of plants;
- the current political situation might encourage an increase in production resulting in impacts to small lot neighbours and possible legal, non-conforming status for operators;
- regulation to protect small lot neighbours from potential impacts is a time-sensitive matter;
- staff might be requested to investigate and report on what other communities are doing on this issue.

Other LTC members noted that:

- commercial horticulture is of greater concern than what is being grown;
- regulating by number of plants might negatively impact growers who are required to base the production levels on the number of patients and type of medical marihuana;
- there is time to consider the options as new permits for medical marihuana operations are not being issued at this time and current regulations would address large operations.

DE-2016-003

It was MOVED and SECONDED,

That the Denman Island Local Trust Committee request staff to investigate a report on the practices and policies of other municipal jurisdictions in British Columbia in the regulation of marihuana growing in residential areas.

During discussion, the following was noted:

- a Trustee inquired as to staff time that might be required to produce such a report, the impact on other projects and a possible timeline for producing the report;
- Planner Milne provided an indication of the process that might be expected and estimated the time to complete such a report.

The question on the motion was then called,

DEFEATED
Trustee Busheikin Opposed
Chair Morrison Opposed

11.1.2 Email dated December 1, 2015 from Keith Porteous

Received.

12. REPORTS

12.1 Work Program Reports

12.1.1 Top Priorities Report dated January 4, 2016

Planner Milne presented the Top Priorities report. He noted that the Marine Issues project has not been established as a budgetary item and suggested that the LTC might give consideration to identifying a Marine Issues budget. Possible expenditures, timing and process for budget requests were discussed.

A Trustee indicated a desire to discuss possible changes to the Top Priorities and Project Lists prior to continuation of the Marine Issues budget discussion.

DE-2016-004

It was MOVED and SECONDED,

That the Denman Island Local Trust Committee move from the Projects List the item regarding the Farm Plan Implementation to the Top Priorities List and add to it as an Activity “Include consideration of limiting commercial agriculture and horticulture in high density small lot neighbourhoods” and remove from the Top Priorities List Item 5 regarding Medical Marihuana.

During Discussion the following was noted:

- A Trustee expressed concern regarding the length of time to complete this initiative, in particular, the consideration of limiting commercial agriculture and horticulture in high density small lot neighbourhoods;
- A Trustee noted that if the Farm Plan is not given prioritization, a review and update might be necessary prior to implementation;
- Planner Milne observed that the Farm Plan includes a specific set of recommendations that would not be onerous to review and implement; and that
- a consultation with the community on the added activity might be a first step to consider in working on this Farm Plan Implementation project.

The question on the motion was then called,

CARRIED

12.1.2 Projects List Report dated January 4, 2016

Trustee Busheikin suggested the inclusion of an additional Projects List item for consideration.

DE-2016-005

It was MOVED and SECONDED,

that the Denman Island Local Trust Committee add to the Projects List “Review effectiveness of Secondary Suites and Cottages Bylaw”.

Trustee Busheikin spoke to the motion, noting that:

- comments have been expressed that the Temporary Use Permit (TUP) aspect of the regulation is a deterrent;
- she noted that there have been no TUP applications; and
- she supports a review of the regulation at some point for LTC evaluation of its effectiveness.

The question on the motion was then called,

CARRIED

12.2 Applications Report dated January 4, 2016

Planner Milne summarized the Applications Report and advised that the report has been produced with a new data base system and omitted fields will be corrected.

Trustees observed that some applications have been on the report for a long time and suggested that a report from Bylaw Enforcement on those applications might be useful prior to a determination of next steps in those cases.

DE-2016-006

It was MOVED and SECONDED,

that the Denman Island Local Trust Committee request the Bylaw Enforcement Manager to provide an update on Bylaw Enforcement on File Nos. DE-DVP 2011.1, DE-SUP-2009.14, and on DE-DP-2006.2.

Trustee Critchley declared a potential conflict of interest due to his position as a neighbour to one of the properties identified and abstained from voting.

CARRIED

12.3 Trustee and Local Expense Report dated December, 2015

Received.

12.4 Adopted Policies and Standing Resolutions

Trustees noted that the policies on the report are no longer required.

DE-2016-007

It was MOVED and SECONDED,

that the Denman Island Local Trust Committee request staff to remove the references to enforcement policy on guest accommodation from the Policies and Standing Resolutions report.

CARRIED

12.5 Local Trust Committee Webpage

Trustees requested that the Denman Island Secondary Suites & Cottages Guide for Homeowners and Builders be added to the website.

12.6 Chair's Report

Chair Morrison commented that the Executive Committee is working to bring a First Nations workshop to the Trust Council meeting in March.

12.7 Trustee Reports

Trustee Busheikin reported on the following:

- a site visit to the DCLTA seniors affordable housing project;

- Trustee Office Hours in December;
- distribution of the new brochure on cottages and suites to realtors and others and a report on feedback;
- attendance at a meeting of the Housing Sub-Committee for the Local Planning Committee where a housing forum is being planned to share information with a group representing a variety of communities; and
- attendance at the Denman Island Residents Association meeting where it was reported that the Guardians of Denman Shores are applying for a grant for an education project relating to protection of the foreshore.

Trustee Critchley reported on the following:

- attendance at the Trust Council held in Victoria;
- attendance at the Marine Advisory Planning Commission's initial meeting to discuss the Beach Access and Vehicular Controls referral;
- Trustee Office Hours; and
- researching marihuana growing regulations in other jurisdictions.

12.8 Electoral Area Director's Report - none

12.9 Trust Fund Board Report - none

13. NEW BUSINESS - none

14. UPCOMING MEETINGS

14.1 Trustees confirmed that the next regular meeting is scheduled for Tuesday, March 15, 2016 at 10:30 am at the Denman Seniors Centre, 1111 Northwest Road, Denman Island, BC.

A Public Hearing for Bylaw Nos. 219 and 220 is scheduled to be held prior to the regular meeting of the Local Trust Committee on March 15, 2016.

15. TOWN HALL - none

16. CLOSED MEETING - none

17. ADJOURNMENT

By general consent the meeting was adjourned at 12:35 pm.

Susan Morrison, Chair

Certified Correct:

Vicky Bockman, Recorder

Resolutions Without Meeting

Denman Island

Resolution #	Action	Resolution Description	Resolution Date
2016-01	In Favour	"THAT the Denman Island Local Trust Committee instruct staff to advertise for expressions of interest for the Marine Advisory Planning Commission (MAPC) in order to fill the current vacancies."	18-Jan-2016
2016-02	In Favour	"THAT the Denman Island Local Trust Committee requests a revision to the draft 2016-17 budget to include \$6,500 for Farm Plan Implementation and to remove the prior request for \$6,500 for Downtown Village Vision."	21-Jan-2016
2016-03	In Favour	"THAT the Denman Island Local Trust Committee request staff to prepare a letter for signature by the Chair to the Comox Valley Regional District, attention Kris LaRose, indicating the support of the LTC for the South Sewer Project with its outfall at Cape Lazo as currently proposed. The letter is to include the points: 1) that Baynes Sound is within the Trust Area of the Islands Trust, 2) that Baynes Sound is a complex ecosystem of great significance for many life-forms including migratory birds, salmon, herring, forage fish and shellfish, 3) that the ecosystem of Baynes Sound and its substantial shellfish aquaculture industry are at risk of damage from the pollution of failing septic systems in the vicinity, 4) that various cited provisions of the Trust Policy Statement and the Denman Island Official Community Plan are supportive of the sewer project initiative."	28-Jan-2016
2016-04	In Favour	"THAT the Denman Island Local Trust Committee adopt Bylaw No.216 cited as "Denman Island Land Use Bylaw 186, Amendment No. 1, 2015"	28-Jan-2016
2016-05	In Favour	"That the Denman Island Local Trust Committee request staff to prepare a letter for signature by the Chair to the Chief and Council of the K"omoks First Nation thanking them for hosting a meeting at the K"omoks Band Office on Tuesday, February 2, 2016, and that the Chair of the Hornby Island Local Trust Committee be asked to cosign the letter."	05-Feb-2016
2016-06	In Favour	"THAT the Denman Island Local Trust Committee request staff to prepare a letter, for the signature of the Chair, thanking Sarah Cavanagh for facilitating the recent meeting with the K"omoks First Nation."	11-Feb-2016



Resolutions Without Meeting

2016-07

In Favour

"That the Denman Island Local Trust Committee authorize the expenditure of up to \$140.00 from the Local Expense Budget for the purpose of advertising in the 2016 Denman Island Telephone Directory."

26-Feb-2016

Follow Up Action Report

Denman Island

20-Jan-2015

No.	Activity	Responsibility	Target Date	Status
1	that staff work on the Housekeeping Project as their time permits	Rob Milne		On Going

03-Mar-2015

No.	Activity	Responsibility	Target Date	Status
1	Staff were directed to advertise for membership in a Board Of Variance appointed jointly with other local trust committees in the Northern Region.	Lisa Webster-Gibson		On Going

27-Oct-2015

No.	Activity	Responsibility	Target Date	Status
1	DE-2015-072 that the Denman Island Local Trust Committee submit Bylaw No. 212 to Executive Committee for approval. - done DE-2015-073 that the Denman Island Local Trust Committee submit Bylaw No. 212 to the Minister of Community, Sport and Cultural Development for approval.- done	Becky McErlean Rob Milne		Done

01-Dec-2015

No.	Activity	Responsibility	Target Date	Status
1	that the Denman Island Local Trust Committee direct the Chair to prepare a letter to the Ministry of Transportation and Infrastructure and to the Comox Valley Regional District expressing the concern of the Committee with regard to completing the trail on the ferry hill and urging action be taken.	Rob Milne		Done

Follow Up Action Report

- | | | | |
|---|--|-----------|----------|
| 1 | that the Denman Island Local Trust Committee receive the Coastal Douglas Fir Conservation Strategy and defer consideration of becoming a signatory to the Collaboration Statement until we have reviewed a copy of the same. | Rob Milne | On Going |
|---|--|-----------|----------|

12-Jan-2016

No.	Activity	Responsibility	Target Date	Status
1	staff requested to examine the topic of Special Events bylaws and their frequency and nature on other Gulf Islands.	Rob Milne		On Going
1	That the Denman Island Local Trust Committee proceed to a Public Hearing for Bylaw Nos. 219 and 220 to be held prior to the regular meeting of the Local Trust Committee to be held on March 15, 2016 and that copies of the draft restrictive covenant for the receiving property be available for public review.	Becky McErlean Rob Milne		On Going
1	That the Denman Island Local Trust Committee move from the Projects List the item regarding the Farm Plan Implementation to the Top Priorities List and add to it as an Activity Include consideration of limiting commercial agriculture and horticulture in high density small lot neighbourhoods and remove from the Top Priorities List Item 5 regarding Medical Marihuana.	Rob Milne		Done
1	that the Denman Island Local Trust Committee add to the Projects List Review effectiveness of Secondary Suites and Cottages Bylaw.	Rob Milne		Done

Follow Up Action Report

1	The Denman Island Local Trust Committee requests the Bylaw Enforcement Manager to provide an update on Bylaw Enforcement on File Nos. DE-DVP 2011.1, DE-SUP-2009.14, and on DE-DP-2006.2.	Miles Drew	On Going
1	The Denman Island Local Trust Committee requests staff to remove the references to enforcement policy on guest accommodation from the Policies and Standing Resolutions report.	Becky McErlean Rob Milne	Done

28-Feb-2016

No.	Activity	Responsibility	Target Date	Status
1	THAT the Denman Island Local Trust Committee request staff to prepare a letter for signature by the Chair to the Comox Valley Regional District, attention Kris LaRose, indicating the support of the LTC for the South Sewer Project with its outfall at Cape Lazo as currently proposed.	Susan Morrison Ann Kjerulf		Done



Memorandum

700 North Road Gabriola Island BC V0X 1X3

Telephone (250) 247.2203 FAX: (250) 247.7514

Toll Free via Enquiry BC in Vancouver 660-2421. Elsewhere in BC 1.800.663.7867

northinfo@islandstrust.bc.ca www.islandstrust.bc.ca

Date: March 2, 2016

File No.: 5450-30

To: Hornby Island Local Trust Committee
For meeting of March 15, 2016

From: Rob Milne, Island Planner

Re: Coastal Douglas-Fir and Associated Ecosystems Conservation Partnership (CDFCP)

At the December 1, 2015 meeting of the Denman Island Local Trust Committee the following motion was adopted:

That the Denman Island Local Trust Committee receive the Conservation Strategy and defer consideration of becoming a signatory to the Statement of Collaboration until we have reviewed a copy of the same.

A copy of the Statement of Collaboration was not provided along with the briefing materials received from the Trust Fund Board which were reviewed at the December 1st meeting. A copy of the Statement is attached to this memo.

STATEMENT OF COOPERATION for the COASTAL DOUGLAS-FIR AND ASSOCIATED ECOSYSTEMS CONSERVATION PARTNERSHIP (CDFCP)

We believe that:

1) *biodiversity is a key component of Canada's national heritage.*

Both Canada and British Columbia have made international and national commitments to conserve biological diversity. Biodiversity includes all species and ecological communities and the interactions between them and has both inherent and economic values that justify its conservation. We are committed to preserving this rich component of our national heritage for future generations.

2) *the Coastal Douglas-fir Biogeoclimatic Zone is a unique and special place.*

The Coastal Douglas-fir biogeoclimatic zone (CDF zone) is unique and found almost exclusively in British Columbia. It is an area of extremely rich biological and ecological diversity and supports species and ecosystems that do not occur elsewhere in Canada. It has international significance because of its limited range in North America. This zone is also home to an increasing number of people drawn by the quality of life and the mildest climate in Canada. This area supports a wide range of agricultural, forestry, mining, recreation and tourism activities.

3) *the future integrity of the Coastal Douglas-fir and Associated Ecosystems is threatened.*

We will not take the future health of the Coastal Douglas-fir and Associated Ecosystems (CDFAE) for granted. Although the area's economic wealth has long been based on its abundant natural resources, population growth and associated human activities now threaten the natural environment which has made it so special and attractive. There are 43 Red and Blue-listed ecological communities in the CDF zone alone and 278 species at risk, of which 107 are listed by COSEWIC and 99 are listed under the federal Species At Risk Act (SARA) (BC CDC, 2012)

4) *it is not too late to secure the ecological integrity of the CDFAE for future generations.*

All the necessary elements of a Conservation Partnership are in place. Governments, non-government organizations, community groups and individuals are aware of the many conservation issues facing the CDFAE and recognize the need to preserve this special place. There is adequate scientific information to make informed decisions. We are strongly committed to cooperation and partnership for conservation of the CDFAE.

5) *protecting this special place is our shared responsibility.*

With this *Statement of Cooperation*, we are focusing the energies and efforts of an emerging Conservation Partnership so that we can make a coordinated contribution toward addressing the conservation issues facing the CDFAE. We wish to engage the considerable skills, energy and resources of our governments, ENGOs, community groups, educators, youth, workers, industry and business. We intend to work through cooperative mechanisms currently in place to inform and involve others. This will produce an open and transparent process of establishing priorities, identifying opportunities for effective cooperative action, and measuring progress. We will work with, and be guided by, existing conservation planning initiatives that affect conservation of the CDFAE.

6) *the Aboriginal peoples of the Coast play a special role in the future of the natural system.*

Through their long historical relationship with the lands and resources, the Aboriginal peoples of the CDFAE have acquired a special knowledge. To conserve and protect the area, we will work closely with the Aboriginal peoples of the CDFAE, so their unique perspective can contribute to our common efforts.

7) we will build on the progress made to date.

In our efforts to work closely together for the future of the CDFAE, we will build on the conservation activities and working relationships that have already been established in the area. Many programs and initiatives have protected portions of the landscape, implemented successful stewardship projects, created conservation plans, produced research results, and produced an array of informative publications.

We intend to work together to facilitate practical and effective conservation of the CDFAE

This *Statement of Cooperation* states our shared principles, goals and challenges. It provides a framework for collaboration on future initiatives through this Conservation Partnership, and will establish common priorities and a means to coordinate many of the initiatives already underway. We will be guided by our Terms of Reference, we will cooperate in an open and accountable manner, translate our commitments into actions, and monitor our progress. Research, monitoring and evaluation activities will provide new information and we are committed to considering and incorporating new information in our conservation approaches, priorities and management.

In working together towards the goals set out in this Statement of Cooperation, we welcome the ideas and efforts of all residents and organizations concerned about the future of the CDFCP. It is our intention to add new signatures to the Statement of Cooperation as new partners adopt the principles outlined in this document.

[Signature]

Name
Position
Affiliation

[Signature]

Name
Position
Affiliation

[Signature]

Name
Position
Affiliation

Denman Island Marine Advisory Planning Commission Report, Feb. 11/16

Re: Denman Is. Local Trust Committee Referral DE-2015-094, Beach Access & Vehicular Controls

“that the Denman Is. LTC direct the Marine Advisory Planning Commission to investigate and report on the possibilities for improving existing beach accesses to reduce the impact of Bylaw No. 207 on shellfish growers such to include: 1) the identification of growers who use vehicles on the beach and 2) the physical suitability of existing access points to provide access to those growers.”

Summary of Beach Access Assessment:

Public beach rights-of-way (ROW) on the west side of Denman Island were located using the **Denman Island OCP Bylaw 185, Schedule F, Beach Rights-of-Way** map provided to the MAPC and an old Emergency Services map that identified the street/driveway numbers that corresponded with lot numbers at the ROW notations.

We set out on foot to walk the ROW using property survey pins, where available. We also referred to the Advisory Transportaion Committee Report (ATC Report), Jan.13, 1998 which had been provided by Planner Milne.

Notations: We assessed each beach ROW for suitability to be developed as a foot access and road access and have notated each using these abbreviations:

SFA – suitable for foot access

NSFA – not suitable for foot access

SRA – suitable for road access

NSRA – not suitable for road access

1. Reginald Road: SFA (already exists), NSRA
See ATC Report, 1998- “*an easy and well used existing access. Path from cul-de-sac down to the water's edge*” Old growth forest on ROW - recommend remaining a footpath.
2. Repulse Point: NSFA, NSRA
See ATC Report, 1998 – “. . . *not useable as a beach access. (it fronts a cliff which is badly eroded)*”
3. Dusty Road: SFA (already exists), NSRA
This access already provides a footpath to the beach. However, the ROW goes through fish bearing stream habitat of Valens Brook at the ditch entry point (this may be part of the RAR) and for this reason it isn't suitable for development of a road access.
4. Hinton Road: SFA (already exists), SRA (already exists)
Existing road provides both foot and vehicle access to the beach.
5. Plett Road: NSFA, NSRA
ROW runs through wetland and there is a very steep, unstable bank at the bottom just above the beach.
6. Tanner Road: NSFA, NSRA
See ATC Report, 1998 – “*the area contains a wetland and what appears to be several old growth trees (very natural, very beautiful) . . . Recommendations: designate as a conservation area*”
7. Largo Road: SFA, NSRA
Footpath may be viable. The Beach ROW parallels the existing driveway (shared by two properties) which appears to be partially on the ROW. Development of this access would be redundant as growers have permission and do use the existing driveway. Also, there are many old growth trees (cedar, fir and balsam) that may need to be removed if it were developed.
8. McFarlane Road: NSFA, NSRA
Flat terrain for approx. 10 metres, then sheer cliff to beach.
9. Lacon Road South: NSFA, NSRA
Sheer cliff to beach at entry of ROW.
10. Undesignated Beach ROW: SFA (already exists), NSRA

Existing footpath on west side of Lacon Rd. Path entry approx. 1 metre south of mailboxes, between Hydro Poles #44 & #45, north of 'Taj Mahal'/blue bicycle. Referred to as the 'garden pull-out' by locals.

11. Lacon Road North: NSFA, NSRA
Approx. 5 – 10 metres from entry of ROW there is a sheer cliff drop to the beach.
12. Millard Road: SFA (already exists), SRA (already exists)
13. Glen Ghorm Road: NSFA, NSRA
Thick brush, mature trees, old creek bed, long steep access goes through benches until it reaches a steep, cliff drop to the beach. ATC Report, 1998 – “. . . it reaches the cliff where the grade is steep (60 degrees).”
14. Eastcliffe Road: NSFA, NSRA
An old, gently sloping skidder road with light brush and trees until it nears the beach where it becomes thickly brushed, with a steep cliff to the beach.
15. Westcliffe Road: NSFA, NSRA
Possible encroachment from private driveways, light brush and mature trees with gentle slope, until nearing beach where it becomes a steep cliff.
16. Dixon Road: SFA (already exists but needs improvement @ beach), NSRA
Starts at the bend in Tronson Rd. Existing, well maintained trail (10 min. walk) on easy slope. When it nears the beach it turns into a deer trail and heads north fronting private property to traverse the steep bank to the beach. This footpath needs possible reconfiguring to avoid private property at the beach and improvement to make it more useable and safe. See ATC Report, 1998, #11.
17. Dustin Road: SFA (already exists but needs improvement), NSRA
Possible encroachment by private driveway, deer trails, follows old split_rail fence, wetlands, then heavy brush, making it impossible to access beach unless you trespass. This footpath needs possible reconfiguring to avoid private property and improvement to make it more useable and safe. See ATC Report, 1998, #12 – description + “. . . this access should be compared with that described in #11 [Tronson/Dixon Road] to determine which might prove the best neighbourhood access as they are quite close to one another.”
18. Kelsey Road: NSFA, NSRA
Entry at the end of existing MOTI maintained road, wall of blackberry vines, seasonal creek on north side of hydro poles, was cleared at one time (Hydro/Telus?) but becomes too steep for foot or road access near the beach.
19. Denman Road West: SFA (already exists), NSRA
The entry to this access is at the road/ferry parking lot on north side of Denman Terminal, fronts the upland properties in that area. There is an existing muddy footpath which connects to Kirk Road access. There is a steep bank on the upland side of the ROW with possible erosion issues if developed. The ROW is short, and development for a road access would not result in a significant gain from the already existing access at the ferry terminal.
20. Kirk Road: NSFA, NSRA
Good footpath for approx. 20-30 metres then a very steep drop-off to the beach.
21. Piercy Road: SFA (already exists), NSRA
Grade looks like it could possibly be developed as a road, traversing the full width of the ROW, but would necessitate cutting into the bank creating possible erosion issues and would likely be costly. Also, this is a large piece of waterfront property (as wide as two lots in the subdivision) and a roadway may not be the best use. We recommend that it be designated for neighbourhood/community/public use. The 1998 ATC Report also suggested this. As well, we note, there was strong resident opposition in the last few years to proposed development as a seniors housing project.

22. Scott Road: SFA (already exists), SRA (already exists)
Already developed as a road to beach with a partial footpath that follows a small seasonal creek/run-off, which could be improved.
23. McNabb Road: NSFA, NSRA
Flat road and footpath from Nixon Road until you reach a cliff edge with sheer drop of approx. 60-80 feet. Access from Northwest Road would necessitate clearing of brush & forest with a bridge over a seasonal creek and ultimately leads to the same cliff drop to the beach.
24. Dunn Road: NSFA, NSRA
From Northwest Road there is a drop of approx. 15 feet to a plateau with a level footpath for approx. 75 metres where you reach a steep drop-off to the beach. There is a trail with a rope to aide people on foot to navigate the steep drop-off to beach.
25. Lance Road: SFA (already exists), NSRA
ROW approx. 33 feet wide. Existing footpath developed but too steep for a road access.
26. Kodak Road: NSFA, NSRA
Heavy brush and forest from road. Steep cliff drop-off to beach.
27. Whitney Road: NSFA, NSRA
Rise from road leading to a steep cliff drop-off.
28. Gladstone Road: SFA (already exists), NSRA
See ATC Report, 1998. Additional to this assessment, we found the drop-off to the beach is steep. However, it is doable by foot and there is an existing footpath which could be improved.
29. Runkle Road: NSFA, NSRA
See ATC Report, 1998 – Komas Ranch. Danes Creek appears to cross public access with vigorous flow, than through thick brush and forest to steep cliff drop-off to beach.

Survey of Shellfish Tenure Owners Re: Driving on the Beach:

Each tenure owner on the west side of Denman was contacted either by phone and/or email, using the list provided by Shelley Jepps, DFO. They were each asked the question: *Do you use a vehicle on the beach?*

Total growers contacted:	35
Total growers that responded:	22
<u>YES</u> - they drive on the beach	6 (5 of these said they had boats)
<u>YES</u> - with additional info	2 (1 commented, “only rarely” and 1 commented “Once or twice a year only & we have a boat”)
<u>NO</u> - don’t drive on beach	13 (all commented they have a boat)
No longer have tenure	1
No answer, no msg syst.	3
No response (left a msg & call back #, still no response)	5
Phone message ‘out of service’	5

Conclusion:

Our investigation of the Beach ROW's found over all, those that aren't already developed are unsuitable to be developed for foot or road access. There are a couple of exceptions:

1. Largo Road [#7] could be developed as a footpath.
2. Piercy Road [#21] could be developed as a road access but, for the reasons we cited, we don't recommend it.

There are four existing footpaths (Scott Road [#22], Gladstone Road [#28], Dixon Road [#16] and Dustin Road [17]) that could be improved for ease of use and safety. The Advisory Transportation Committee Report, 1998 suggests that the Dixon and Dustin Road accesses are close enough together that both might not be necessary and they could be compared to determine which would be the best option for improvement. We also note that there is an undesignated footpath [#9] to the beach which locals refer to as the 'garden pull-out'.

We spoke with the Emcon road foreman re: location of some of the beach ROWs. He mentioned that the cost for MOTI to develop a road is approx. \$1,000 per metre.

Shelley Jepps of DFO provided us with a list of thirty-five licence holders on the west side of Denman Is. from Henry Bay to Chrome Island. We contacted all thirty-five by email and/or phone to ask the question: *Do you use a vehicle to access your tenure?* Twenty-two of the thirty-five responded.

Of the twenty-two respondents, there were a total of eight that confirmed they used a vehicle to access their tenures. Seven of these eight volunteered the information that they owned a boat and another one commented that it was "rare" that they used a vehicle.

Of the thirteen that didn't respond, five had phone numbers that were 'out of service' and five were left a detailed message and contact info to return the call, but didn't. The remaining three didn't answer the call and there was no message system to leave a message. Of the three 'no answers', two of these had email contacts and were also emailed, but didn't respond to the email.

From: Simon Palmer [REDACTED]
Date: January 13, 2016 at 9:48:04 PM PST
To: Laura Busheikin <lbusheikin@islandstrust.bc.ca>, DCritchley@islandstrust.bc.ca
Cc: [REDACTED]
Subject: Fwd: Affordable Housing Land, the OCP & Islands Trust

Laura, David,

It is very clear from the forwarded email that the burden on time/cost is significant on the applicant, with no indication of approval realizable until after the process has been undertaken. Surely, if the island needs affordable housing of any/all kinds, which I believe all agree it does, then the LTC v applicant positions need to be reversed?

In other words LTC letting it be known that if the applicant satisfies certain criteria then the project will be approved.

May I gently suggest, time to lead on this?

I am told that Hornby's ISLA only happened because a Trustee over there made it her goal to see it happen.

Over to you, literally.

Simon

Mr Rob Milne,
Denman Island Planner,
Islands Trust

January 8 2016

Rob,

Further my letter of January 4 and our conversation yesterday regarding the above & our request for clarification as to whether density transfers for the purpose of acquiring land for affordable housing are permitted under the OCP.

Would I be correct in understanding from you that while such transfers are not precluded by the OCP, neither are they specifically permitted, in other words the matter is simply not addressed?

As may be seen in Policy 11 of Section E.1 of the "Housing Policies" of the OCP below the OCP does give favourable consideration to affordable housing notwithstanding the density cap. What is not clear from this policy is whether the intent of this policy anticipates an increase in residential densities to compensate a property owner who is donating land to a society for the purposes of developing affordable housing, which would represent an increase in density not otherwise supported by the OCP. As we had discussed the answer to this question will likely depend upon the level of community support or opposition to this approach.

Policy 11 The overall residential density on Denman Island should generally not increase beyond that permitted by existing zoning on the date this Plan was adopted except that an increase of approximately 5 percent may be permitted to accommodate zoning amendments for special needs and affordable housing, secondary dwelling units approved by the Denman Island Local Trust Committee under a Temporary Use Permit and site-specific zoning amendment applications under Policy 29 of this Section.

In which case do I recall correctly that you recommended we perform our due diligence on the project, present it to the community, ensure we have answers to the inevitable & reasonable questions and then approach the Local Trust Committee to obtain the rezoning, density transfers etc as needed & described in my letter of January 4?

I am of the opinion that when considering a project that involves significant costs and regulatory processes it is always prudent to confirm the physical capability of the subject property to support the development in question prior to the significant expenditure of funds and other resources. In this particular case the ability of the lands to support on-site waste disposal and the availability of potable water are critical issues. It should also be noted that the lands proposed to "up-zoned" as part of the exchange would also have to be capable of supporting the anticipated level of density.

For the record you kindly defined 'due diligence' in this regard as:

- land survey of both the proposed affordable housing property and that receiving the compensatory densities
- proving water in accordance with VIHA requirements
- proving septic treatment soil suitability to VIHA standards
- preparing a site plan for the 20 unit development on the 10 acre parcel
- showing that RAR will be met minding there are wetlands on the property
- providing for road access per regulations based on the development definition
- estimating the cost of hydro to the development
- costing construction & associated infrastructure and identifying sources of financing for the whole
- providing a cashflow projection showing the ongoing viability of the project

I believe that list captures the significant issues that will have to be considered. I would note that a draft survey plan, which does not involve setting pins, would be adequate for the initial review. As for the cashflow projection, this is a useful tool for the proponents but not one which is required by the LTC.

I would note that most of these items would be considered necessary to form a "complete" application to the Islands Trust. I would also point out that having this information available to present to the public at a

DCLTA sponsored open house prior to making an application would be most useful to the DCLTA in determining the level of community support/concerns regarding the project.

I would be most grateful for your confirmation or otherwise correction of the above before our Association considers its next best move.

Regards

Simon Palmer

From: Biss, Barb FLNR:EX [<mailto:Barb.Biss@gov.bc.ca>]
Sent: Wednesday, January 27, 2016 11:58 AM
To: BCA Vancouver Island Assessment Region BCA:EX
Cc: Rob Milne
Subject: 1414342 letter of Delivery

Please see attached.

Barbara Biss
Land Officer
Ministry of Forests, Lands and Natural Resource Operations
142 – 2080 Labieux Rd
Nanaimo BC V9T 6J9
Phone No. 250-751-7256
Fax No. 250-751-7224
Email. Barb.biss@gov.bc.ca



January 27, 2016

File: 1414342

THE DENMAN ISLAND RESIDENTS ASSOCIATION
PO Box 17
Denman Island BC V0R 1T0

Dear Sir/Madam:

Enclosed is originally executed Licence No.V919884, covering Those parts of District Lot 257 and Government Wharf at Denman Island, all within Nanaimo District, containing 0.091 hectares, more or less

This Licence is issued in the name of THE DENMAN ISLAND RESIDENTS ASSOCIATION, commencing the 11th day of January, 2016, for a 2 year term for community boat ramp purposes.

Should you have any further questions, please contact me at (250) 751-7256.

Yours truly,

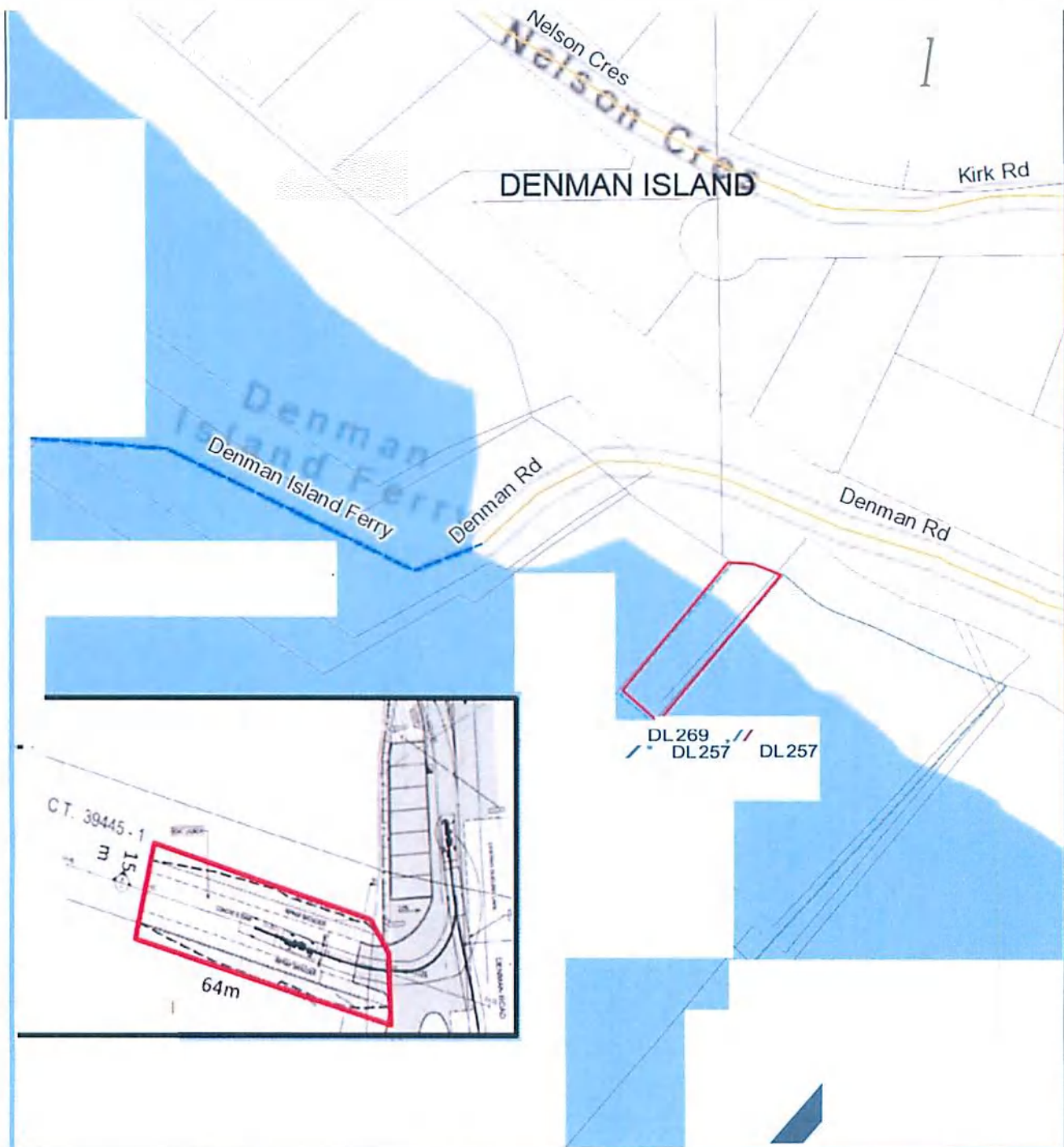
Barbara Biss
Land Officer

Enclosures

pc: BC Assessment Authority, Vancouver Island
Island Trust, Northern Island Office

LEGAL DESCRIPTION SCHEDULE

LEGAL DESCRIPTION: Those parts of District Lot 257 and Government Wharf at Denman Island, all within Nanaimo District, shown outlined on sketch below, containing 0.091 hectares, more or less.



**Northern Office**

700 North Road, Gabriola Island, BC V0R 1X3
Telephone **250 247-2063** Fax 250 247-7514

Toll Free via Enquiry BC in Vancouver 660-2421. Elsewhere in BC **1.800.663.7867**

Email northinfo@islandstrust.bc.ca

Web www.islandstrust.bc.ca

January 29, 2016

File No. 3030-02

Via email: klarose@comoxvalleyrd.ca

Comox Valley Regional District
600 Comox Road
Courtenay, BC V9N 3P6

Attention: Kris La Rose, Project Manager

Dear Mr. La Rose:

Re: CVRD South Region Liquid Waste Management Plan

The Denman Island Local Trust Committee is writing to express support for the CVRD South Regional Liquid Waste Management Plan (LWMP) and proposed outfall at Cape Lazo.

The Islands Trust is a regional government established by the province in 1974 to “*preserve and protect the Trust Area and its unique amenities and environment for the benefit of the residents of the Trust Area*”.

The Denman Island Local Trust Committee (LTC) is responsible for land use decisions with the Local Trust Area, which includes Denman Island and surrounding marine waters of Baynes Sound. Baynes Sound is a complex ecosystem of great significance for many life-forms including migratory birds, salmon, herring, forage fish and shellfish. The ecosystem of Baynes Sound and its substantial shellfish aquaculture industry are at risk of damage from the pollution of failing septic systems in the vicinity. The South Region seeks to address this pollution by replacing failing septic systems through a major sewer initiative.

Various provisions of the Islands Trust Policy Statement and the Denman Island Official Community Plan are supportive of the sewer project initiative.

The Trust Policy Statement directs:

- *That marine areas be protected; and*
- *That local trust committees in their official community plans and regulatory bylaws, address the protection of sensitive coastal areas*

The Denman Island Official Community Plan includes the following objectives:

- *To protect the foreshore, coastal waters and native marine life and to retain sufficient natural habitat to ensure the preservation of native species;*

- *To ensure maximum protection of foreshore areas, estuaries, surrounding waters, and native life forms, including bird and animal life, against loss or damage caused by human intrusion;*
- *To minimise pollution from human use of the foreshore, estuaries, surrounding waters and adjacent upland, and to maintain the purity of coastal waters;*
- *To protect undisturbed areas on the foreshore and the surrounding waters, to preserve areas where the herring spawn annually, and to protect, and where necessary, restore important sea duck foraging areas (for example, eelgrass beds).*

The Denman Island LTC supports the South Region LWMP and proposed outfall at Cape Lazo and are confident that implementation of the LWMP will contribute positively to the Trust Area and to the ecology of Baynes Sound.

Best Regards,



Susan Morrison, Chair
Denman Island Local Trust Committee

cc: Laura Busheikin, Denman Island Trustee lbusheikin@islandstrust.bc.ca
David Critchley, Denman Island Trustee dcritchley@islandstrust.bc.ca
Lisa Gordon, Director, Islands Trust, Trust Area Services lgordon@islandstrust.bc.ca
Bruce Jolliffe, Director, CVRD Electoral Area A bjolliffe@comoxvalleyrd.ca

PROPOSED

DENMAN ISLAND LOCAL TRUST COMMITTEE

BYLAW NO. 219

A BYLAW TO AMEND DENMAN ISLAND OFFICIAL COMMUNITY PLAN, 2008

The Denman Island Local Trust Committee, being the Trust Committee having jurisdiction in respect of the Denman Island Local Trust Committee Area under the *Islands Trust Act*, enacts as follows:

1. That Denman Island Local Trust Committee Bylaw No. 185 cited as “Denman Island Official Community Plan, 2008” is altered as shown on Schedule “A” of this amending bylaw.
2. This Bylaw may be cited as "Denman Island Official Community Plan, 2008, Amendment No. 2, 2015”.

READ A FIRST TIME THIS 28th DAY OF May, 2015

PUBLIC HEARING HELD THIS 21st DAY OF July, 2015

READ A SECOND TIME THIS st DAY OF , 2015

READ A THIRD TIME THIS st DAY OF , 2015

APPROVED BY THE EXECUTIVE COMMITTEE OF THE ISLANDS TRUST THIS _____
th DAY OF _____, 2015

APPROVED BY THE MINISTER OF COMMUNITY AND RURAL DEVELOPMENT THIS
th DAY OF , 2015

ADOPTED THIS th DAY OF , 2015

SECRETARY

CHAIRPERSON

DENMAN ISLAND LOCAL TRUST COMMITTEE

BYLAW NO. 219

Schedule A

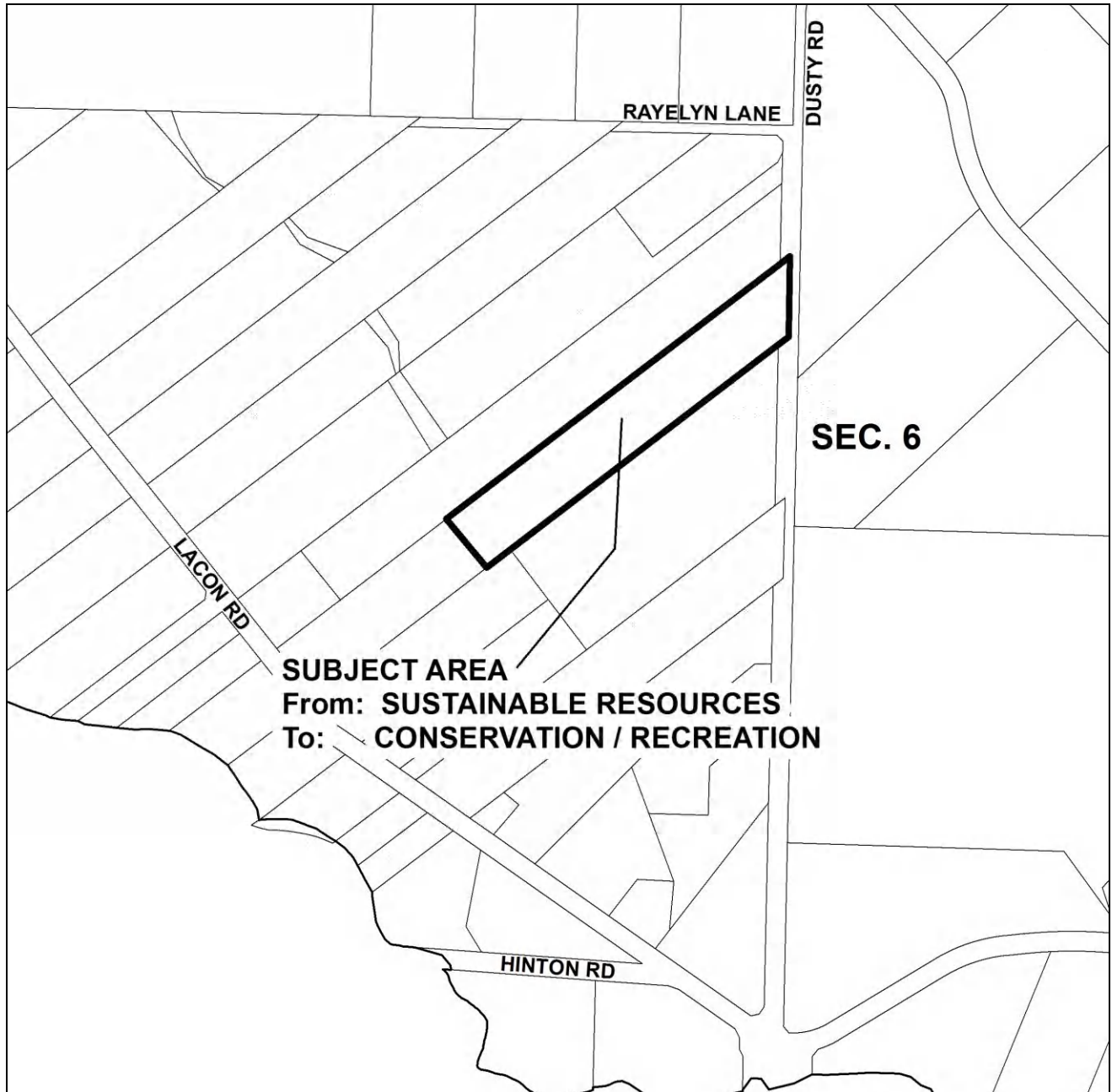
Denman Island Local Trust Committee Bylaw No. 185, cited as “Denman Island Official Community Plan, 2008” is amended as follows:

1. Schedule C [Land Use Designations] is amended by changing the land use designations as follows:
 - a) On portions of land legally described as LOT 17, SECTION 6, DENMAN ISLAND, NANAIMO DISTRICT, PLAN 6404 the land use designation is changed:
from “Residential” to “Conservation/Recreation”;
as shown on Appendix No. 1 attached to and forming part of this bylaw.
 - b) On portions of land legally described as LOT A, SECTION 12, DENMAN ISLAND, NANAIMO DISTRICT, PLAN VIP88949 the land use designation is changed:
from a split “Sustainable Resources” and “Rural” designation to “Rural”;
as shown on Appendix No. 2 attached to and forming part of this bylaw.

DENMAN ISLAND LOCAL TRUST COMMITTEE

BYLAW NO. 219

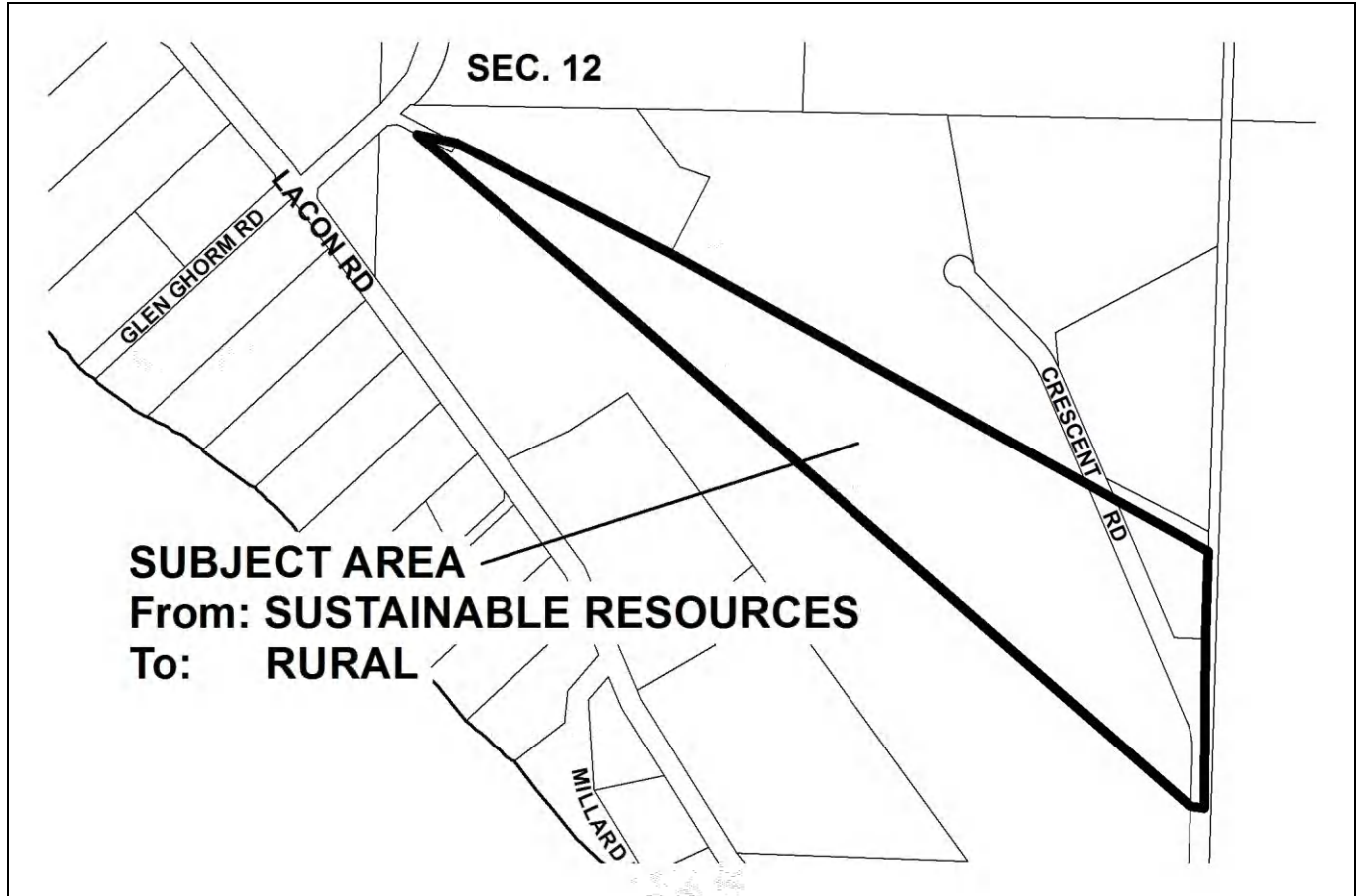
Appendix No. 1



DENMAN ISLAND LOCAL TRUST COMMITTEE

BYLAW NO. 219

Appendix No. 2



PROPOSED

DENMAN ISLAND LOCAL TRUST COMMITTEE

BYLAW NO. 220

A BYLAW TO AMEND DENMAN ISLAND LAND USE BYLAW, 2008

The Denman Island Local Trust Committee, being the Trust Committee having jurisdiction in respect of the Denman Island Local Trust Committee Area under the *Islands Trust Act*, enacts as follows:

1. That Denman Island Local Trust Committee Bylaw No. 186 cited as “Denman Island Land Use Bylaw, 2008” is altered as shown on Schedule “A” of this amending bylaw.
2. This Bylaw may be cited as "Denman Island Land Use Bylaw, 2008, Amendment No. 3, 2015”.

READ A FIRST TIME THIS 26th DAY OF MAY, 2015

READ A SECOND TIME THIS 21st DAY OF JULY, 2015

PUBLIC HEARING HELD THIS DAY OF , 201X

READ A THIRD TIME THIS DAY OF , 201X

APPROVED BY THE EXECUTIVE COMMITTEE OF THE ISLANDS TRUST THIS _____ DAY OF _____, 201X

ADOPTED THIS _____ DAY OF _____, 201X

SECRETARY

CHAIRPERSON

DENMAN ISLAND LOCAL TRUST COMMITTEE

BYLAW NO. 220

Schedule A

Denman Island Local Trust Committee Bylaw No. 186, cited as “Denman Island Land Use Bylaw, 2008” is amended as follows:

1. Schedule “B” [zoning map] is amended by changing the zoning classifications as follows:
 - a) On portions of land legally described as LOT 17, SECTION 6, DENMAN ISLAND, NANAIMO DISTRICT, PLAN 6404 the zoning classification is changed:

from Residential (R-1) to Conservation (CN);

as shown on Appendix No. 1 attached to and forming part of this bylaw.
 - b) On portions of land legally described as LOT A, SECTION 12, DENMAN ISLAND, NANAIMO DISTRICT, PLAN VIP88949 the zoning classification is changed:

from a split zoning of Rural Residential (R2) and Forestry (F) to Rural Residential (R2);

as shown on Appendix No. 2 attached to and forming part of this bylaw.
 - c) On portions of land legally described as SOUTH EAST 1/4 OF SECTION 12, DENMAN ISLAND, NANAIMO DISTRICT, EXCEPT PART IN PLANS 15079, 19060, VIP60280, VIP79163 AND VIP88949 the zoning classification is changed from:

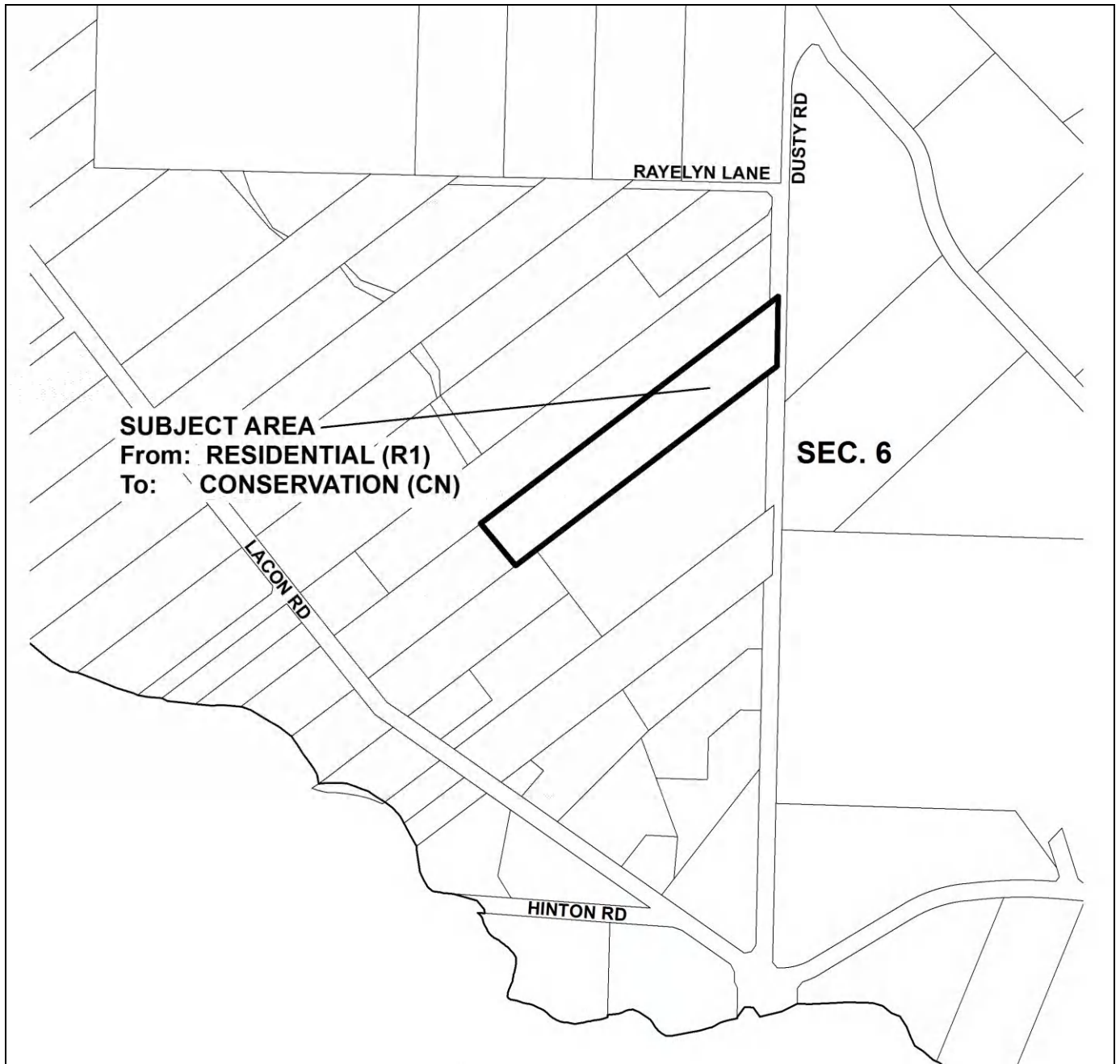
Forestry (F) to Agriculture (A)

as shown on Appendix No. 2 attached to and forming part of this bylaw.

DENMAN ISLAND LOCAL TRUST COMMITTEE

BYLAW NO. 220

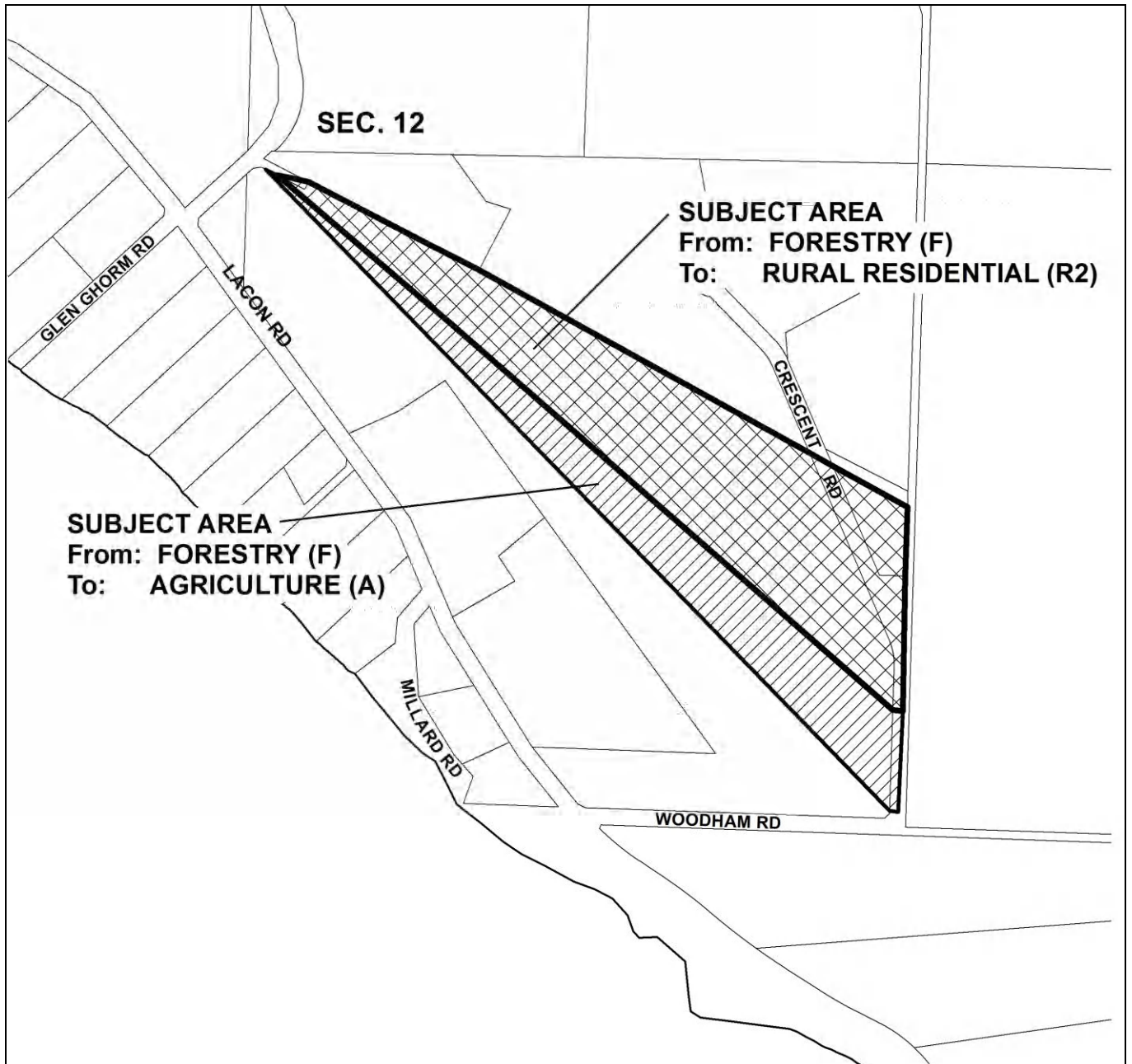
Appendix No. 1



DENMAN ISLAND LOCAL TRUST COMMITTEE

BYLAW NO. 220

Appendix No. 2



STAFF REPORT

Date: January 25, 2016

File No.: DE-ALR-2015.1

To: Denman Island Local Trust Committee
(for meeting being held on March 15, 2016)

From: Rob Milne, Island Planner

CC: Ann Kjerulf, Regional Planning Manager

Re: Application for Exclusion of Land from the Agricultural Land Reserve for Parcel M (DD 6601N) of Section 18, Denman Island, Nanaimo District, except that part in Plan 24807 - PID 009-708-537

Owner: Beverley Gail Severn

Applicant: Denman Community Land Trust Association

Location: 3730 Denman Road, Denman Island, BC

THE PROPOSAL:

The owners of the subject property are applying to exclude their land from the Agricultural Land Reserve (ALR). The *Agricultural Land Commission Act* states that the local government must receive the application on behalf of the Agricultural Land Commission (ALC) and that the application may not proceed to the Commission unless authorized by resolution of the Local Trust Committee.

The owner wishes to exclude the land so as to facilitate the development of eight units of affordable housing for Denman residents over 65 years of age.

SITE CONTEXT:

The parcel is located at 3730 Denman Road, and is 1.62 hectares (4.0 acres) in size. The property is currently used for residential purposes and supports a home based pottery business. No agricultural improvements have been made to the property.

As may be seen on the subject property location map (Figure 1) the subject property is set behind properties fronting onto Denman Road and is located in close proximity to the village area. The property is accessed by means of a 6.0 metre (20.0 feet) wide easement registered on an adjacent property which fronts onto Denman Road. Photographs of the site provided by the applicant may be found in the copy of the application attached to this report (see Attachment 1). The orthophoto following the property location map (Photo 1) provides additional information regarding the site context.

The property is bounded on its north and east sides by a large parcel of agricultural land which is within the ALR and supports a residence as well as sheep and bee keeping activities. The uses on the adjacent properties fronting onto Denman Road to the south include a guest house and restaurant, and a mix of commercial and residential uses. The large adjacent parcel on the west is the site of an elementary school.



Figure 1



Photo 1

CURRENT PLANNING STATUS OF THE LANDS:

Policy Statement

Relevant Islands Trust Policy Statement policies include:

4.1 – Agricultural Land

4.1.4 Local trust committees shall, in their official community plans and regulatory bylaws, address the identification and preservation of agricultural land for current and future use.

4.1.5 Local trust committees shall, in their community plans and regulatory bylaws, address the preservation, protection and encouragement of farming, the sustainability of farming, and the relationship of farming to other land uses.

4.1.8 Local trust committees have, in their official community plans and regulatory bylaws, address land uses and activities that support the economic viability of farms without compromising the agriculture capability of agricultural land.

5.8 – Health and Well-being

5.8.6 Local trust committees and island municipalities shall, in their official community plans and regulatory bylaws, address their community's current and projected housing requirements and the long-term needs for educational, institutional, community and health-related facilities and services, as well as the cultural and recreational facilities and services.

Official Community Plan (OCP) Bylaw No. 185:

The Denman Island OCP designates the property as Sustainable Resource. The following OCP policy is considered applicable to this application.

Resource – Policies

Policy 6 The Local Trust Committee should only support an application for non-farm use or exclusion of land from the Agricultural Land Reserve if the proposed non-farm use or exclusion provides for an essential community service or amenity which cannot reasonably be located on land outside of the Agricultural Land Reserve and for which the community need clearly outweighs the loss to agriculture.

Land Use/Zoning Bylaw No. 186:

This property is zoned A – Agriculture. The zone specific regulations allow for a variety of uses including residential, Agriculture (including intensive agriculture), horticulture, forestry and park use. The minimum permitted lot area is 15.0 ha.

STAFF COMMENTS:

The subject property is currently used for residential purposes. The owner of the property is sponsoring the application to exclude the property from the Agricultural Land Reserve (ALR) on behalf of the Denman Community Land Trust Association. It is proposed to subdivide the subject property into two parcels should the exclusion application be successful. The Denman Island Land Use Bylaw does not currently support the proposed subdivision parcel sizes.

The development of affordable housing for seniors housing on the subject property will involve a number of steps which can broadly be characterized as exclusion from the ALR, rezoning of the subdivision to allow for the proposed use and the subdivision of the subject property into two separate fee simple parcels. These steps will involve a number of regulatory agencies and the

success of the proposal will depend upon the ability of the subject property to meet the Vancouver Island Health Authority (VIHA) standards for subdivision.

Although subdivision would be the last step in the process, prior to beginning the physical construction of the housing project, standard best management practices would indicate that confirmation of the physical capability of the subject property to meet that subdivision standard should be the first step in the development process, especially when dealing with an unserviced rural property. A review of those subdivision standards (Attachment 2) and a discussion with a health inspector, as well as an onsite inspection (indicating high groundwater levels within the observation holes excavated on the property), indicates that meeting that standard may be challenging. In addition, the ability of the site to support a higher level of density than a single family dwelling, on which the standard is based, remains unknown.

Staff shared with the DCLTA the assessment of the implications of site conditions in the context of those regulations, as well as their telephone discussion with the health inspector who confirmed the need to meet the current subdivision standards. Staff suggested that the DCLTA might wish to put this application for ALR exclusion on hold until the site capability had been fully assessed but were advised that the DCLTA wished to proceed with the application.

ANALYSIS:

From a land use perspective, the subject property is well located for seniors housing given its close proximity to the local services and retail opportunities available in the village area. The site offers easy access to the cross-island trail and the Denman West ferry terminal. The location and size of the property also provides for a high degree of quiet and privacy, and the opportunity for onsite outdoor activities. Central to this application, though, is the matter of the existing or potential agricultural capability of the subject property.

As noted, there is no current agricultural activity on the property. Given the property's size and location it seems unlikely that this might occur in the future. The applicants have provided a Soil and Agricultural Capability Assessment report in support of their application for exclusion (Attachment 3). The assessment finds that the soils on the property are almost evenly divided between Class 5P soils on the north half and Class 3A soils on the southern side. The report concludes:

Approximately half of the soils on the subject property are not suited to arable agriculture due mainly to stoniness and the remaining soils have moderate restrictions for agriculture due to a low water holding capacity.

The map accompanying the report shows that the bulk of the better Class 3A soils lie within the area upon which the housing units and associated parking areas are proposed to be located. The conclusion of the report supports staff's view that future agricultural use of the property is highly unlikely due to the combination of the property's soil conditions, size and location.

It should also be noted that in view of the ALC's "no net loss" approach with respect to reserve lands, the applicants have provided in their application a reference to recently approved ALC application No. 5403 which involved the addition of a four hectare parcel of land to the ALR. This inclusion more than offsets the requested 2.0 hectare exclusion from the ALR of the lands which are the subject of this application.

In view of the foregoing it is the view of staff that this application is in compliance with the direction with Policy 6 of the OCP and the application should be forwarded to the ALC with a resolution of support.

Pursuant to Section 30(4) of the *Agricultural Land Commission Act*, this application cannot proceed to the ALC unless there is a resolution by the LTC to forward it. The options available to the LTC are as follows:

1. Declining to forward the application to the ALC
2. Forwarding the application to the ALC with no comment from the LTC;
3. Forwarding the application to the ALC with the comment that the LTC supports the exclusion of the subject property from the ALR.
4. Denying the application.

RECOMMENDATION:

It is the recommendation of staff:

1. That the Denman Island Local Trust Committee support application DE-ALR-2015.1 (Denman Community Land Trust Association on behalf of Beverley Severn) to exclude Parcel M (DD 6601N) of Section 18, Denman Island, Nanaimo District, except that part in Plan 24807 (3730 Denman Road) from the Agricultural Land Reserve.
2. That the Denman Island Local Trust Committee direct staff to forward application DE-ALR-2015.1 to the Agricultural Land Commission including a copy of the Committee's resolution of support.

Prepared and Submitted by:



Rob Milne, RPP, MCIP
Island Planner

January 26, 2016

Date

Concurred in by:

Ann Kjerulf

January 28, 2016

Ann Kjerulf, RPP, MCIP,
Regional Planning Manager

Date

Attachment 1- Application

Attachment 2- VIHA Subdivisions Standards Excerpt

Attachment 3- Soil and Agricultural Capability Assessment report

Receipt # 3039 - \$600 +
ff.



Denman Community Land Trust Association

3900 Lacon Road, Denman Island, B.C. V0R 1T0

www.denmanaffordablehousing.org

BN 84223 0898 RR0001

December 12, 2015

3900 Lacon Road
Denman Island, BC V0R 1T0

Agricultural Land Commission Application ID: 54694

Rob Milne, Island Planner Denman & Hornby Island:

I am priority mailing a copy of Denman Community Land Trust Association's ALC application, as submitted to the ALC December 10, 2015, and including a cheque for \$600 to cover the combined Trust and ALC fees.

At the LTC January 12, 2016 meeting, DCLTA requests delegation time to present its ALR exclusion application and answer questions.

Thank you for carrying forward DCLTA's application.

Harlene Holm
Director, DCLTA

RECEIVED

DEC 17 2015

ISLANDS TRUST
NORTHERN OFFICE

Provincial Agricultural Land Commission - Applicant Submission

Application ID: 54694

Application Status: Submitted to Local Government

Applicant: Beverley Severn

Agent: Denman Community Land Trust Association

Local Government: Islands Trust

Local Government Date of Receipt: 12/10/2015

ALC Date of Receipt: This application has not been submitted to ALC yet.

Proposal Type: Exclusion

Proposal: Like many communities across Canada, Denman Island has a pressing need for affordable housing. A 2014 report commissioned by the Denman Community Land Trust Association (DCLTA) cited several studies showing that while the number of seniors living on Denman Island is disproportionately high compared with provincial demographics and is increasing at a higher rate than across B.C., the opportunities for affordable housing on Denman are very few. This proposal to exclude 1.62 ha from the Agricultural Land Reserve (ALR) is intended to pave the way for the establishment of 8 units of affordable housing for Denman residents over 65 years of age. The proposal aims to exclude the complete lot (1.62 ha) from the ALR, rather than just the 1 ha portion to be used for seniors affordable housing. Given that the remainder may be the site of further affordable housing in the future, exclusion of the complete lot is the more logical proposal. The lot is essentially flat and is bisected roughly from east to west by a drainage ditch, through which flows runoff from properties to the east. The soil characteristics vary across the property, as described in the attached agrologists report and map (two separate attachments).

Agent Information

Agent: Denman Community Land Trust Association

Mailing Address:

3900 Lacon Rd

Denman Island, BC

V0R 1T0

Canada

Primary Phone: (250) 335-2691

Email: ananke@uniserve.com

Parcel Information

Parcel(s) Under Application

1. **Ownership Type:** Fee Simple

Parcel Identifier: 009-708-537

Legal Description: Parcel M (DD 6601N) of Section 18, Denman Island, Nanaimo District, except that part in Plan 24807

Parcel Area: 1.6 ha

Civic Address: 3730 Denman Rd, Denman Island

Date of Purchase: 07/01/2000

Farm Classification: No

Owners

1. **Name:** Beverley Severn

Address:

3730 Denman Rd
Denman Island, BC
V0R 1T0
Canada

Phone: (250) 335-2815

Email: bevsevern@gmail.com

Current Use of Parcels Under Application

1. **Quantify and describe in detail all agriculture that currently takes place on the parcel(s).**

No agriculture

2. **Quantify and describe in detail all agricultural improvements made to the parcel(s).**

No agricultural improvements

3. **Quantify and describe all non-agricultural uses that currently take place on the parcel(s).**

Residential (130 m²), Home-based business - pottery (75 m²)

Adjacent Land Uses

North

Land Use Type: Agricultural/Farm

Specify Activity: sheep, bees, residence

East

Land Use Type: Agricultural/Farm

Specify Activity: sheep, bees, residence

South

Land Use Type: Residential

Specify Activity: guest house/restaurant and commercial/residential subdivision

West

Land Use Type: Civic/Institutional

Specify Activity: elementary school

Proposal

1. **How many hectares are you proposing to exclude?**

1.6 ha

2. **What is the purpose of the proposal?**

Applicant: Beverley Severn

Like many communities across Canada, Denman Island has a pressing need for affordable housing. A 2014 report commissioned by the Denman Community Land Trust Association (DCLTA) cited several studies showing that while the number of seniors living on Denman Island is disproportionately high compared with provincial demographics and is increasing at a higher rate than across B.C., the opportunities for affordable housing on Denman are very few. This proposal to exclude 1.62 ha from the Agricultural Land Reserve (ALR) is intended to pave the way for the establishment of 8 units of affordable housing for Denman residents over 65 years of age. The proposal aims to exclude the complete lot (1.62 ha) from the ALR, rather than just the 1 ha portion to be used for seniors affordable housing. Given that the remainder may be the site of further affordable housing in the future, exclusion of the complete lot is the more logical proposal. The lot is essentially flat and is bisected roughly from east to west by a drainage ditch, through which flows runoff from properties to the east. The soil characteristics vary across the property, as described in the attached agrologists report and map (two separate attachments).

3. Explain why you believe that the parcel(s) should be excluded from the ALR.

A series of regulatory steps, including rezoning and subdivision, are needed for the identified property to be used for seniors affordable housing. DCLTA has already facilitated a similar affordable housing project and shown the expertise, perseverance and fundraising capability needed for such an undertaking. However, for the process to proceed, the property must be excluded from the ALR to be eligible for rezoning. From a seniors' housing point-of-view, the location is both unique to the area and ideal. It provides privacy as the lot is set back from Denman Road yet gives ready access to the Village services and amenities. The location offers good sunlight and excellent drainage. These attributes cannot be found elsewhere on the Island. A number of factors support exclusion of this property from the ALR. First, at 1.62 ha, the lot is small and therefore offers limited agricultural opportunities. Historically, land uses on this lot have been limited to those associated with small-lot residential use. Second, the lot is immediately adjacent to Denman Village, the Islands single commercial centre. Adjacent to the southwest are small lots zoned for commercial use and to the west for institutional use. Third, two recent ALR inclusions on Denman Island compensate for the proposed exclusion. These inclusions are a) 8441 McFarlane Rd, a 4.1 ha parcel accommodating Corlan Vineyard ALC File # 54034 (see the attached statement by the owners agreeing to link that inclusion with this exclusion proposal); and b) a 0.9-ha portion of 2016 Northwest Rd -- ALC File # 52814 -- that was the parent property of a 1.24-ha parcel created in 2012 to provide affordable housing (through a project developed and now administered by DCLTA). Together these two files represent inclusion, within the last three years, of 5.0 ha of Denman land, which is three times the area being proposed for exclusion.

Applicant Attachments

- Agent Agreement - Denman Community Land Trust Association
- Proof of Serving Notice - 54694
- Proof of Signage - 54694
- Site Photo - photos of the land
- Other correspondence or file information - zoning map
- Proof of Advertising - 54694
- Other correspondence or file information - notice of exclusion
- Proposal Sketch - 54694
- Other correspondence or file information - inclusion linking agreement
- Professional Report - agrologist's map
- Professional Report - agrologist's report
- Other correspondence or file information - map (aerial view)
- Certificate of Title - 009-708-537

ALC Attachments

None.

Decisions

None.

Blue JLn

on behalf of Denman Community Land Trust Association

AGENT AUTHORIZATION LETTER

I (we) Beverley Gail Severn
Printed/typed name(s) of landowner(s)

hereby appoint Harlene Holm to
Printed/typed name of agent

make application to the Agricultural Land Commission as agent on my/our behalf with respect to
the following parcel (s): *Insert legal description for each parcel under application*

Parcel M (DD 6601N) of Section 18, Denman Island, Nanaimo District, except that
part in Plan 24807

I Harlene Holm understand that as
Printed/typed name of agent

agent, I am required to ensure that all landowners are provided with information being
submitted to and received from the Agricultural Land Commission.

Signature(s) of landowner(s):

B. Severn BEVERLEY GAIL SEVERN 28/11/2015
Signature Printed Name Date

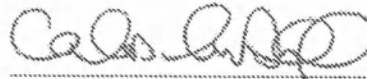
Signature Printed Name Date

LAND TITLE OFFICE
STATE OF TITLE CERTIFICATE
Certificate Number: STSA0021995

DENMAN COMMUNITY LAND TRUST
ASSOCIATION
3900 LACON ROAD
DENMAN ISLAND BC V0R 1T0

000269

I certify this to be an accurate reproduction of title number **EP54391** at 00:25 this 17th day of November, 2015.


REGISTRAR OF LAND TITLES



Land Title District
Land Title Office

VICTORIA
VICTORIA

Title Number
From Title Number

EP54391
G20131

Application Received

2000-06-30

Application Entered

2000-07-10

Registered Owner in Fee Simple
Registered Owner/Mailing Address:

BEVERLEY GAIL SEVERN, POTTER
3730 DENMAN ROAD
DENMAN ISLAND, BC
V0R 1T0

Taxation Authority

COURTENAY ASSESSMENT AREA

Description of Land

Parcel Identifier: 009-708-537

Legal Description:

PARCEL M (DD 6601N) OF SECTION 18, DENMAN ISLAND, NANAIMO DISTRICT, EXCEPT
THAT PART IN PLAN 24807

LAND TITLE OFFICE
STATE OF TITLE CERTIFICATE

Certificate Number: STSA0021995

Legal Notations

HERETO IS ANNEXED EASEMENT G20132 OVER THAT PART OF PARCEL "L"
(DD 6602N) OF SECTION 18, DENMAN ISLAND, NANAIMO DISTRICT SHOWN
OUTLINED IN RED ON PLAN ATTACHED TO DD G20132

THIS CERTIFICATE OF TITLE MAY BE AFFECTED BY THE AGRICULTURAL LAND
COMMISSION ACT, SEE AGRICULTURAL LAND RESERVE PLAN NO. 3, DEPOSITED
29.05.1974

Charges, Liens and Interests

Nature:	UNDERSURFACE RIGHTS
Registration Number:	52336G
Registered Owner:	ROBERT TAYLOR SWAN
Remarks:	RESERVATIONS OF COAL AND OIL AFB 9.173.6700A DD 16391, 16739F AND 16740F
Nature:	COAL TSN
Registration Number:	DF41412
Registration Date and Time:	1938-09-29
Remarks:	FORFEITED TO CROWN 23.10.39 DF 45974

Duplicate Indefeasible Title NONE OUTSTANDING

Transfers NONE

Pending Applications NONE

This certificate is to be read subject to the provisions of section 23(2) of the Land Title Act(R.S.B.C. 1996 Chapter 250) and may be affected by sections 50 and 55-58 of the Land Act (R.S.B.C. 1996 Chapter 245).

Confirmation of ALR Inclusion Link with Denman Community Land Trust Association's Exclusion Application

We, Shelwyn and Patricia Jones (the "Registered Owners"), own the land described below

ARC FIRE # 54034

Legal:

PID - 002-824-191
LOT: 1 PH: 24836 Sec: 6 Denman Island
Folio NUMBER 06 771 07083.005 15

Civic Address: 8441 McFarlane Road, Denman Island, BC V0R 1T0

and, confirm the inclusion of 10 acres/ 4 hectares of land, Corlan Vineyard & Farm, into the Agricultural Land Reserve on 11.08.2015 (date) and our support that this inclusion be available to the Denman Community Land Trust Association(DCLTA) to establish a net gain in DCLTA's application to exclude an ALR parcel of 4 acres/1.6 hectares from the land described below

Legal:

Parcel M (DD 6601N) of Section 18, Denman Island,
Nanaimo District, except that part in Plan 24807
PID 009-708-537

Civic Address: 3730 Denman Road, Denman Island, BC

Shelwyn Jones Patricia Jones
(Signatures of Registered Owners)

Date:

November 25, 2015



EXCLUSION PROOF OF SERVING NOTICE

AS REQUIRED BY SECTION 16 OF THE AGRICULTURAL LAND RESERVE USE, SUBDIVISION AND PROCEDURE REGULATION

I Harlene Holm (full name of declarant)
of 3900 Lacon Rd, Denman Island, B.C. V0R 1T0 (mailing address)

do solemnly declare that a copy of the notice of application and a copy of the signed application as required by Section 16 of the *Agricultural Land Reserve Procedure Regulation* for land legally described as

Parcel M (DD 6601N) of Section 18, Denman Island, Nanaimo District, except that part in Plan 24807

was served to the following owners of land:

NAME AND ADDRESS	LEGAL DESCRIPTION OF LAND	DATE OF SERVICE	HOW SERVED (Registered mail or delivered)
Vanda Wood	Lot 2, Plan EPP16563, Section 18, Denman Island, Nanaimo District	Dec 5, 2015	Delivered

And I make this solemn declaration believing it to be true and correct to the best of my knowledge.


(Signature of declarant) December 5, 2015
(Date)

IMPORTANT - AN APPLICATION FILED UNDER SECTION 30 OF THE AGRICULTURAL LAND COMMISSION ACT MUST INCLUDE A COPY OF THIS STATEMENT COMPLETED IN FULL, AND SIGNED AND DATED BY THE PERSON WHO SERVED THE NOTICE. Please complete as many copies of this page as necessary.



NOTICE OF EXCLUSION APPLICATION
Regarding Land in the Agricultural Land Reserve

I, **Beverley Gail Severn**
(full name, or names, of registered owner)
of **3730 Denman Rd, Denman Island, B.C. V0R 1T0**
(mailing address)

intend on making an application pursuant to Section 30(1) of the *Agricultural Land Commission Act* to exclude from the

Agricultural Land Reserve the following property which is legally described as,
Parcel M (DD 6601N) of Section 18, Denman Island, Nanaimo District, except that part in Plan 24807
(legal description from the title certificate)

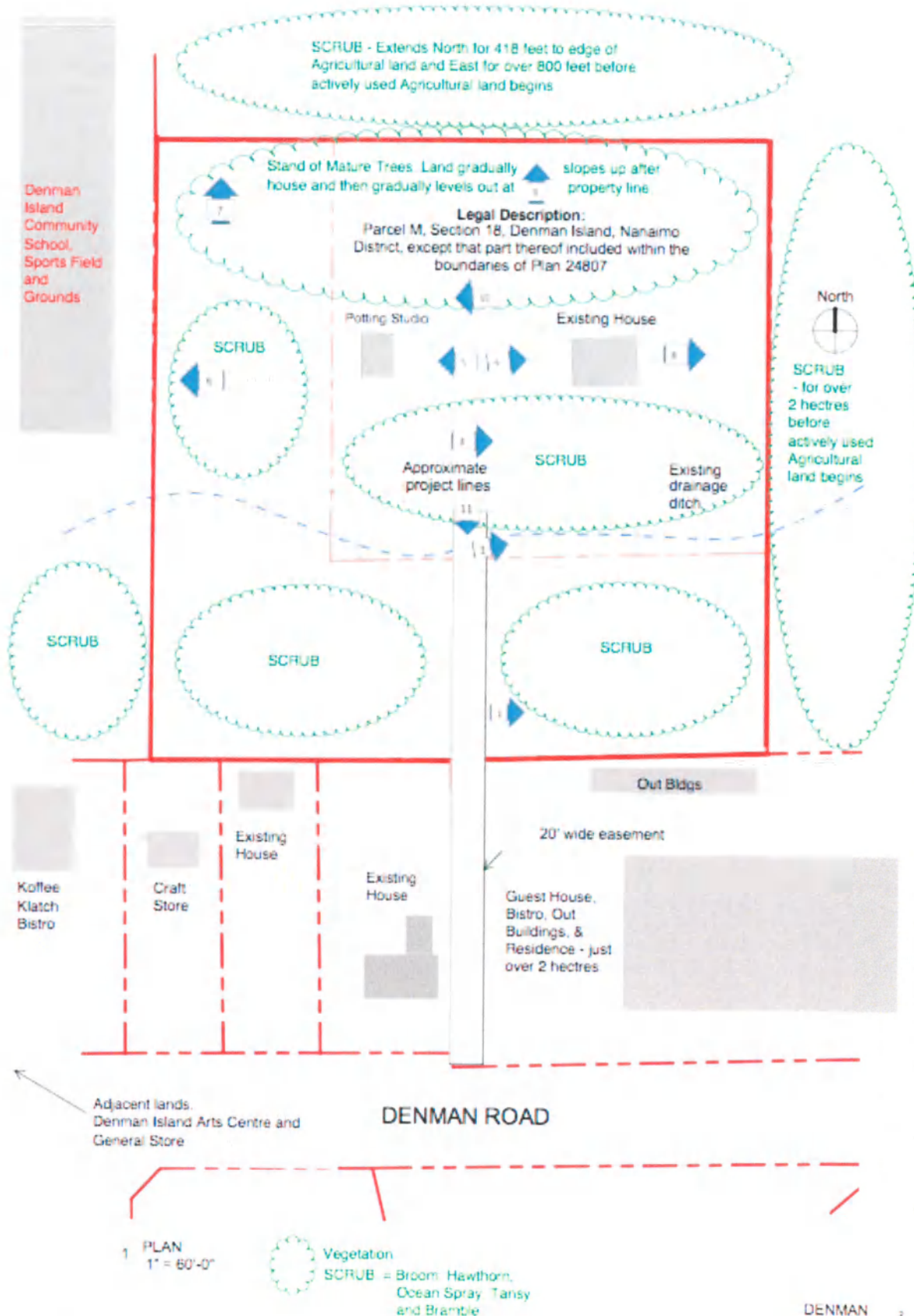
and located at **3730 Denman Rd, Denman Island, B.C. V0R 1T0**
(street address if applicable)

Any person wishing to express an interest in the application may do so by forwarding their comments in writing to,

..... **Denman Island Local Trust Committee, 600 North Rd, Gabriola Island, B.C. V0R 1X3**
(name and mailing address of the local government)

by **December 24** **2015**
(14 days from the date of final publication)





Notes
1. The above information is conceptual and for discussion only.
2. Property lines shown are estimated from Islands Trust publicly available cadastral information.

DENMAN
SENIORS
CONCEPT
ACCESS PLAN

SK1

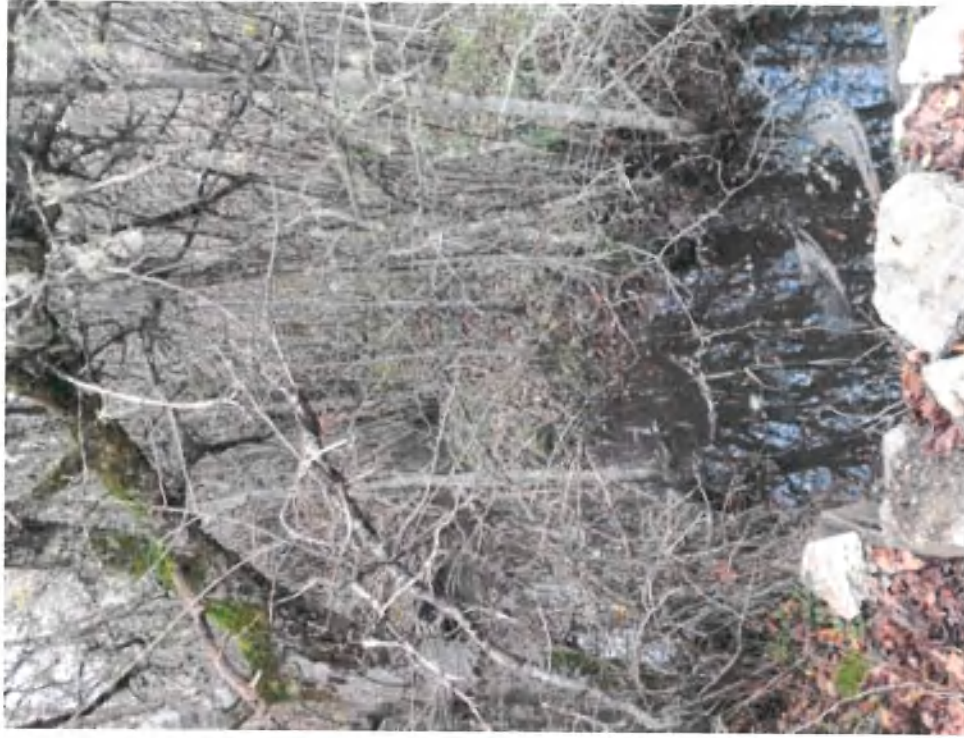


Photo #2: Facing east. Ditch. Photo taken on the driveway, at the culvert over the ditch. Water flows to the west.



Photo #1: Facing east. Scrub. Undeveloped land. Photo taken on the driveway, 5 metres north of the southern property boundary. Land to the west is similar.



Photo #4: Facing east. Residence.



Photo #3: Facing east. Undeveloped land. Photo is taken on driveway, approx 7 metres north of the ditch. Denman Island Guest House is in the background (Parcel L (DD 6602N) of Section 18, Denman Island, Nanaimo District). Land to the west is similar.



Photo #5: Facing west. Pottery studio.



Photo #6: Facing west. Land near the west property boundary, which is the fence in the photo. Denman Island Elementary School in the background (Lot A, Section 18, Denman Island, Nanaimo District, Plan 45745).



Photo #7: Facing north. Undeveloped land. Vegetation is mostly broom. The northern property boundary is just beyond the evergreens in the background.



Photo #8: Facing east. Photo is taken about 5 metres from the east wall of the residence. Snake fence is merely decorative. Eastern property boundary is within the stand of evergreens.



Photo #9: Facing north. Northern property boundary is approx 6 metres to the north. Land beyond the boundary is wet, as indicated by the change in vegetation.



Photo #10: Facing west, looking down at the ground. Large, moss-covered rocks are indicative of stony nature of the soil in this area. Land is similar for the 15-20 metres adjacent to the northern property boundary.



Photo #11: Facing south. Photo taken on driveway, approx 5 metres north of the ditch. Boards on the driveway are above the culvert over the ditch.



Islands Trust

RECEIPT

3039

THE SUM OF

— Six Hundred — ~~SP~~ DOLLARS \$600.00

ON ACCOUNT OF

Application fee

40500-615

Cheque-DE-ALR-2015.1

G.L. CODE

TRUST AREA

RECEIVED FROM

Denman Community Land Trust Assoc ON Dec 17/

2015

ISSUING OFFICE

Northern

ISSUING OFFICER'S SIGNATURE

Penny Hawley

WHITE: CUSTOMER

PINK: ISLANDS TRUST FILE

CANARY: RETAIN IN BOOK FOR AUDIT

DENMAN COMMUNITY LAND TRUST
ASSOCIATION

re: ALC Application ID: 54694

092
DATE 20151211
Y Y Y Y M M D D

PAY TO THE
ORDER OF

Islands Trust

\$ 600.00

Six Hundred

100 DOLLARS

Security features
included
Details on back.



COASTAL COMMUNITY CREDIT UNION

www.cccu.ca
COURTENAY FOURTH ST. COMMUNITY BRANCH
291 - 4TH STREET
COURTENAY, B.C. V9N 1G7

MEMO



[Signature]

⑈092⑈ ⑆15210⑈809⑆ 100018608651⑈

Table "B"

D. 2 Minimum Lot Size and Discharge Areas for Properties Serviced by Private (Individual Well) Water Supplies

Slope Within Discharge Area (%)	Minimum Native Mineral Soil Depth Metres (inches)	Minimum Lot Size	Minimum Discharge Area Based On Percolation Rate and field length 1363 litres Estimated daily flow		
			Sands-Gravels 1 – 5 Min/Inch	Loams 6 – 15 Min/Inch	Silts 16 – 30 Min/Inch
Up to 15%	.9 m. (36")	1 ha (2.5 acres)	535 m ² 5700 ft ² 400'/120m field length	715 m ² 7700 ft ² 600'/180m field length	890 m ² 9680 ft ² 800'/240m field length
	.61 m. (24")	1.5 ha (3.75 acres)			
	.46 m. (18")	2 ha (5 acres)			
15 to 30%	1.2 m. (48")	1 ha (2.5 acre)			
	.9 m. (36")	2.0 ha (5 acres)			

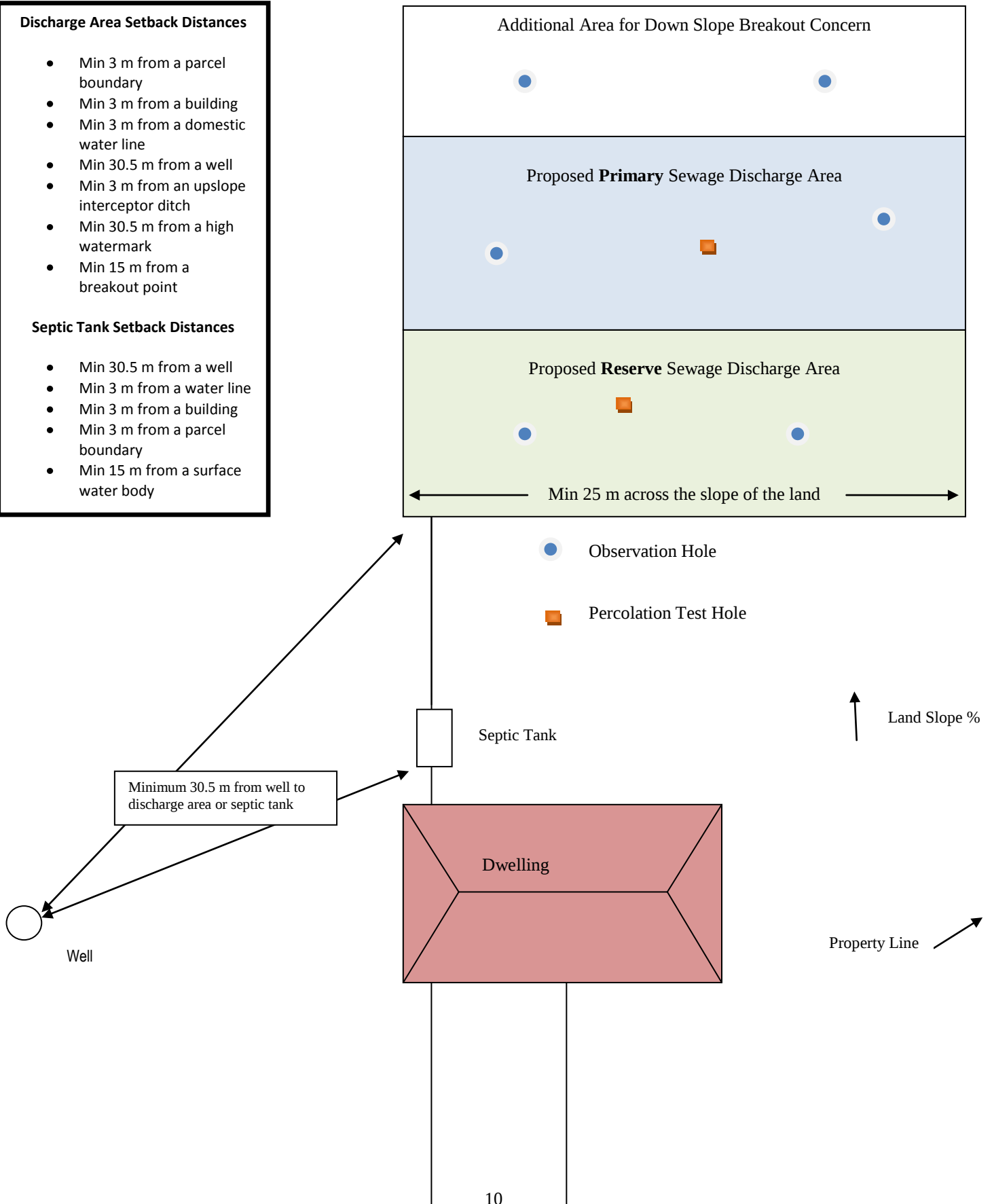
VIHA Subdivision Standards - Example Plot Plan

Discharge Area Setback Distances

- Min 3 m from a parcel boundary
- Min 3 m from a building
- Min 3 m from a domestic water line
- Min 30.5 m from a well
- Min 3 m from an upslope interceptor ditch
- Min 30.5 m from a high watermark
- Min 15 m from a breakout point

Septic Tank Setback Distances

- Min 30.5 m from a well
- Min 3 m from a water line
- Min 3 m from a building
- Min 3 m from a parcel boundary
- Min 15 m from a surface water body



**Soil and Agricultural Capability Assessment
for
Parcel M, Section 18, Denman Island, Nanaimo District
except that part thereof included within the boundaries
of Plan 24807**

**Prepared for:
Denman Seniors' Housing Project**

**Prepared by:
Ron Emerson, B.Sc., P.Ag.
*Emerson Soil Agrology Inc.***

November 26, 2015

Background

The subject property is included in the Agricultural Land Reserve (ALR) and the owner has sought the services of Emerson Soil Agrology Inc. to conduct a site specific evaluation of the property in terms of agricultural capability.

Ron Emerson, B.Sc., P.Ag. of Emerson Soil Agrology Inc. was retained to conduct a site assessment which was completed on November 26, 2015 resulting in the following report.

Agricultural Capability Classification

The basis for land inclusion in the ALR is based on the B.C. Ministry of Environment 1983 MOE Manual 1 cited as "Land Capability Classification for Agriculture in British Columbia". The system is based on the Canadian Land Inventory system and utilizes a rating system on a scale from 1 to 7 summarized as follows:

- Land Class 1: No or very slight limitations that restrict its use the production of common agricultural crops.
- Land Class 2: Minor limitations that require good ongoing management practices or slightly restrict the range of crops, or both.
- Land Class 3: Limitations that require moderately intensive management practices or moderately restrict the range of crops, or both.
- Land Class 4: Limitations that require special management practices or severely restrict the range of crops, or both.
- Land Class 5: Has limitations that restrict its capability to producing perennial forage crops or other specially adapted crops.
- Land Class 6: Non arable but is capable of producing native and/or uncultivated perennial forage crops.
- Land Class 7: No capability for arable culture or sustained natural grazing.

For the purpose of preserving and protecting farmland in British Columbia, land with land class 4 or better was included in the ALR and was not subject to common development including subdivision and/or non-farm uses. As practices such as rock picking or irrigation can improve the capability of the land, the ALR is based on the improved capability. The initial soil maps that were the basis of the ALR boundaries were assigned unimproved and improved land classes. Limiting factors such as topography (slope) and depth to bedrock are characteristics that are considered impractical for improvement. For the purposes of this report the unimproved agricultural capability ratings are presented.

Landform and Soil Characteristics

Two soil pits were excavated by hand and described in accordance with the Canadian System of Soil Classification. Sites were chosen to reflect the native soil with minimal disturbance. Each of the two observations are described below. In general terms, two main soil types occupy the landscape which are developed on terrain with very gentle and gentle slopes. An accompanying map details the location of the two observation sites.

Site ID: Denman 1

Slope and aspect: 6%, ~West

Vegetation: Douglas Fir (*Pseudotsuga menziesii*) and Oregon Grape (*Mahonia aquifolium*)

Surface Stoniness: Moderately Stony

<u>Horizon</u>	<u>Depth (cm)</u>	<u>Texture</u>	<u>% Coarse Fragments</u>
LFH	4 – 0	n/a	n/a
Ah	0 - 12	loam	25% with 20% cobbles, stones and coarse gravel
Bm	12 – 38	sandy loam	30% with 20% cobbles, stones and coarse gravel
BC	38 - 75	clay loam	10% with 2% cobbles and coarse gravel
Bcgj	75 – 90	silty clay loam	5% with 1% cobbles and coarse gravel

The soil is classed as a moderately well drained Orthic Sombric Brunisol developed on glacial till. Soils with these characteristics have been mapped as the Royston soil series, moderately drained phase (B.C. Ministry of Environment. 1985. MOE Technical Report 15. Soils of Southeast Vancouver Island, Duncan-Nanaimo Area.). These soils have restrictions for agricultural use due to stoniness (designated by the symbol "P").

Agricultural Capability Rating: 5P

Site ID: Denman 2

Slope and aspect: 3%, ~West

Vegetation: Grasses and Scotch Broom (*Cystisus scoparius*)

<u>Horizon</u>	<u>Depth (cm)</u>	<u>Texture</u>	<u>% Coarse Fragments</u>
Ap + Ah	0 - 40	sandy loam	5%
Bm	40 - 70	loamy sand	5%
IIBC	70 - 90	loam	12% with 3% cobbles and coarse gravel

The soil is classed as a moderately well drained Orthic Sombric Brunisol developed on a coarse textured marine veneer overlying medium textured glacial till. Soils with these characteristics are closest to the Deerholme soil series although the underlying till is not compacted as the typical Deerholme soil (B.C. Ministry of Environment. 1985. MOE Technical Report 15. Soils of Southeast Vancouver Island, Duncan-Nanaimo Area.). This soil has restrictions for agricultural use due to a relatively low water holding capacity (designated by the symbol "A").

Agricultural Capability Rating: 3A

Conclusion and Recommendations

Approximately half of the soils on the subject property are not suited to arable agriculture due mainly to stoniness and the remaining soils have moderate restrictions for agriculture due to a low water holding capacity.

About the Author

Ron Emerson, B.Sc., P.Ag. has worked as a soil specialist since 1981 when he began work on the soil survey to rationalize the boundaries of the Agricultural Land Reserve on the east coast of Vancouver Island. Since that time Mr. Emerson has completed a number of soil surveys, reclamation plans and studies in Alberta, Saskatchewan and British Columbia. Mr. Emerson is a member of the BC Institute of Agrologists and can be reached by phone (250-335-2047), e-mail (ronemerson@telus.net) or by mail (950 Mount Rd., Hornby Island, B.C., V0R 1Z0).

References

B.C. Ministry of Environment. 1983. MOE Manual 1. Land Capability Classification for Agriculture in British Columbia.

B.C. Ministry of Environment. 1985. MOE Technical Report 15. Soils of Southeast Vancouver Island, Duncan-Nanaimo Area.

Soil Classification Working Group. 1998. The Canadian System of Soil Classification. Agriculture and Agri-Food Canada Publication 1646.

Soil Observation Site Denman 1



Legal Description:

Parcel M, Section 18, Denman Island, Nanaimo District, except that part thereof included within the boundaries of Plan 24807



SEPTIC FIELD

Existing

Agricultural Capability Rating 5P



Existing drainage ditch

Access to parent property

Approximate proposed division lines

Parking

Turn-around min.

Parking

Agricultural Capability Rating 3A



Unit A

Unit B

Unit C

Unit D

Unit E



Unit F

Unit G

Soil Observation Site Denman 2

STAFF REPORT

Date: March 2, 2016

File No.: DE-DP-2015.3 (Smith)

To: Denman Island Local Trust Committee
For Meeting of March 15, 2016

From: Teresa Rittemann, Planner 1

CC: Ann Kjerulf, Regional Planning Manager
Rob Milne, Island Planner

Re: **Development Permit Application for DPA 2: Steep Slopes for the property legally described as: PID 028-879-465; Lot 1 of the North East ¼ of Section 10, Denman Island, Nanaimo District, Plan VIP89453**

Owners: Irma Smith and Robert Smith
Applicant: Etienne DeVilliers
Location: 8330 Owl Crescent Road, Denman Island

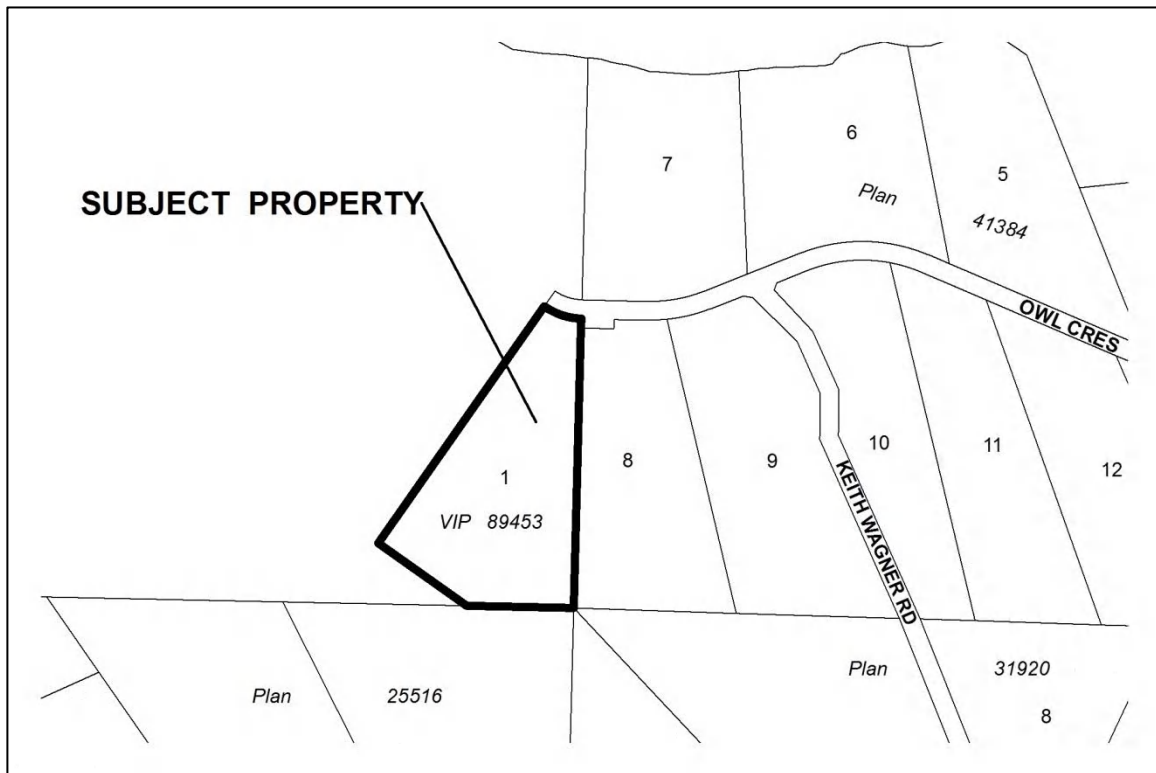
THE PROPOSAL:

The applicant has applied for a Development Permit to authorize construction of a new single family dwelling with a deck, plus installation of a septic tank and partial location of a driveway (in conjunction with Siting and Use Permit file DE-SUP-2015.9) in a location within Development Permit Area No. 2 – Steep Slopes. The proposed development is intended to follow the recommendations contained within a Qualified Environmental Professional (QEP) report, an amendment to this QEP report, a Viewscape Maintenance and Landscape Guidelines Plan, and a Geotechnical Engineer's report (see Attachment 4, Schedules B, C, D, & E respectively).

SITE CONTEXT:

The property is a triangular-shaped lot of 10.25 acres (4.15 hectares) located at the westerly end of Owl Crescent, and is bordered by residential properties (see Figure 1 below). The proposed location for the new house, deck, septic tank, and part of the driveway are near the top of the bank at the southwest portion of the property (see Attachment 1). The lot is currently undeveloped, heavily treed but with some older clearings, and has a partially existing driveway and old logging road. The applicant has advised that the owners intend to use the existing clearings for the siting of proposed construction and the old logging road to continue the driveway access to the proposed building site.

Figure 1: Subject Property Map



Description of Site Visit

On January 5, 2016 Planning Staff Rob Milne and Teresa Ritemann conducted a site visit of the property with the applicant. A panorama photo taken from the top of the bank and looking towards DPA No. 2 – Steep Slopes, appears in Figure 2 below.

Figure 2: Site Visit Photo



CURRENT PLANNING STATUS OF SUBJECT LANDS:

Islands Trust Policy Statement

This application is in conformity with the Islands Trust Policy Statement; and in particular, the following sections are applicable to this application:

3.1.3 Local trust committees and island municipalities shall, in their official community plans and regulatory bylaws, address the identification and protection of the environmentally sensitive areas and significant natural sites, features and landforms in their planning area.

3.1.4 Local trust committees and island municipalities shall, in their official community plans and regulatory bylaws, address the planning, establishment, and maintenance of a network of protected areas that preserve the representative ecosystems of their planning area and maintain their ecological integrity.

3.1.6 Trust Council encourages all government agencies and non-government organizations to consider both monetary and non-monetary costs when making resource management and land use decisions.

3.1.11 Trust Council encourages agents of the government of British Columbia or the government of Canada, Crown corporations, municipalities, regional districts, nongovernment organizations, property owners and occupiers to protect environmentally sensitive areas and significant natural sites, features and landforms through voluntary stewardship, acquisitions, conservation covenants and careful management.

5.1.1 Trust Council holds that the overall visual quality of the Trust Area and its scenic values should be protected from disturbance, particularly those areas that have distinctive features or are highly visible.

5.1.3 Local trust committees and island municipalities shall, in their official community plans and regulatory bylaws, address the protection of views, scenic areas and distinctive features contributing to the overall visual quality and scenic value of the Trust Area.

5.2.2 Trust Council holds that tree cover on the islands is of great importance and should be preserved.

Policy 5.2.6 Local trust committees and island municipalities shall, in their official community plans and regulatory bylaws, address the identification of areas hazardous to development, including areas subject to flooding, erosion or slope instability, and strategies to direct development away from such hazards.

Official Community Plan

The subject property is currently designated Sustainable Resources (SR) in the Denman Island Official Community Plan No. 185, 2008 (see Attachment 2) and is also subject to Schedules D and E of the OCP as discussed below.

Visually Sensitive Area:

A portion of the property is identified as a “Visually Sensitive Area” on Schedule D (see attachment 2). Section D.7, Policy 3 of the OCP *encourages landowners* of visually prominent lands to *retain trees and vegetation to enhance island views*. The proposed development is consistent with this policy, as the majority of the proposed development is to occur in an existing clearing, and recommendations from a “Viewscape Maintenance and Landscaping Guidelines” report are to be included as part of the proposed permit (see Attachment 4, schedule D).

Steep Slopes Development Permit Area:

Schedule E, Map 1 identifies the proposed dwelling, deck, septic tank, and part of the driveway to be within Development Permit Area No. 2 – Steep Slopes (see attachment 1). Development Permit Area No. 2 is classed as environmentally sensitive and is intended to apply to land with slopes of 60 percent or greater. The objectives of this permit area are to protect the natural environment, its ecosystems and biological diversity from adverse impacts of land alteration as well as to retain large old trees for their ecological and habitat value. The guidelines for this Development Permit Area appear in the Denman Island Land Use Bylaw (see below).

Land Use Bylaw

This property is zoned Forestry (F) in the Denman Island Land Use Bylaw No. 186, 2008 (see Attachment 3). The Forestry zone permits primary residential use and one principal single family dwelling unit per 64.0 hectares of lot area.

Development Permit Area Guidelines

The guidelines for Development Permit Area (DPA) No. 2 – Steep Slopes are contained within the Denman Island Land Use Bylaw section 4.2, which states that (**emphasis added**):

*“Prior to undertaking any **development**, subdivision, or **land alteration**, an owner of property within the Steep Slopes development permit area **shall apply** to the Denman Island Local Trust Committee for a development permit, and the following guidelines apply.”*

The proposed location for the new house, deck, septic tank, and part of the driveway are near the top of the bank at the southwest portion of the property, which is within the DPA. The dwelling and attached deck are proposed to be located a minimum of 8.5 metres from the top of the slope. Staff has determined that compliance with the DPA No. 2 guidelines shall be achieved as outlined in Appendix 1.

Denman Island Local Trust Committee Impact Assessment Bylaw No. 57, 1998:

Under Section 920.01 (c) of the *Local Government Act*, this DPA is designated a Development Approval Information Area and is subject to Bylaw No. 57:

*“2. The requirements of this Bylaw apply to:
(b) applicants for a development permit”*

However, applicability of the requirements of the Bylaw is at the discretion of an official or staff as per the following sections:

4. The official assigned from time to time to provide staff services to the Denman Island Local Trust Committee is the official for the purposes of this Bylaw.

11. Upon the request of an official and within the time specified in the request, an applicant described in s.2 must provide to the official written Terms of

Reference for the preparation of information on the impact of the activity or development that is the subject of the application.

Staff did not ask the applicant to provide a Terms of Reference regarding the impact of the proposed development, as it is subject to DPA No. 2 guidelines, which require the applicant to retain a Registered Professional Forester or Registered Professional Biologist to conduct an environmental impact assessment. The applicant submitted four professional reports (see Attachment 4, schedules B – E), which Staff considered sufficient for the purposes of addressing the guidelines for DPA No. 2.

Islands Trust Fund:

As per the Islands Trust Fund Policy Manual, this application does not directly affect Islands Trust Fund Board (TFB) interests as it does not affect a TFB owned property or conservation covenants, nor does it affect property directly adjacent to TFB owned property or conservation covenants.

Regional Conservation Plan:

Map 7 of the Islands Trust Fund Regional Conservation Plan indicates that the estimated importance of habitat composition is *medium* for this property.

Sensitive Ecosystems and Hazard Areas:

The Islands Trust Sensitive Ecosystem Mapping identifies the property as being comprised primarily as a Young Forest ecosystem. There are no Species at Risk or hazardous areas mapped on this property.

Archaeological Sites:

There are no recorded archaeological sites on or within 50 metres of the subject property.

Covenants:

Existing covenants and instruments registered on title do not affect this Development Permit.

Bylaw Enforcement:

There are no Bylaw Enforcement files for this property.

Climate Change Mitigation and Adaptation, and Shoreline Considerations:

There is no risk of impact to the development due to sea level rise should this development permit be issued. There are no anticipated impacts on greenhouse gas emissions that would result in issuing this development permit.

COMMUNITY INFORMATION MEETING(S):

A community information meeting is not required for a development permit.

RESULTS OF CIRCULATION:

Notice is not required for a development permit.

STAFF COMMENTS:

Staff advises that the guidelines for Development Permit Area No. 2 appear to have been met through Attachment 4 of this Staff Report, which is the proposed Development Permit, subject to the professional reports being included as schedules which should be attached to and form part of the permit.

RECOMMENDATION:

THAT the Denman Island Local Trust Committee approve issuance of Development Permit DE-DP-2015.3 conditional upon:

1. The recommendations contained within the Current Environmental QEP Report dated November 19, 2015 and its amendment dated December 21, 2015, which are attached to and form part of the Permit as Schedules "B" and "C" respectively;
2. The trimming and pruning of trees and the maintenance and landscaping of other vegetation to enhance property views, must be strictly in accordance with the Current Environmental Viewscape Maintenance and Landscape Guidelines Report dated February 3, 2016, which is attached to and forms part of the Permit as Schedule "D";
3. Excavation, foundations, drainage, fill, and other similar works must be strictly in accordance with the Simpson Geotechnical Ltd. Slope Stability Assessment Report dated December 21, 2015, which is attached to and forms part of the permit as Schedule "E".

Prepared and Submitted by:



February 18, 2016

Teresa Rittermann
Planner 1

Date

Concurred in by:

Ann Kjerulf

February 25, 2016

Ann Kjerulf
Regional Planning Manager

Date

Appendix:

1. Development Permit Area No. 2 (Steep Slopes) Guidelines Checklist

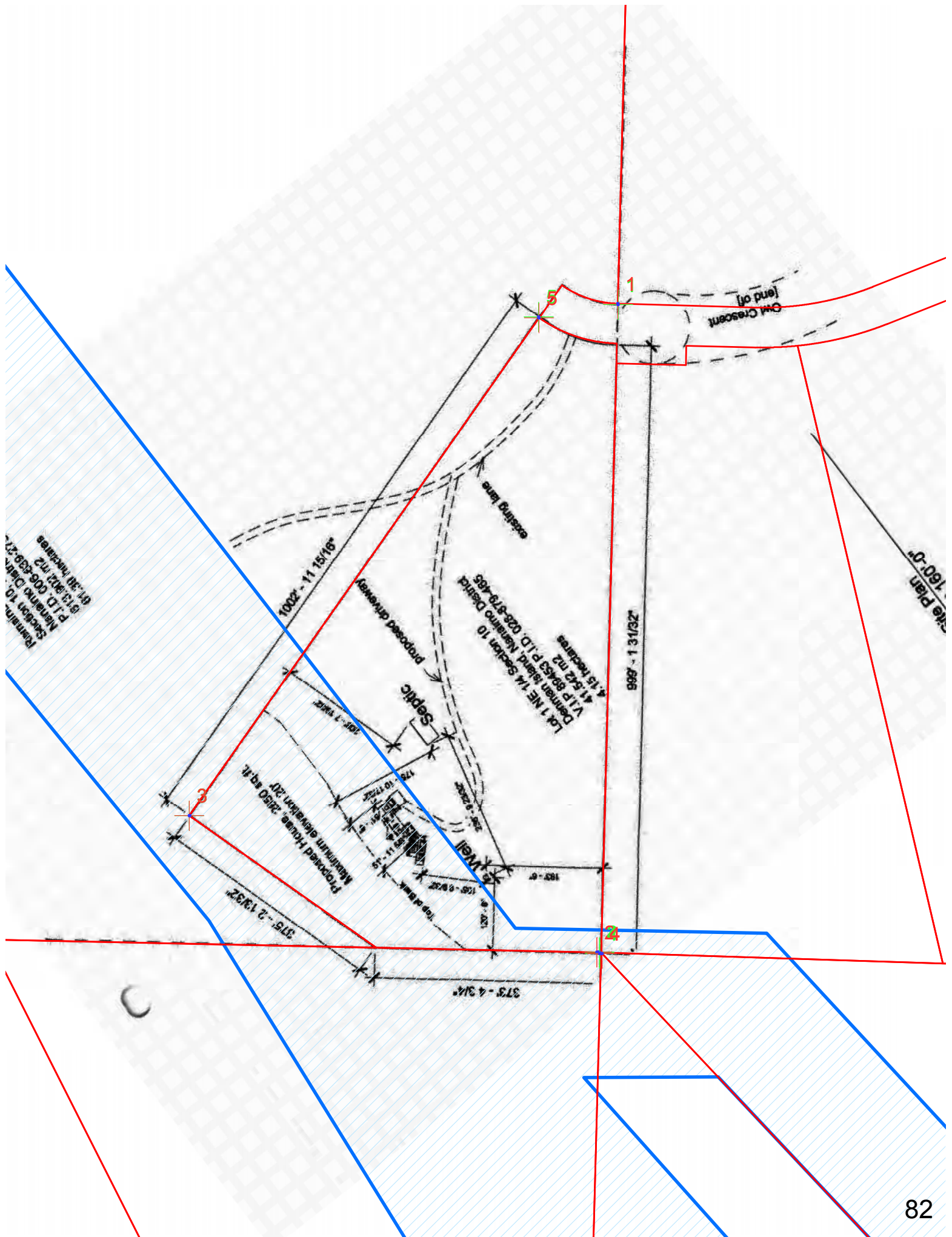
Attachments:

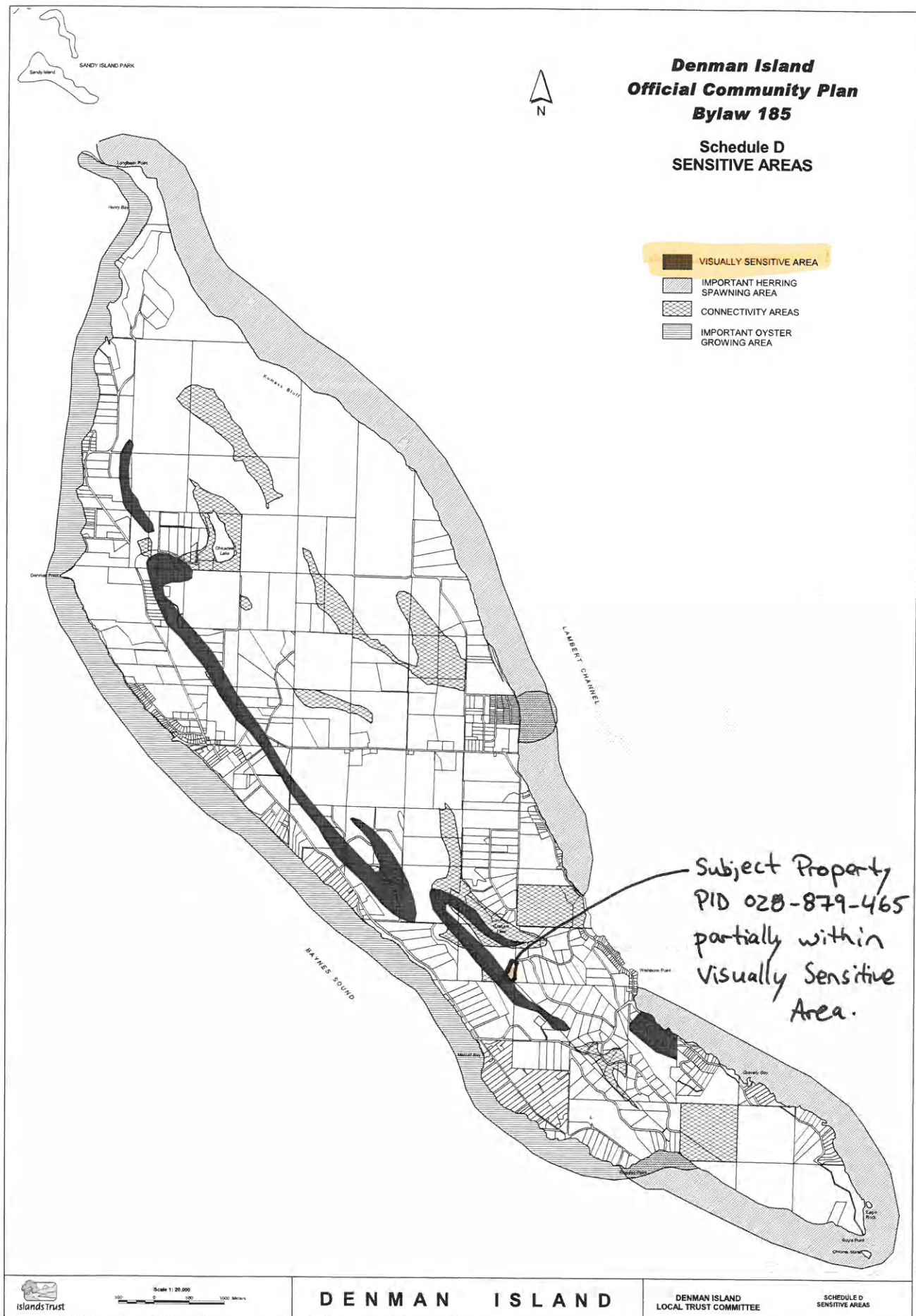
1. Plan of subject property showing proposed development within DPA No. 2 – Steep Slopes (shown in blue)
2. Official Community Plan, Schedule D – Showing Subject Property within Visually Sensitive Area
3. Official Community Plan, Schedule E, Map 1 – Showing Subject Property within Development Permit Area No. 2 – Steep Slopes
4. Proposed Development Permit, including the following schedules attached to and forming part of the permit:
 - A. Proposed Site Plan
 - B. Qualified Environmental Professional Report dated November 19, 2015 (the “*Environmental Constraints Assessment*”) by Registered Professional Biologist Rupert Wong at Current Environmental Ltd.
 - C. Qualified Environmental Professional Report amendment dated December 21, 2015 (an “*Amendment to the Environmental Constraints Assessment*”) by Registered Professional Biologist Rupert Wong at Current Environmental Ltd.
 - D. Qualified Environmental Professional Report dated February 3, 2016 (the “*Viewscape Maintenance and Landscape Guidelines Plan*”) by Registered Professional Biologist Rupert Wong at Current Environmental Ltd.
 - E. Geotechnical Engineer Report dated December 21, 2015 (the “*Report of Geotechnical Slope Stability Assessment*”) by Professional Engineer Richard Simpson at Simpson Geotechnical Ltd.

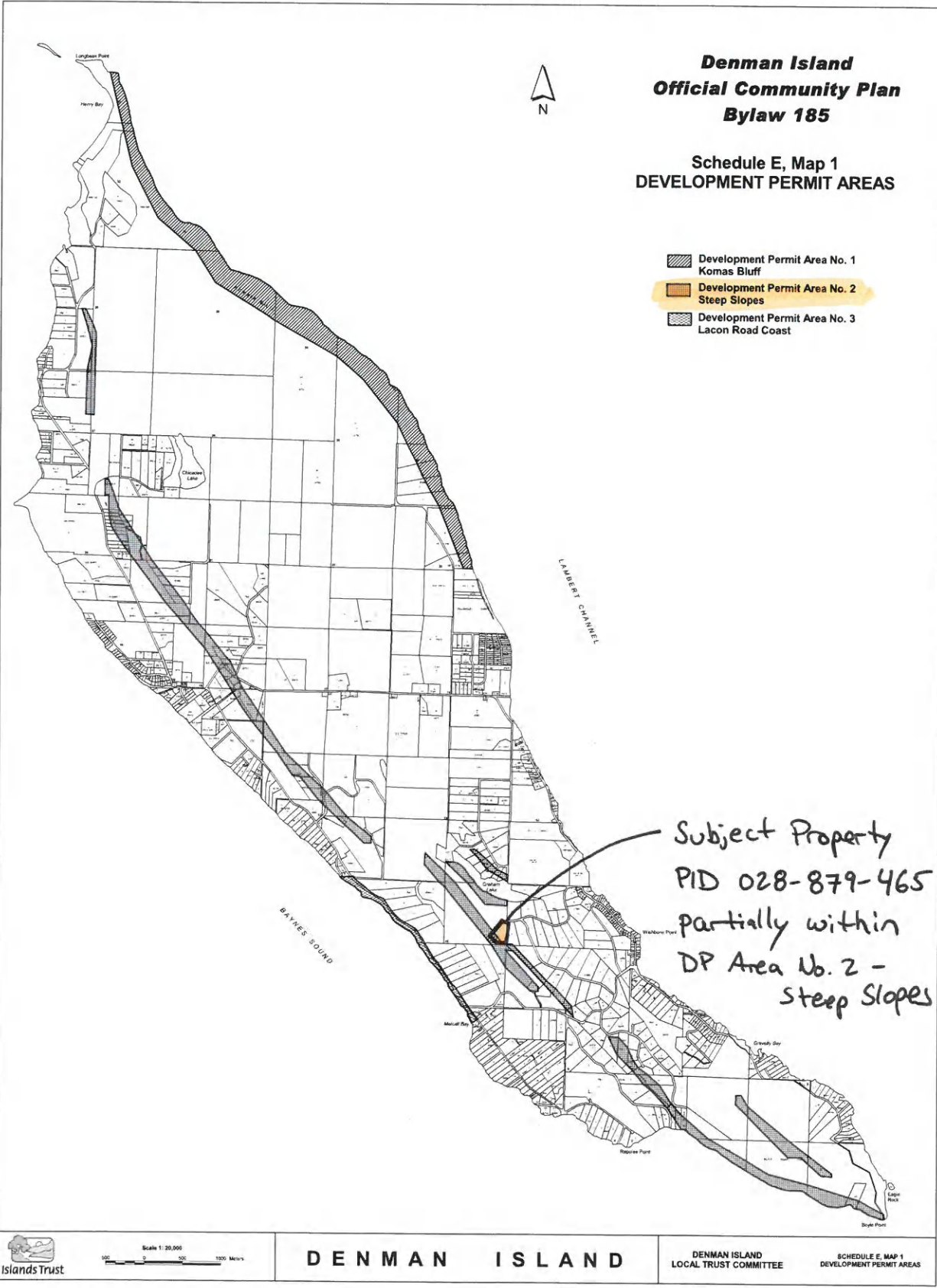
CC: Rob Milne, Island Planner

Appendix 1: Development Permit Area No. 2 (Steep Slopes) Guidelines Checklist

Guideline	Application meets Guideline?
1. <i>"A development permit is required ..."</i>	☒ Yes ☐ No
2. <i>"Some properties or portions of properties may be in more than one development permit area; in this case, the guidelines of all development permit areas may apply."</i>	☒ Yes ☐ No
3. <i>"No cutting or removal of trees shall be permitted in this development permit area unless development approval information in the form of an environmental impact assessment is provided by the applicant which indicates that the impact of the cutting or removal of trees is unlikely to have harmful effects on adjacent marine areas, surface drainage and groundwater, watercourses, uncommon or endangered plants or plant communities, and high value wildlife habitats."</i>	☒ Yes ☐ No
4. <i>"Cutting or removing of trees should be done in accordance with a plan certified by a Registered Professional Forester or Registered Professional Biologist to maintain, enhance, or restore a welldeveloped forest ecosystem..."</i>	☒ Yes ☐ No
5. <i>"Prior to issuing a development permit, the local trust committee may require security in an amount acceptable to the local trust committee."</i>	☒ Yes ☐ No
6. <i>"On receipt of a final report or written request, as stipulated in the development permit, the local trust committee shall return the security, minus any amount required to correct any damage to the natural environment caused by a contravention of a condition in the development permit ..."</i>	☒ Yes ☐ No
7. <i>"Development permits issued in Development Permit Area No. 2 - Steep Slopes should contain a condition stating that a letter must be submitted by a time specified in the development permit indicating that the work has been completed in accordance with the terms and conditions of the development permit."</i>	☒ Yes ☐ No









PROPOSED

DENMAN ISLAND LOCAL TRUST COMMITTEE

DEVELOPMENT PERMIT - DE-DP-2015.3

TO: Irma Smith and Robert Smith

This Development Permit (the "Permit") applies to land described as:

PID: 028-879-465

**Lot 1 of the North East ¼ of Section 10, Denman Island, Nanaimo District,
Plan VIP89453**

And authorizes the following developments within Development Permit Area No. 2 – Steep Slopes:

1. The proposed house, deck, septic tank, and partial location of the driveway, as shown on Schedule "A" attached to and forming part of this Permit.

The development authorized above is only permitted, and all works shall be completed in accordance with the following conditions:

1. The recommendations contained within the Current Environmental QEP Report dated November 19, 2015 and its amendment dated December 21, 2015, which are attached to and form part of this Permit as Schedules "B" and "C" respectively;
2. The trimming and pruning of trees and the maintenance and landscaping of other vegetation to enhance property views, must be strictly in accordance with the Current Environmental Viewscape Maintenance and Landscape Guidelines Report dated February 3, 2016, which is attached to and forms part of this Permit as Schedule "D";
3. Excavation, foundations, drainage, fill, and other similar works must be strictly in accordance with the Simpson Geotechnical Ltd. Slope Stability Assessment Report dated December 21, 2015, which is attached to and forms part of this permit as Schedule "E"; and

This is not a siting and use permit, nor does it provide permission to construct any works without other lawfully required approvals and permits. It also does not relieve the applicant from complying with the provisions of *the Denman Island Official Community Plan Bylaw No. 185, 2008* and the *Denman Island Land Use Bylaw No. 186, 2008*.

AUTHORIZING RESOLUTION PASSED BY THE DENMAN ISLAND LOCAL TRUST
COMMITTEE THIS __ DAY OF ___, 2016.

Deputy Secretary, Islands Trust

Date Issued

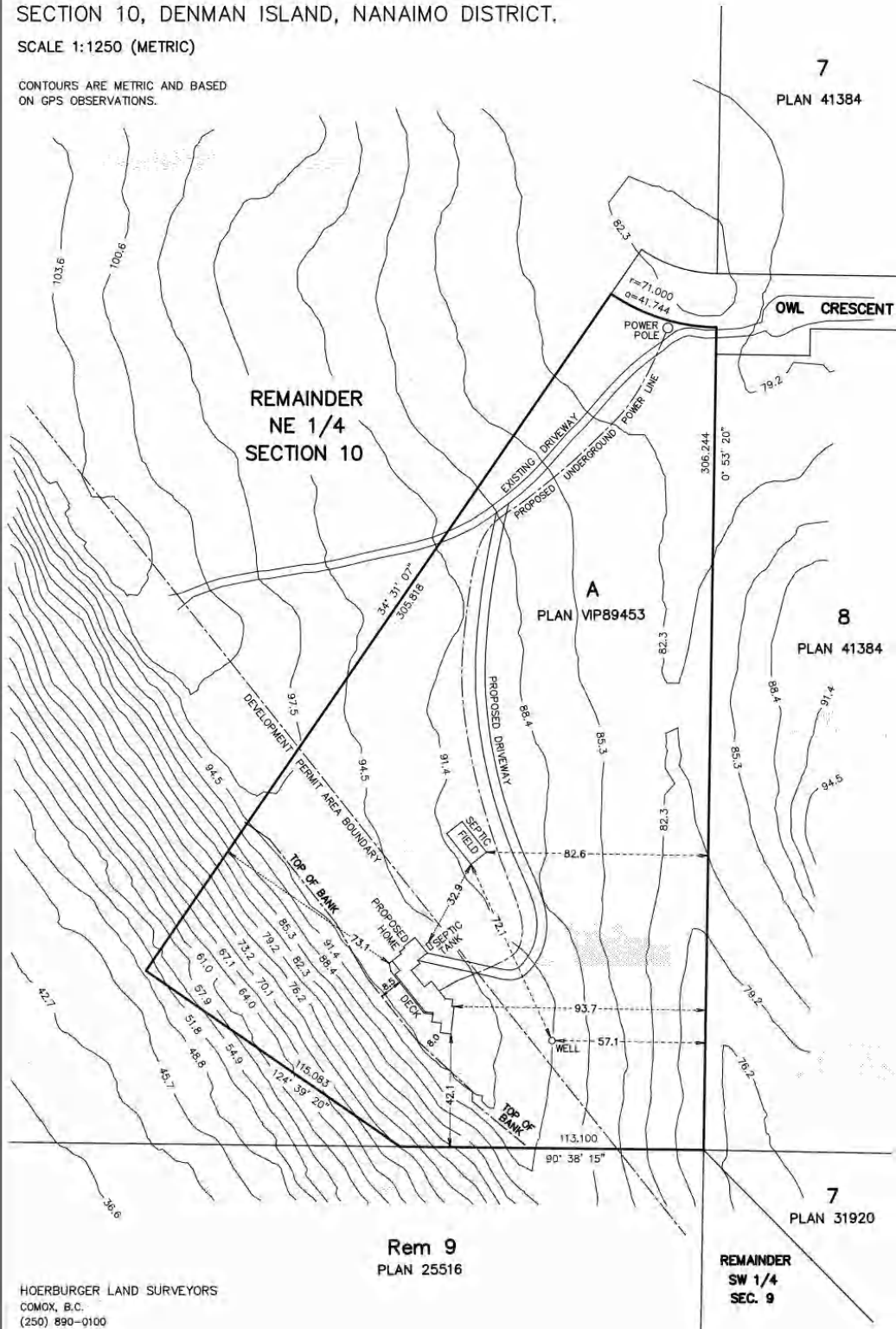
IF THE DEVELOPMENT HEREIN IS NOT COMMENCED BY THE __ day of ___, 2018,
THIS PERMIT AUTOMATICALLY LAPSES.

DE-DP-2015.3 – SCHEDULE “A”

PLAN OF PROPOSED IMPROVEMENTS ON LOT A,
SECTION 10, DENMAN ISLAND, NANAIMO DISTRICT.

SCALE 1:1250 (METRIC)

CONTOURS ARE METRIC AND BASED
ON GPS OBSERVATIONS.



Rem 9
PLAN 25516

HOERBURGER LAND SURVEYORS
COMOX, B.C.
(250) 890-0100
FILE: C1097TP2
DECEMBER 18, 2015

**Qualified Environmental Professional Report dated November 19, 2015
(the “*Environmental Constraints Assessment*”)
by Registered Professional Biologist Rupert Wong at Current Environmental Ltd.**

To:	Paige Scott and Étienne de Villiers, Etienne Design Custom Homes	Project:	Environmental Constraints Assessment - 8330 Owl Crescent, Denman Island, BC
From:	Caitlin O'Neill, Technologist and Rupert Wong, Registered Professional Biologist, Current Environmental Ltd.	Date:	November 19th, 2015
		Pages:	11

RE: ENVIRONMENTAL CONSTRAINTS ASSESSMENT - 8330 OWL CRESCENT, DENMAN ISLAND, BC

On November 13th, 2015, a ground-level survey was completed by Current Environmental Ltd. at 8330 Owl Crescent on Denman Island, BC, to determine potential environmental constraints on the proposed new residential development on this property. This assessment was triggered by the Denman Island Land Use Bylaw No. 186, Section 4.2, Development Permit Area No. 2: Steep Slopes Guidelines. Accordingly, the focus of this assessment was on the trees and forest ecosystem located on the steep bank along the southwest property boundary, as well as any watercourses or drainage areas entering or leaving this area of the property. The results of this assessment are presented in the headings shown below.

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1 INTRODUCTION

1.1 PROPERTY LOCATION

The subject property is located at 8330 Owl Crescent on Denman Island, BC. There is a steep slope that runs along the southwestern portion of the property which is included as part of a Steep Slopes Development Permit Area on Denman Island (Figure 1).



Figure 1. Location of the subject property (Map source: CVRD imap 2015)

1.2 DEVELOPMENT PLAN

This letter report addresses the proposed development of a single family house at 8330 Owl Crescent which is located within a steep slopes development permit area on Denman Island. Development includes a single residential building, a septic tank, and a driveway access road. The proposed house location falls within the steep slopes assessment area, as well as a small portion of the driveway. Figure 2 captures the proposed development plan for this property.

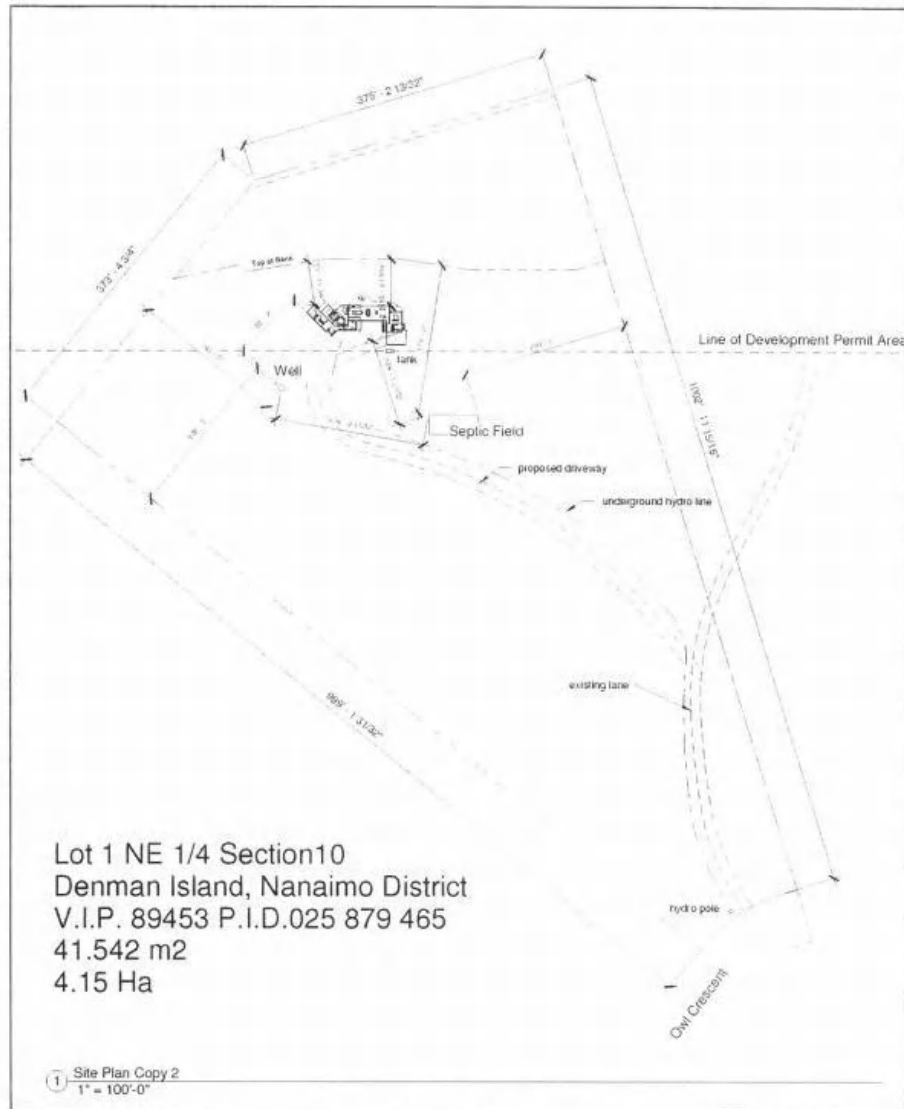


Figure 2. Preliminary development plan for 8330 Owl Crescent

2 METHODS

2.1 BACKGROUND REVIEW

Information on environmentally sensitive features within the subject property were obtained from the following sources:

- 1) Reconnaissance level field sampling carried out by Current Environmental Ltd. on November 13th, 2015;
- 2) Government and online database review including:
 - a) Conservation Data Center (CDC);
 - b) Wildlife Tree Stewardship Atlas (WITS);
 - c) Sensitive Ecosystem Inventory (SEI);
 - d) Sensitive Habitat Inventory and Mapping (SHIM);
 - e) Species at Risk Act (SARA) database;
 - f) Species at Risk & Local Government database;
 - g) Satellite Imagery.

2.2 FIELD ASSESSMENT

Field assessment of the property was completed on November 13th, 2015 to identify any environmentally sensitive features on the property, especially within the Steep Slopes Development Area. The area to be cleared for development was identified in the field, and tree species, age, and approximate Diameter at Breast Height (DBH) were recorded within the proposed building location and along the edge of the steep slope. Additionally, other understory plants in the forest stand on the property were recorded, as well as any watercourses near the building location and the steep slope. Finally, the site was scanned for the presence of any Species at Risk and raptors and great blue heron nests. The following sections provide additional detail on specific inventory methods.

2.2.1 Aquatic Habitats and Species

Criteria for delineating watercourses and for determining setbacks from identified features were based primarily on the BC *Riparian Areas Regulation Assessment Methods* v. 2.7 (2012). Methodologies employed for the classification and delineation of wetlands were based primarily on standards adapted from the BC *Riparian Areas Regulation (RAR)* (Anon, 2008), *Wetlands of British Columbia – A Guide to Identification*¹ (MacKenzie, 2004), *The Canadian Wetland Classification System* (Warner, 1997), *Indicator Plants of Coastal British Columbia* (Klinka 1989), and the Resources Inventory Committee of British Columbia *Reconnaissance (1:20,000) Fish and Fish Habitat Inventory: Standards and Procedures Version 1.1* (March 1999).

¹ *Wetlands of British Columbia – A Guide to Identification* employs a site unit classification model of a Wetland and Riparian Ecosystem Classification system (WREC) and is based on the Canadian Wetland Classification System (CWCS) (Warner and Rubec 1997).

2.2.2 Terrestrial Habitats and Species

Survey methods for identifying terrestrial environmentally sensitive features included those outlined in *Environmental Objectives, Best Management Practices and Requirements for Land Developments*², *Environmental Best Management Practices for Urban and Rural Land Development in British Columbia*³, and the *Field Manual for Describing Terrestrial Ecosystems*⁴.

2.2.3 Species at Risk

An office-based assessment of Species at Risk occurrences on the subject property was completed using the *CDC BC Species and Ecosystems Explorer*⁵ and the *Federal Species at Risk Public Registry*⁶. The on-site assessment of Species at Risk was completed concurrent with the other inventory efforts mentioned above and was based primarily on methods outlined in *Environmental Best Management Practices for Urban and Rural Land Development*⁷.

3 RESULTS

3.1 WATERCOURSES

The site visit revealed that there are no concerns with water drainage or watercourses with respect to the proposed building footprint and the steep slope adjacent to development. The site was surveyed, and the closest corner of the proposed building will be approximately 15m from the Top of Bank of the slope. Additionally, from this Top of Bank, the ground gradually slopes away from the steep slope, meaning that all runoff water from the new development will drain away from the steep slope, leaving no significant impact on the slope in terms of drainage and unstable ground. Finally, there were no watercourses observed within 30 m of the development site, with the exception of a wet area and roadside ditch at the front of the property near Owl Crescent which will not be impacted with the current development plan.

3.2 TREES

The majority of the proposed property up to the Top of Bank of the steep slope appears to have been previously clear cut and re-planted. The area of forest to be cleared for development consists of approximately 85% planted Douglas fir, 10% young arbutus recruits, 2% western red cedar, and 3% grand fir. All of these trees have a DBH of between 5 and 15 cm, and are growing quite close to each other, resulting in a thick, heavily shaded understory level where very little understory plants are present. Among these understory plants is sword fern, dull Oregon grape, salal, and step-moss, all in sparse quantities.

² BC Ministry of Environment Lands and Parks, 2001

³ BC Ministry of Environment, Draft 2005

⁴ BC Ministry of Environment Lands and Parks and BC Ministry of Forests - Research Branch, 1998

⁵ <http://www.env.gov.bc.ca/atrisk/lms.htm>

⁶ http://www.sararegistry.gc.ca/species/default_e.cfm

⁷ BC Ministry of Water, Land and Air Protection, Draft 2004. Section 6. Special Wildlife and Species at Risk. Accessed from <<http://www.for.gov.bc.ca/hfd/library/documents/bib96817.pdf>>.

There are, however, approximately 6 large mature trees (greater than 100 cm DBH) located on the steep slope directly in front of the proposed house location that are afforded protection under the Denman Island Land Use Bylaw. These 6 trees consists of 5 Douglas fir trees, and one large arbutus tree. All large mature trees on steep slopes on Denman Island afford protection, and arbutus is also yellow listed in BC⁸. These trees are currently serving to hold the soils in place on the steep slope, as well as providing valuable perching habitat for raptors. Although there were no raptor nests observed in these trees, there was a bald eagle perched in one of the 5 Douglas fir trees when we first approached the site. There are no plans to remove any of these trees for the proposed new development. Should any safety concerns with these trees arise with regards to the new development, then a Professional Arborist will need to provide a statement to validate the safety concerns and abatement of any of these trees.

3.3 SPECIES AT RISK

A background search using the Wildlife Tree Stewardship Atlas, the BC Great Blue Herons Atlas and the Conservation Data Centre online mapping applications showed that there are no known occurrences of avian nests protected under the Wildlife Act or species at risk that are protected under the federal Species at Risk Act on the subject property. There was, however, a significant amount of arbutus trees located on the subject property that are not listed on the federal registry, but that are classified as yellow-listed in the BC Conservation Data Centre registry. Whenever possible, adjustments should be made to the building plan to keep as many arbutus trees as possible on site. As discussed on site, some of the young arbutus trees on the building site may need to be removed in order to stay outside of the falling path of the large mature trees on the steep slope.

3.4 INVASIVE SPECIES

There were some patches of invasive Scotch broom located on the old access road into the property along the edge of the slope. Scotch broom can colonize open, disturbed areas quite quickly, therefore care should be taken during the construction process not to spread the seeds of this plant into the building site or the new driveway access road. Machinery should avoid or minimize the amount of passes through Scotch broom to minimize the spread of seeds, and any Scotch broom that is removed should be burned or disposed of at an appropriate location.

3.5 SITE PLAN

The following figure (Figure 3) represents the approximate location of the new development with respect to the steep slope and mature trees to be protected.



⁸ BC Conservation Data Centre. 2014. Conservation Status Report – *Arbutus menziesii*. Ministry of Environment. <<http://a100.gov.bc.ca/pub/eswp/esr.do?id=18961>>. Accessed November 20th, 2015.



Figure 3. 8330 Owl Crescent site plan and approximate location of trees to be protected

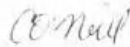
4 DISCUSSION/RECOMMENDATIONS

The sensitive features to be protected within this steep slopes development permit area are the mature Douglas fir and arbutus trees located on the slope in front of the proposed building location. All of these trees are at least 15 m from the proposed building site, and there are no plans to remove these trees as part of this development. These trees protect the stability of the slope, as well as provide valuable perching habitat for raptors. As mentioned above, should any safety concerns with these trees arise with regards to the new development, then a Professional Arborist will need to provide a statement to validate the safety concerns and removal of any of these trees.

5 CLOSURE

We trust this assessment has satisfied your requirements and will help you move forward with the new development at 8330 Owl Crescent. Please contact the undersigned if you have any queries.

Current Environmental Ltd.



Caitlin O'Neill, Technologist

&



Rupert Wong, R.P.Bio.

current
ENVIRONMENTAL

6 PHOTOS



Photo 1. Area cleared for access of the new building location with the steep slope on the right, and the proposed house footprint extending into the forest on the left.



Photo 2. One of the mature Douglas fir trees located on the slope that are to be protected during development.



Photo 3. Mature arbutus tree on the slope and some of the Douglas fir trees to be protected.



Photo 4. Young forest at the proposed house location with the ground sloping away from the steep slope.



Photo 5. Young forest at the building location showing the close proximity of trees and dark understory with minimal vegetation.



Photo 6. One of the young arbutus recruits in the reforested area.

Qualified Environmental Professional Report amendment dated December 21, 2015
(an “*Amendment to the Environmental Constraints Assessment*”)
by Registered Professional Biologist Rupert Wong at Current Environmental Ltd



Dec. 21st, 2015

C. O'Neill and R. Wong
Current Environmental Ltd.
244 4th Street
Courtenay, BC, V9N 1G6

Paige Scott
Etienne Design
2201 Tristone Road
Denman Island, BC, V0R 1T0

Re: Amendment to Environmental Constraints Assessment – 8330 Owl Crescent

Dear Ms. Scott,

On November 23rd, 2015, Current Environmental Ltd. provided Etienne Design with an Environmental Constraints Assessment that addressed the proposed house development within a Steep Slopes Development Permit Area at 8330 Owl Crescent on Denman Island. This letter builds on the initial report and addresses the recent change to move the house 22 ft (6.7 m) closer to the Top of Bank than the original location.

The location of the house was initially set 51 ft (15.5 m) from the Top of Bank at the closest corner, and the new location is approximately 29 ft (8.8 m) from the Top of Bank at the closest corner. As mentioned in the original report, the biggest concern in terms of environmental features on or near the steep slope on this property are the mature trees located directly in front of the proposed house location acting as important perch sites for raptors and helping to stabilize the slope. After reviewing the location of these mature trees, the change in house location should have no additional impact on these trees, as long as the measures to protect trees provided in the original report and this letter are followed.

The BC Ministry of the Environment *Guidelines for Raptor Conservation During Urban and Rural Land Development in British Columbia (2013)*¹ highlight the importance of protecting raptor perch sites, and while they do not provide exact buffers required for these trees, care should be taken not to affect the health of these trees during development. With construction pushed closer to the rooting zone of the mature trees, it is important to protect tree roots from mechanical damage, soil disturbance, or soil compaction during future construction in order to prevent destabilizing the trees or causing tree mortality. Measures will include the following:

- a. Establish root protection zones around the significant larger trees surrounding the work site. For the purposes of this development, root protection zones for mature trees will be calculated

¹ BC MofE. 2013. *Guidelines for Raptor Conservation During Urban and Rural Land Development in British Columbia*. Accessed from < http://www.env.gov.bc.ca/wild/documents/bmp/raptor_conservation_guidelines_2013.pdf > on Dec. 20th, 2015.

based on the drip line of the tree, which is the area defined by the outermost circumference of the tree branches.

- b. Create machine access routes that avoid mature trees, and store excavation/building material away from the root protection zone of mature trees. Cover tree roots in access areas with at least 15 cm of wood chip mulch (or similar material) to avoid root compaction.
- c. Trenching through the rooting zone of mature trees will be prevented.
- d. Monitor the impacts of construction activities. If roots have been cut make sure they weren't shattered by heavy equipment. Broken roots should be cut cleanly with a saw.
- e. Mulch about the base of trees to retain moisture.
- f. Prune any broken limbs with clean cuts.
- g. Ensure that pollutants and other contaminants cannot enter soils within the root protection zone.

If any tree removal needs to occur to any of the large mature trees surrounding the building site, then it is strongly recommended that a Certified Arborist is retained to provide further advice and to ensure there are no safety concerns regarding these trees.

We trust that this letter has provided sufficient direction on protecting the mature trees on the steep slope adjacent to the proposed new building location. If you have any comments or questions regarding this letter, please don't hesitate to contact the undersigned.

Sincerely,



Caitlin O'Neill, Technologist and Rupert Wong, R.P.Bio.

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**Qualified Environmental Professional Report dated February 3, 2016
(the “*Viewscape Maintenance and Landscape Guidelines Plan*”)
by Registered Professional Biologist Rupert Wong at Current Environmental Ltd.**

To:	Paige Scott and Etienne de Villiers, Etienne Design Custom Homes	Project:	Viewscape Maintenance and Landscaping Guidelines - 8330 Owl Crescent, Denman Is., BC
From:	Caitlin O'Neill, Technologist and Rupert Wong, Registered Professional Biologist, Current Environmental Ltd.	Date:	February 3rd, 2016
		Pages:	5

RE: VIEWSCAPE MAINTENANCE AND LANDSCAPING GUIDELINES - 8330 OWL CRESCENT, DENMAN ISLAND, BC

This report builds on the Environmental Constraints Assessment completed for the new development proposed at 8330 Owl Crescent on Denman Island, BC with respect to development in a steep slopes Development Permit Area. The original Environmental Constraints Assessment, dated November 19th, 2015 and the letter update dated December 21st, 2015 identify sensitive features on the site with particular attention given to the mature trees located immediately in front of the building footprint on the downward slope face. In addition to protecting these mature trees, there are measures that should be taken in terms of long term maintenance on the property to ensure slope stability and vegetation quality while maintaining a viewscape from the location of the new development. This report provides recommended maintenance and landscaping techniques for the long term protection of the steep slope adjacent to the new development.

LONG TERM VEGETATION MAINTENANCE PLAN

Responsible development near a steep slope must include a long term plan of retaining healthy vegetation on the slope. Vegetation reduces erosion on slopes by intercepting rainfall and creating networks of roots that anchor the soil in place. Compromising the vegetation at the upper face of the slope, especially cutting down mature trees with extensive root networks may de-stabilize the slope and increase the impact of erosion. While home owners at the top of steep slopes may have the right to maintain their viewscape, there are responsible ways of pruning and/or landscaping that preserve the integrity of the vegetation on the slope over time. Long term maintenance guidelines provided in this report include the following categories:

- 1.. Tree removal
- 2.. Tree pruning
- 3.. Native plant landscaping

1. TREE REMOVAL

As mentioned in the original Environmental Constraints Assessment, there are 6 mature trees (5 Douglas fir and 1 arbutus) located on the slope directly in front of the proposed house location. All large mature trees on steep slopes on Denman Island are afforded protection under the Denman Island Land Use Bylaw, and arbutus is also a yellow listed protected species in BC, therefore none of these trees should be removed.

Aside from the mature trees, there may be some young trees that grow up in the line of sight of the new development. In general, trees are beneficial on a slope adjacent to a development as they provide wind protection, they reduce the risk of windthrow on other surrounding trees, and their roots provide slope stability. Additionally, mature trees provide shade for

native groundcover plants to thrive, and reduces the spread of aggressive light-loving shrubs including Scotch broom and Himalayan blackberry which block the line of sight¹.

Given the benefits described above, the property owners at 8330 Owl Crescent should maintain as many trees as possible along the top of bank and upper portion of the slope adjacent to the new development. However, as observed during the site assessment, several young conifers and some young arbutus trees approximately 2 m high are clustered near the top of bank in front of the development site (Photo 1). If the land owners wish to maintain a view in this location, it is recommended that the new cluster of trees be thinned to a spacing of approximately 6 m between each tree, which will allow each tree to access enough sunlight and to grow to a larger size without competing with the other trees. It is also recommended that the arbutus trees be retained over the coniferous trees when thinning to protect this species at risk.

If any safety concerns were to arise with any of the existing mature trees on the slope in front of the development, it is strongly recommended that a certified arborist be contacted to complete an assessment and provide guidance on tree abatement or removal.

2. TREE PRUNING

Apart from some light tree removal and thinning as described above, the landowners at 8330 Owl Crescent should consider alternative methods to tree cutting whenever possible given the importance of mature tree cover on slope stability. Several tree pruning techniques may be considered as the young conifers and arbutus trees begin to grow taller in front of the new development. These methods may include windowing, interlimbing, or pruning the lower branches which are all essentially ways of creating viewpoints through mature trees without compromising their health (Figure 1)². With these pruning techniques, the overall benefit of the mature trees in terms of shading out tall growing shrubs below and stabilizing slopes remain consistent, while maintaining a viewpoint from the new development. Again, please consult an arborist for guidance on proper pruning techniques for mature trees.

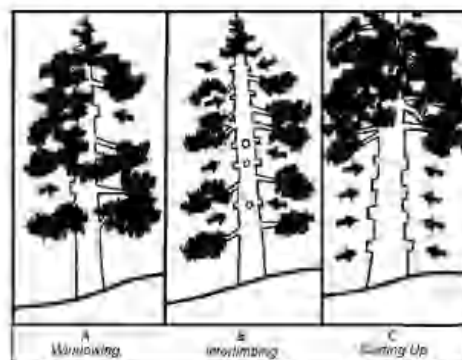


Figure 1. Alternative pruning practices for conifers. Source: State of Washington Department of Ecology, *Managing Vegetation on Coastal Slopes*.

¹ Regional District of Nanaimo, 2006, GNPCC Walley Creek Daylighting. Planting of Trees, Shrubs, and Ground Covers. Pages 1-8.

² State of Washington Department of Ecology, 2015. *Managing Vegetation on Coastal Slopes*, <http://www.ecy.wa.gov/programs/sea/pubs/93-31/intro.html>. Accessed January 25th, 2016.

3. NATIVE PLANT LANDSCAPING

As development occurs on site, it will be important to maintain a vegetated buffer between the development site and the crest of the slope which can tie into future landscaping on site. Inevitably, there will be some disturbance to soils where the new development will be situated, however this vegetated buffer will help to stabilize the top of the slope while it is more vulnerable to sloughing during construction.

Once development is complete, the disturbed areas outside of the building footprint should be quickly re-vegetated with native groundcover plants to provide long term slope stability and prevent invasive species such as Scotch broom and Himalayan blackberry from colonizing. Native groundcover plants can be planted in the areas leading up to the crest of the slope, as well as on the upper portion of the slope if the landowners chose to thin some of the young conifers in this area. Groundcover plants and low growing shrubs that would be appropriate for stabilizing soils while maintaining the viewscape on the subject property include:

- Sword fern (already present on site)
- Dull Oregon grape (already present on site)
- Salal (already present on site)
- Snowberry
- Evergreen huckleberry
- Kinnikinnick
- Bracken fern

In terms of tree species, the most beneficial trees to leave on the top of the slope and near the crest are trees that have deep rooting networks, wind resistance, and long life spans. Appropriate native trees with these specifications include:

- Douglas fir
- Arbutus
- Grand fir
- Western hemlock
- Sitka spruce
- Western red cedar

The goal is to allow these trees to grow with a spacing of approximately 6 m between each tree, and to a stage where they provide some shade cover for low growing groundcover plants and discourage sun-loving shrubs that may block the viewscape. With this strategy, the slope at 8330 Owl Crescent will remain stable while also maintaining a view through the mature trees and groundcover plants at the top of the slope.

CLOSURE

We trust this assessment will help the landowners move forward with the new development at 8330 Owl Crescent while maintaining a stable slope and viewscape from the development site. Please contact the undersigned if you have any queries.

Current Environmental Ltd.

C O'Neill

Caitlin O'Neill, Technologist



Rupert Wong, R.P. Bio.

PHOTOS



Photo 1. Crest of slope in front of the development site with young arbutus tree recruits and several young conifers. Recommended management strategy for this area is to maintain as many of the arbutus trees as possible and thin the new tree recruits to a spacing of one per 6 m. Allow the conifers and arbutus trees to mature so that they provide slope stability and shade cover for native groundcover plants, which will provide a viewscape between the mature tree canopy and groundcover plants.

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Photo 2: Area disturbed as part of construction of the new development. Once the new development is complete, this area should be replanted with any of the native groundcover plants listed in this report, or with grass seed to re-stabilize the soils and prevent invasive species such as Scotch broom and Himalayan blackberry from populating the site. Grass will help to stabilize the soils on the surface, however its relatively shallow roots will not provide as much stability and complexity as small shrubs and native groundcover plants.

**Geotechnical Engineer Report dated December 21, 2015
(the “Report of Geotechnical Slope Stability Assessment”)
by Professional Engineer Richard Simpson at Simpson Geotechnical Ltd.**

December 21, 2015

File: SGL15-036

Robert and Irma Smith
c/o Etienne Design
2201 Tristone Road
Denman Island, BC V0R 1T0

**Re: Report of Geotechnical Slope Stability Assessment
8330 Owl Crescent, Denman Island, BC**

INTRODUCTION

As requested, Simpson Geotechnical Ltd. (SGL) has conducted a slope stability assessment at the captioned subject property with respect to the construction of a single family residence on that property. The subject property is located south of Graham Lake on Denman Island as shown on Figure 1.

The subject property is located within the Denman Island Official Community Plan, 2008 Development Permit Area No. 2: Steep Slopes. The purpose of this assessment was to establish a geotechnical building setback from the crest of the ridge slope for the proposed residence within the framework of the Development Permit Area as well as the current (2012) BC Building Code.

REGULATORY FRAMEWORK

The Denman Island Official Community Plan, 2008 Development Permit Area No. 2: Steep Slopes requires the development to:

1. Protect the natural environment, its ecosystems and biological diversity from adverse impacts of land alteration; and
2. Retain large old growth trees for their ecological and habitat value.

The 2012 BC Building Code requires consideration of slope stability, including seismic slope stability with a design ground motion (DGM) having a 2% in 50 year probability of exceedance. The objective of the seismic design is to provide an acceptable level of safety for building occupants as the building responds to the DGM, although significant structural and non-structural damage to the building may occur¹. Wood framed residential construction can typically tolerate 15cm of slope displacement without collapse².

BACKGROUND

Surficial Geology

Surficial geology Map 32-1960 of the Courtenay area published by the Geological Survey of Canada was obtained. That map showed the site to be comprised of stoney, sandy, loamy and clayey marine veneer typically less than 1.5m thick overlying bedrock.

The BC Geological Survey Branch Map 2001-3 of Denman and Hornby Islands was obtained. That map showed the subject property to be underlain by the DeCourcy formation, comprised of massive, light olive grey, medium to coarse-grained, poorly sorted, thick-bedded sandstone interbedded with thick-bedded, channelized, clast-supported pebble-cobble conglomerate. The bedding planes are shown to dip down to the northeast at 4 to 10 degrees from horizontal, with primary and secondary fractures aligned southwest to northeast at 69 to 83 degrees from horizontal, defining a generally orthogonal discontinuity arrangement.

Historical Seismic Activity

A magnitude 7.2 earthquake occurred in the central Vancouver Island area on June 23, 1946. Many soil failures from that earthquake have been documented³, including beaches disappearing at Goose Spit and the Deep Bay Spit on Vancouver Island, and

¹ NBC 2012 Structural Commentaries (Part 4, Division B), Canadian Commission of Building and Fire Codes, National Research Council of Canada.

² Guidelines for Legislated Landslide Assessments for Proposed Residential Development in British Columbia, APEGBC, May 2010

³ Garry C. Rogers, A Documentation of Soil Failures During the British Columbia Earthquake of 23 June, 1946, Canadian Geotechnical Journal, Vol. 17, 1980.

a 9m water spout was reported between Denman Island and Deep Bay. However, no soil failure was documented to have occurred at the site area from that earthquake.

Seismic Hazard

A site specific seismic hazard calculation for the subject property was obtained from Natural Resources Canada. That seismic hazard calculation indicated a peak ground acceleration of 0.347g for the 2% in 50 year probability of exceedance seismic event. The seismic hazard calculation is appended.

SITE ASSESSMENT

Our site assessment was conducted on December 14, 2015. The assessment consisted of observations in the vicinity of the proposed building area, measurement of a tape and clinometer cross section of the ground surface through the slope and the excavation of four test holes with a small tracked excavator.

The site was an approximately 4 hectare property at the western end of Owl Crescent as shown on Figure 2. The ground surface of the property sloped gently up to the south from Owl Crescent to the crest of a southeastward facing slope with a totally height in the order of 50m. From the slope crest there was a relatively constant grade down to a relatively flat area below.

The site was predominantly vegetated with second growth conifers with trunk diameters generally less than 400mm, with occasional larger trees and an understory of Salal, Oregon Grape and other shrubs.

The tape and clinometer cross section indicated the upper and lower portions of the slope to be at approximately 30 degrees from horizontal, with the middle portion up to approximately 40 degrees. The cross section location is illustrated on Figure 2 and 3, and the cross section is shown on Figure 3. The slope area directly below as well as northwestward of the proposed building site was sparsely treed and appeared to have been logged within the relatively recent past. Many of the remaining trees were tilted both up and down-slope and pistol butted, suggestive of ongoing slope creep and deformation. Light groundwater breakout was noted on the lower slope.

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Approximately 150m northwestward of the proposed building site there were localized exposed sandstone bluffs on the upper slope with large boulder debris interpreted as rockfall from those bluffs near the toe of the slope. Southeastward of the proposed building site the slope was heavily treed and the slope flattened to approximately 25 degrees from horizontal.

Beyond the toe of the slope the ground was predominantly cleared, wet and swampy. A photolog of our site observations is appended.

Four test holes were excavated in the vicinity of the proposed building area. Those test holes generally encountered topsoil and silt/clay marine veneer overlying sandstone bedrock. The bedrock was heavily fractured, displaced and had silty soil infill between bedding planes near the slope crest that transitioned to intact sandstone bedrock between 1 and 6m from the slope crest. The bedding planes of the bedrock defined the primary sliding discontinuity surface and sloped down away from the slope crest at approximately 10 degrees from horizontal.

Logs of the test holes are appended and the approximate test hole locations are shown on Figure 2.

SLOPE STABILITY ASSESSMENT

The slope stability assessment was conducted using Slope/w limit states slope stability software and the slope geometry obtained by tape and clinometers survey as shown on Figure 3. The soil input parameters were based on the test holes and observed in the immediate vicinity of the site, our experience in the area and published surficial geology data.

The stability assessment was conducted for the static condition, and the 2% in 50 year probability seismic event as required by the BC Building Code, with a peak horizontal ground acceleration of 0.347g.

The assessment was conducted to identify the theoretical failure surface with a factor of safety of 1.5 for the static condition and 1.0 for the seismic condition. The assessment indicated that the existing slope has a factor of safety of less than one under the static condition, which expresses as slope creep and tilted trees. The

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stability assessment also showed that the failure extent upslope of the crest is limited by the sandstone bedrock. That factor of safety reduced further under seismic loads. The Slope/w output is appended.

CONCLUSIONS AND RECOMMENDATIONS

General

Simpson Geotechnical Ltd. considers the subject property to be geotechnically safe for the intended use of a single family residence provided that the following recommendations are implemented.

The materials encountered in the test holes and observed in exposures on the slope surface in the vicinity of the site are not considered to be susceptible to seismic liquefaction due to the dense and hard nature of the materials.

Temporary construction slopes should be in accordance with the Occupational Health and Safety Regulation. The contractor is solely responsible for protecting excavations by shoring, sloping, benching or other means as required to maintain stability of the excavation. SGL does not assume any responsibility for construction site safety or the activities of the contractor.

Geotechnical Building Setback

In light of the observed subsurface conditions and the slope stability assessment described herein, we recommend a minimum geotechnical building setback of 8m upland from the crest of the slope to locate the residence entirely on the intact sandstone bedrock. The proposed residence should be located entirely upland of that minimum geotechnical building setback. Simpson Geotechnical Ltd. should review and approve the residence location relative to the slope crest at the time of construction and prior to placement of footing formwork or concrete.

The geotechnical setback is intended to minimize the potential for slope movement to impact the proposed residence within a generally accepted 50 year design life for residential buildings. Slope movement that does not have direct impact on the proposed residence may occur within the design life of the structure, irrespective of the site development. Provided that the recommendations of this report are

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implemented, construction and use of the the proposed residence should not result in a reduction in the stability of the slope.

Slope movement between the minimum geotechnical setback and the slope toe may occur and may reduce the usable area, value and enjoyment of the property. Repair of slope movement through re-vegetation and/or re-grading may be required during the design life of the structure.

Non-habitable structures, such as decks, patios and sheds may be located closer to the slope crest than the minimum geotechnical setback provided here. However, ongoing deformation and damage to those structures from slope movement and creep may occur.

Foundations

The proposed residence may be founded of shallow strip and spread foundations that bear directly on intact sandstone bedrock. Approved subgrade may be raised and leveled if desired with engineered fill comprised of well graded, free draining, nominal 75mm minus sand and gravel placed and uniformly compacted in lifts not exceeding 200mm in loose thickness to 100% of the Standard Proctor maximum dry density. Engineered fill should extend laterally beyond the edges of footings a distance at least equal to the thickness of fill below the footings. Engineered fill compaction should be verified by field density testing.

For Limit States Design the foundations may be designed based on an Ultimate (unfactored) Limit State (ULS) bearing resistance of 300kPa. Geotechnical resistance factors (Φ) of 0.5 for bearing and 0.8 for sliding are recommended.

A Serviceability Limit State (SLS) bearing resistance of 150kPa may be used, based on limiting total settlement to less than 25mm and differential settlement to less than 19mm between typical 4.5m column spacing, which is normally tolerable for framed structures.

All footings should be located so that the smallest lateral clear distance between footings will be at least equal to the difference in their bearing elevations. All footings

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should be provided with a minimum 450mm of soil cover for confinement and frost protection.

With the foundations supported as described above with less than 1.0m thickness of engineered fill, the site may be considered Site Class B in accordance with the 2012 BC Building Code Section 4.1.8.4. If greater than 1.0m thickness of engineered fill is used the site should be considered Site Class C.

All foundation bearing surfaces should be reviewed by SGL prior to the placement of engineered fill, footing formwork or concrete.

Drainage

A foundation drainage system constructed of rigid PVC pipe in accordance with the BC Building Code and draining by gravity should be provided. Collected water should not be discharged onto the slope. Final site grading in areas disturbed by the residence construction should provide positive drainage away from the structure, and away from the slope.

MISCELLANEOUS

No grading fill greater than 300mm in thickness, waste disposal fields, underground irrigation systems, or other items with potential for discharge of large volumes of water such as hot tubs or swimming pools should be placed or installed between the minimum geotechnical building setback and the slope toe.

Temporary soil stockpiles of excavated or imported material should not be located closer to the slope crest than the minimum geotechnical setback.

The existing vegetation on the slope should be maintained and new vegetation encouraged where possible. Selective tree pruning, topping and removal may be carried out to maintain views, provided a dense vegetation ground cover is maintained.

CLOSURE

This report was prepared for the exclusive use of Etienne Designs and Robert and Irma Smith for the proposed residence described herein. Any use or reliance made on this report by an unauthorized third party is the responsibility of that third party.

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Contractors should make their own assessment of the property for the purposes of bidding on and performing work on the site.

Geological and hydrological conditions can vary significantly over short distances and may also change with time. Actual conditions remote from the test hole locations may vary across the site. Any encountered variation from the subsurface conditions described in this report should be brought to the attention of Simpson Geotechnical Ltd. to consider potential significance to the recommendations provided in this report.

This report has been prepared in accordance with standard geotechnical engineering practice. No other warranty is provided, either expressed or implied.

We appreciate the opportunity to provide our services on this project. Should you have any questions, please do not hesitate to contact us.

Yours truly,

Simpson Geotechnical Ltd.



Richard Simpson, P. Eng

Attachments:

- Figure 1 – Site Location Plan
- Figure 2 – Site Plan
- Figure 3 – Cross Section A-A
- Photo log
- Test Hole Logs (4 pages)
- Seismic Hazard Calculation
- Slope/w output (2 pages)

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Project: Proposed Residence, 8330 Owl Cres., Denman Island

Title: Site Location Plan

Client: Robert and Irma Smith

File: SGL15-036

Drawn by: RRS

Scale:

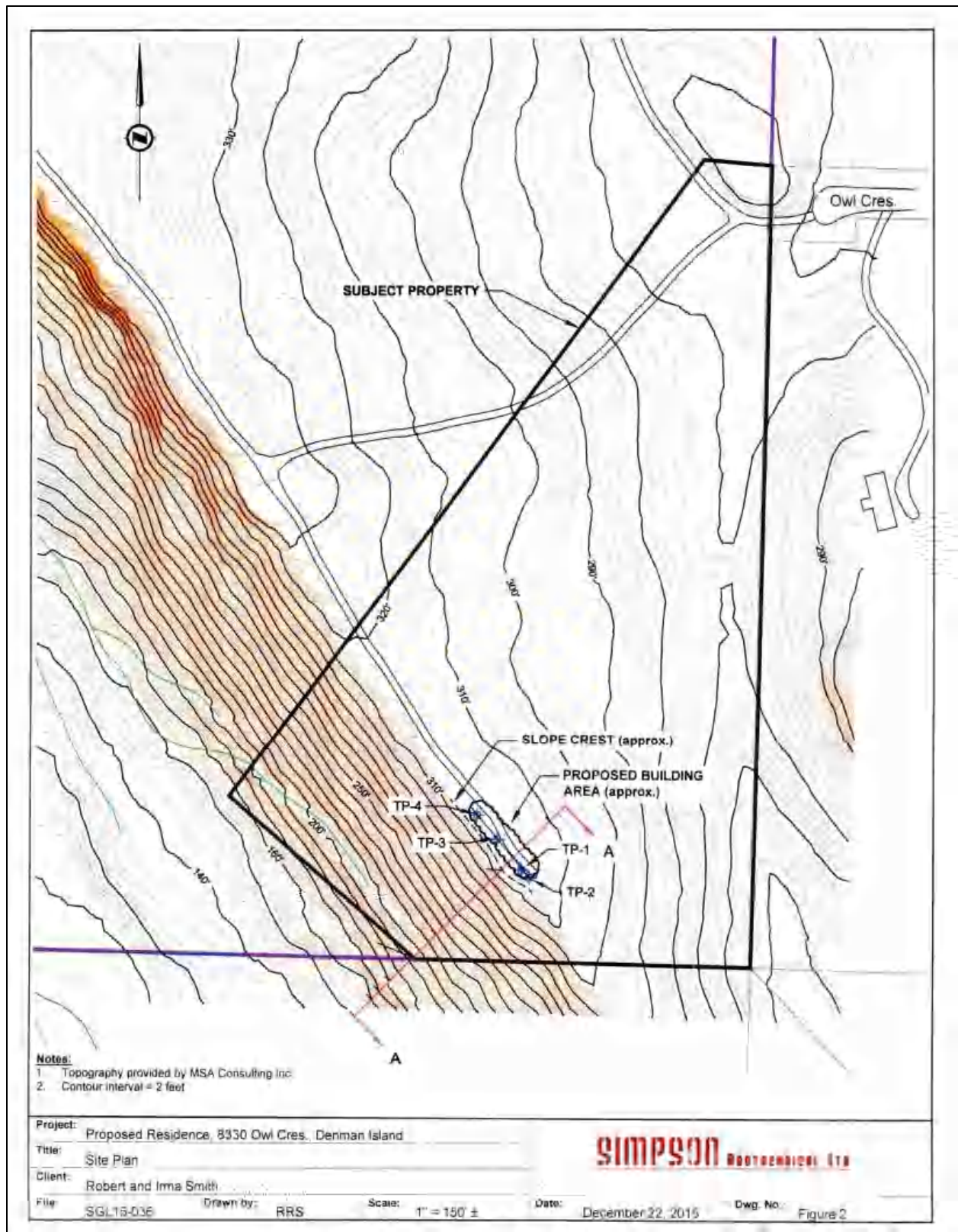
NTS

Date:

December 22, 2015

Dwg. No.:

Figure 1



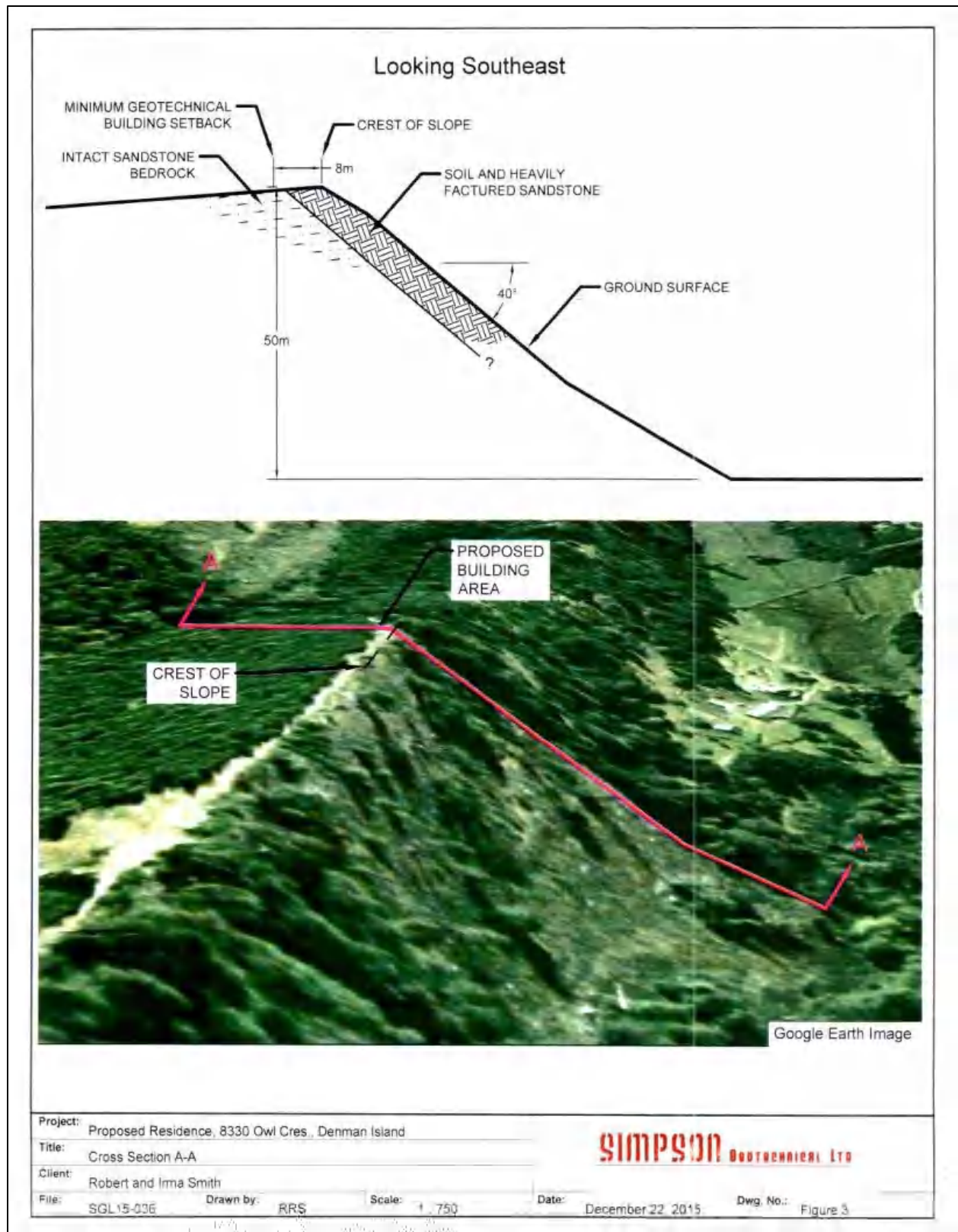




Photo 1 Upper slope below proposed building site looking northwest



Photo 2 Mid-slope looking southeast



Photo 3 Lower slope looking southeast



Photo 4 Rock bluffs NW of proposed building site



Photo 5 Tilted trees below proposed house site

simpsco LANDSCAPE ARCHITECTS

Project: 8330 Owl Crescent, Denman Island
File: SGL15-036 Date: December 22, 2015

Test Pit Logs

8330 Owl Crescent, Denman Island
Test Pits Excavated December 14, 2015

Test Hole No.	Depth (m)	Description
TP-1	0 – 0.3	Silt and sand, organic, contains roots and angular sandstone rock pieces to 60mm diameter, loose, damp, dark brown (Topsoil)
	0.3 – 1.2	Sandstone rock, heavily fractured with bedding planes dipping down to northeast (away from slope) at 10 degrees from horizontal in beds 50 to 200mm thick, silty sand infill between bedding joints, occasional boulder to 1.1m diameter, roots in fractures and joints
	1.2 – 1.3	Silt/clay, trace of fine grained sand, hard (P.P. = 4.5 kg/cm ²), damp, mottled tan
		Trenched test hole eastward and found that fractured rock and soil zone ended approximately 5m from slope crest and became intact sandstone bedrock
		- End of test pit at 1.3m depth to minimize disturbance of possible building area in hard silt/clay - No seepage - No sloughing of test pit walls



Soil classification based on Canadian Foundation Engineering Manual, 4th Edition
P.P. = unconfined compressive strength by pocket penetrometer
M = Natural moisture content as percent of dry weight

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Test Pit Logs

8330 Owl Crescent, Denman Island
Test Pits Excavated December 14, 2015

Test Hole No.	Depth (m)	Description
TP-2	0 – 0.2	Silt and sand, organic, contains roots, loose, damp, dark brown (Topsoil)
	At 0.2	Sandstone bedrock, fractured and ripable to 0.4m depth, then becomes very hard, rock surface and bedding planes slope down to northeast at 10 degrees from horizontal Trenched test hole towards slope crest and found that intact sandstone extends to within approximately 1m laterally from slope crest - End of test pit at 0.4m depth on hard sandstone bedrock - No seepage - No sloughing of test pit walls



Soil classification based on Canadian Foundation Engineering Manual, 4th Edition
P.P. = unconfined compressive strength by pocket penetrometer
M = Natural moisture content as percent of dry weight

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Test Pit Logs

8330 Owl Crescent, Denman Island
Test Pits Excavated December 14, 2015

Test Hole No.	Depth (m)	Description
TP-3	0 – 0.2/0.4	Silt and sand, organic, contains roots and angular sandstone rock pieces to 60mm diameter, loose, damp, dark brown becoming reddish-brown with depth, layer thickness varies from 0.2 to 0.4m around perimeter of test hole (Topsoil)
	0.2/0.4 – 0.6	Sandstone bedrock, fractured surface that became hard and intact by 0.8m depth Extended test hole towards slope crest and found intact sandstone extends to within approximately 1m laterally from slope crest - End of test pit at 0.6m depth on hard sandstone bedrock - No seepage - No sloughing of test pit walls



Soil classification based on Canadian Foundation Engineering Manual, 4th Edition
P.P. = unconfined compressive strength by pocket penetrometer
M = Natural moisture content as percent of dry weight

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Test Pit Logs

8330 Owl Crescent, Denman Island
Test Pits Excavated December 14, 2015

Test Hole No.	Depth (m)	Description
TP-4	0 – 0.2	Silt and sand, organic, contains roots, loose, damp, dark brown (Topsoil)
	0.2 – 1.3	Silt/clay, trace of fine grained sand, hard (P.P. = 4.5 kg/cm ²), damp, mottled tan, contains frequent angular sandstone boulders Extended test hole away from slope crest and found transition to intact had sandstone 6m upland of slope crest, at 0.3m depth - End of test pit at 1.3m depth in hard silt/clay or on sandstone bedrock - No seepage - No sloughing of test pit walls



Soil classification based on Canadian Foundation Engineering Manual, 4th Edition
P.P. = unconfined compressive strength by pocket penetrometer
M = Natural moisture content as percent of dry weight

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2015 National Building Code Seismic Hazard Calculation

INFORMATION: Eastern Canada English (613) 995-5548 français (613) 995-0600 Facsimile (613) 992-8836
Western Canada English (250) 363-6500 Facsimile (250) 363-6565

December 17, 2015

Site: 49.5067 N, 124.7563 W User File Reference: 8330 Owl Cres.

Requested by: , Simpson Geotechnical Ltd.

National Building Code ground motions: 2% probability of exceedance in 50 years (0.000404 per annum)

Sa(0.05)	Sa(0.1)	Sa(0.2)	Sa(0.3)	Sa(0.5)	Sa(1.0)	Sa(2.0)	Sa(5.0)	Sa(10.0)	PGA (g)	PGV (m/s)
0.390	0.617	0.766	0.791	0.735	0.483	0.310	0.106	0.038	0.347	0.577

Notes. Spectral (Sa(T), where T is the period in seconds) and peak ground acceleration (PGA) values are given in units of g (9.81 m/s²). Peak ground velocity is given in m/s. Values are for "firm ground" (NBCC 2015 Site Class C, average shear wave velocity 450 m/s). NBCC2015 and CSAS6-14 values are specified in **bold font**. Three additional periods are provided - their use is discussed in the NBCC2015 Commentary. Only 2 significant figures are to be used. *These values have been interpolated from a 10-km-spaced grid of points. Depending on the gradient of the nearby points, values at this location calculated directly from the hazard program may vary. More than 95 percent of interpolated values are within 2 percent of the directly calculated values.*

Ground motions for other probabilities:

Probability of exceedance per annum	0.010	0.0021	0.001
Probability of exceedance in 50 years	40%	10%	5%
Sa(0.05)	0.068	0.181	0.263
Sa(0.1)	0.105	0.283	0.415
Sa(0.2)	0.136	0.358	0.519
Sa(0.3)	0.138	0.363	0.533
Sa(0.5)	0.116	0.320	0.482
Sa(1.0)	0.066	0.189	0.303
Sa(2.0)	0.036	0.112	0.188
Sa(5.0)	0.0095	0.032	0.061
Sa(10.0)	0.0037	0.011	0.021
PGA	0.058	0.158	0.234
PGV	0.076	0.234	0.366

References

National Building Code of Canada 2015 NRCC no. 56190;
Appendix C: Table C-3, Seismic Design Data for Selected Locations in Canada

User's Guide - NBC 2015, Structural Commentaries NRCC no. xxxxxx (in preparation).
Commentary J: Design for Seismic Effects

Geological Survey of Canada Open File 7893 Fifth Generation
Seismic Hazard Model for Canada: Grid values of mean hazard to be used with the 2015 National Building Code of Canada

See the websites www.EarthquakesCanada.ca
and www.nationalcodes.ca for more information

Aussi disponible en français

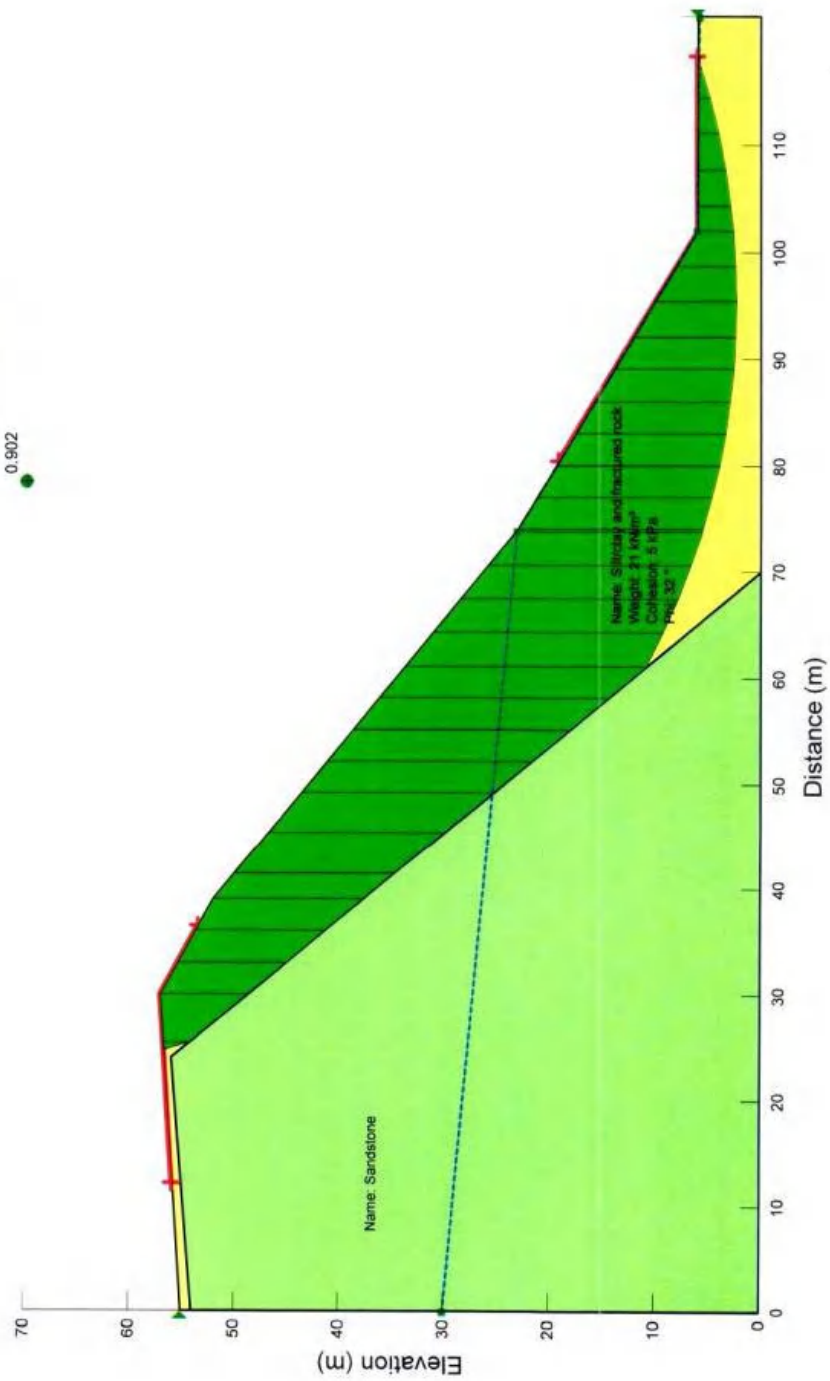


Natural Resources
Canada

Ressources naturelles
Canada



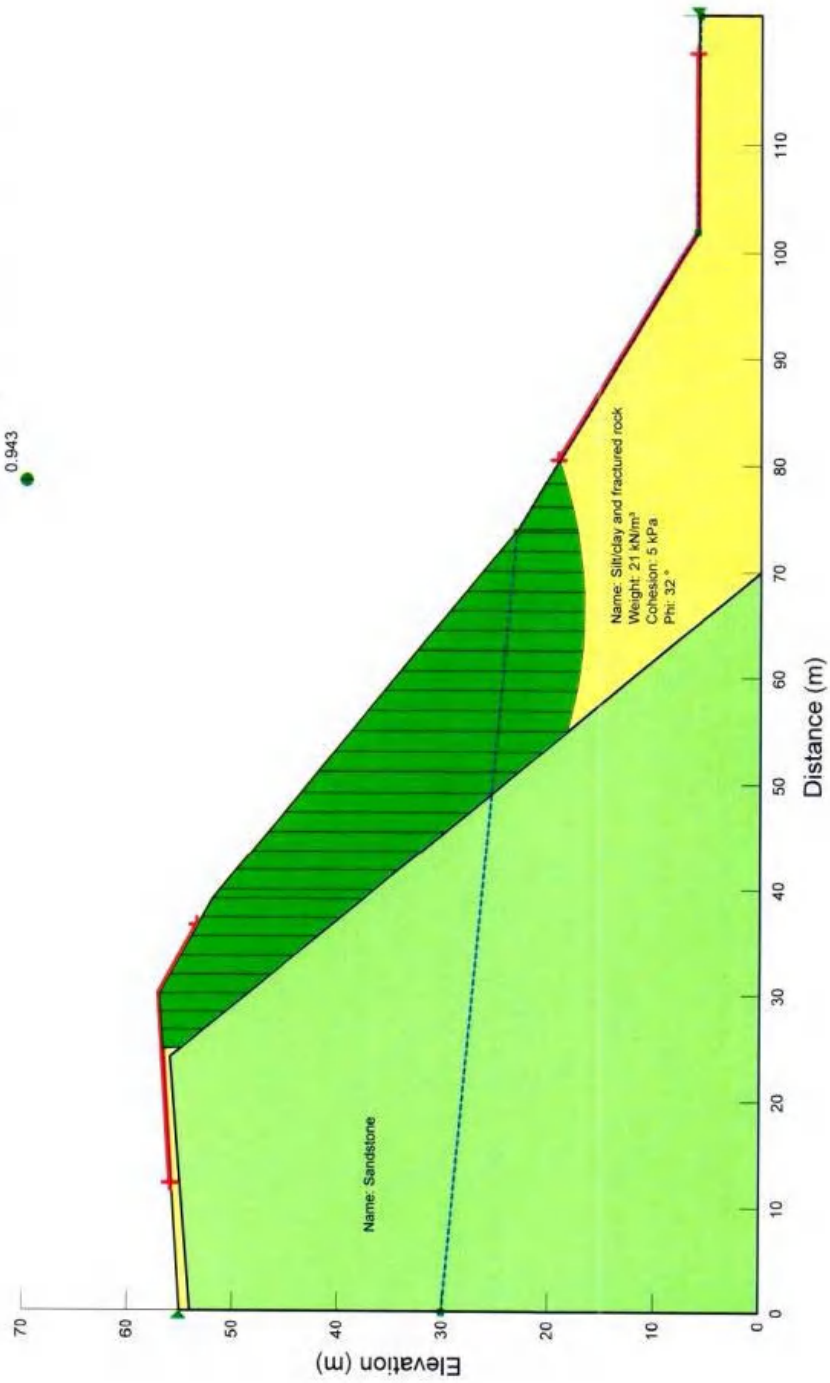
125°W 124.5°W
Canada



8330 Owl Crescent, Denman Isl.
December 2015
File: SGL15-036

Slope/w Output - 2% in 50 year seismic event
PGA = 0.347g

0.943



STAFF REPORT

Date: March 2, 2016

File No.: DE-DP-2015.4
(DeVilliers & Fraser)

To: Denman Island Local Trust Committee
For Meeting of March 15, 2016

From: Teresa Rittemann, Planner 1

CC: Ann Kjerulf, Regional Planning Manager
Rob Milne, Island Planner

Re: Development Permit Application for DPA No. 4 (Streams, Lakes, and Wetlands) for the property legally described as: PID 023-005-025; Lot 2, Section 12, Denman Island, Nanaimo District, Plan VIP60281

Owners: Etienne DeVilliers & Louise Fraser
Applicant: Same.
Location: 2201 Tristone Road, Denman Island

THE PROPOSAL:

Subsection 4.4 (Development Permit Area No. 4: Streams, Lakes and Wetlands) of the Denman Island Land Use Bylaw No. 186, 2008 states that:

*"Prior to undertaking any development, **subdivision** or land alteration, an owner of property within the Streams, Lakes and Wetlands development permit area **shall apply** to the Denman Island Local Trust Committee **for a development permit**"*

Islands Trust received a subdivision application referral from the Ministry of Transportation and Infrastructure (MOTI) in late 2014 (our file: **DE-SUB-2015.1 – DeVilliers & Fraser**). That subdivision application proposes to subdivide under Section 514 (formerly Section 946) of the *Local Government Act*, in order to provide a residence for a relative. Because part of the subject property is within DP Area No. 4, that subdivision application triggered the need to apply for a Development Permit under Subsection 4.4 of the Denman Island Land Use Bylaw.

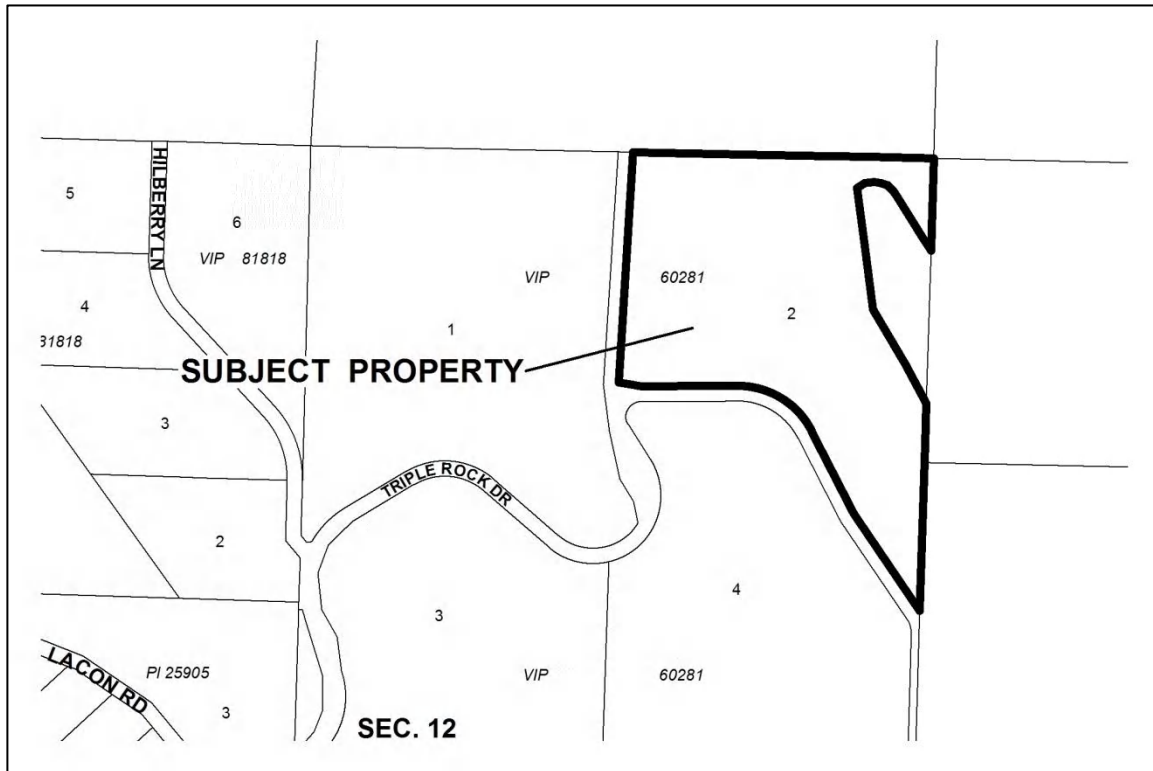
SUMMARY OF STAFF RECOMMENDATION:

For the reasons outlined in the remainder of this report, Staff recommends approval of this Development Permit in accordance with the schedules attached to and forming part of the permit.

SITE CONTEXT:

The subject property (Figure 1 below) is 33.75 acres (13.66 hectares) in size, and has access off of Tristone Road to the south. It is bordered by residential properties to the northwest and southeast, by agricultural properties to the north and northeast, and on the remaining sides by forestry zoned properties. The subject property is currently heavily treed, with a couple of clearings used for residential and farm purposes.

Figure 1: Subject Property Map



Description of Site Visit

On January 5, 2016 Planning Staff Rob Milne and Teresa Ritemann conducted a site visit of the property with the applicant. No photos were taken, though some appear in Attachment 1, Schedule B (the QEP report).

CURRENT PLANNING STATUS OF SUBJECT LANDS:

Islands Trust Policy Statement

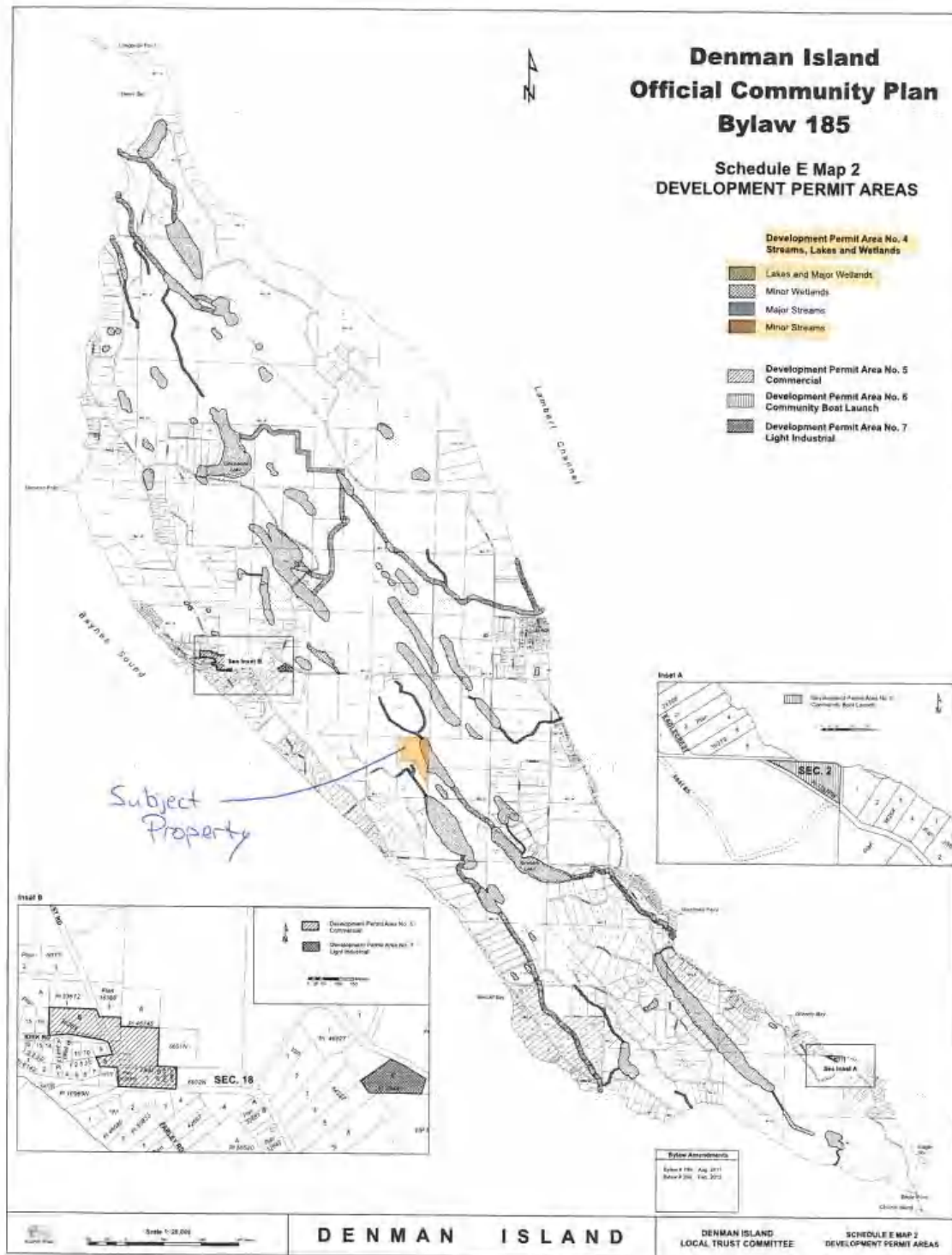
This application is in conformity with the Islands Trust Policy Statement.

Official Community Plan

The subject property is currently designated as Sustainable Resources (SR) in the Denman Island Official Community Plan No. 185, 2008 (OCP), and Figure 2 below indicates that a portion of the property falls within Development Permit Area (DPA) No. 4: Streams, Lakes and Wetlands. The guidelines for DPA No. 4 are contained within the Denman Island Land Use Bylaw Section 4.4, and are discussed in further detail in the Land Use Bylaw section of this report. Relevant freshwater OCP policies, which are addressed through DPA No. 4, include:

- *Policy 1: The protection and retention of riparian and aquatic habitat is encouraged.*
- *Policy 2: Adequate setbacks should be maintained to discourage development encroachment on riparian habitat and reduce pollution of this habitat.*
- *Policy 3: The protection of land along the margins of lakes, streams and wetlands is encouraged at the time of subdivision through the use of covenants or other protective mechanisms.*

Figure 2: Excerpt from Schedule E, Map 2 of Denman Island OCP



Land Use Bylaw

The subject property is currently zoned Forestry (F) in the Denman Island Land Use Bylaw No. 186, 2008. The Forestry zone permits residential as a primary use and one principal single family dwelling unit per 64.0 hectares of lot size. However, it should be noted that as the applicants have applied for a subdivision (associated file DE-SUB-2015.1) under Section 514 (formerly Section 946) of the *Local Government Act* to permit the subdivision of the subject property in order to provide residence for a relative, the proposed subdivision is exempt from meeting the minimum lot area requirement for subdivision.

Section 4.4 of the Denman Island Land Use Bylaw states (**emphasis added**):

“Development Permit Area No. 4: Streams, Lakes and Wetlands – Guidelines

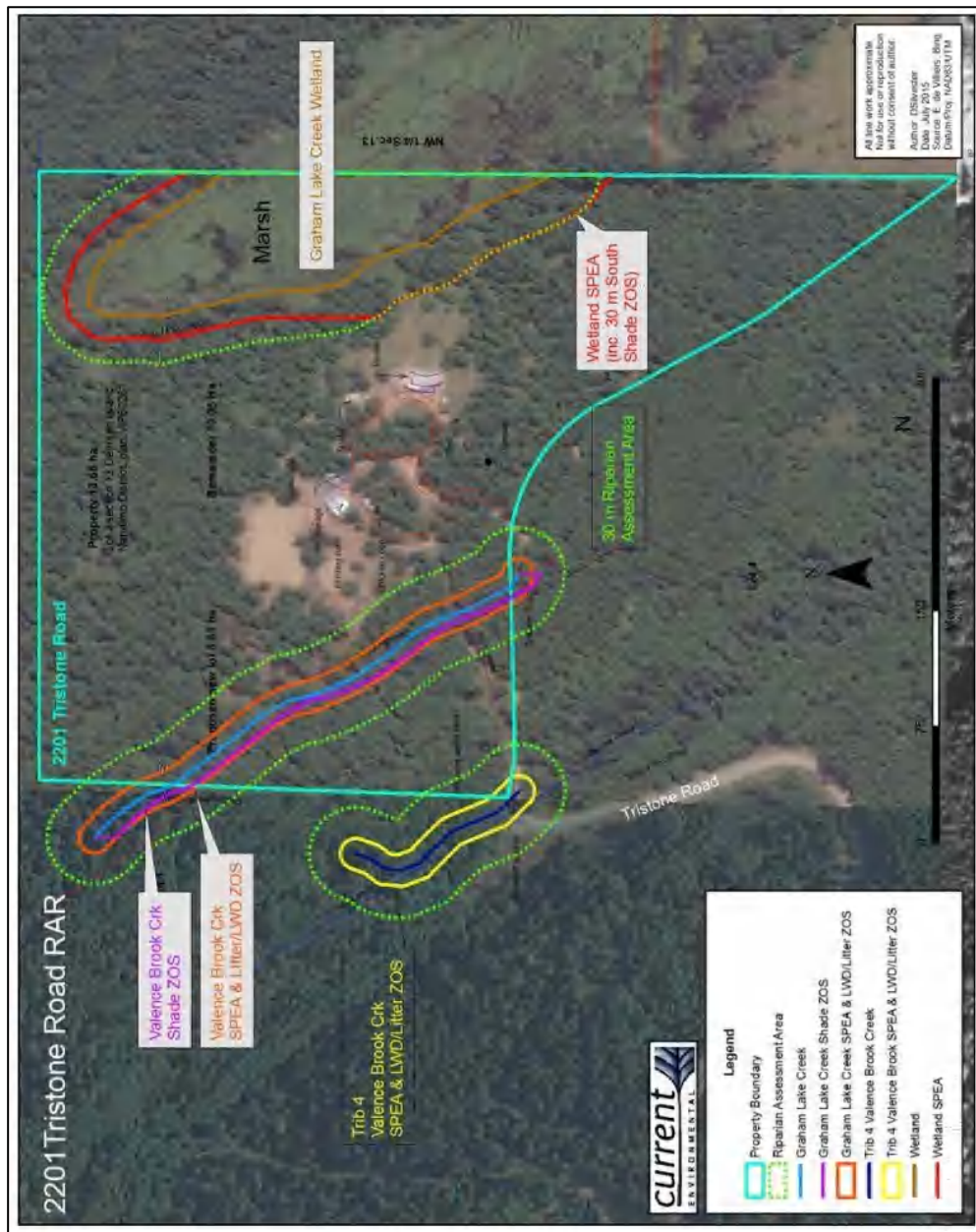
*Prior to undertaking any development, **subdivision** or land alteration, an owner of property within the Streams, Lakes and Wetlands development permit area **shall apply** to the Denman Island Local Trust Committee for a development permit, and the following guidelines apply.”*

Thus, because part of the subject property is within Development Permit Area No. 4 (Streams, Lakes, and Wetlands), the subdivision application has triggered the need to apply for this Development Permit simultaneously. Additional discussion addressing the guidelines for DP Area No. 4 appears in the Staff Comments section below.

As per the *Denman Island Land Use Bylaw, No. 186, 2008*, the following Development Permit Area No. 4 guidelines apply to this proposal: Guideline 1, 3, 5, 7, 8, 10, and 11. Staff has determined that compliance with the DPA No. 4 guidelines shall be achieved as outlined in Appendix 1.

Figure 3, below, is an excerpt from the QEP Report (see Attachment 1, Schedule B) showing three waterbodies affecting the subject property – including their associated Riparian Assessment Areas (RAA) and Streamside Protection and Enhancement Areas (SPEA)

Figure 3:



Denman Island Local Trust Committee Impact Assessment Bylaw No. 57, 1998:

Under Section 920.01 (c) of the *Local Government Act*, this development permit area is designated a Development Approval Information Area and is subject to Bylaw No. 57:

2. The requirements of this Bylaw apply to:
 - (b) applicants for a development permit...

However, applicability of the requirements of the Bylaw is at the discretion of an official or staff as per the following sections:

4. *The official assigned from time to time to provide staff services to the Denman Island Local Trust Committee is the official for the purposes of this Bylaw.*
11. *Upon the request of an official and within the time specified in the request, an applicant described in s.2 must provide to the official written Terms of Reference for the preparation of information on the impact of the activity or development that is the subject of the application.*

Staff did not request the applicant to provide a Terms of Reference regarding the impact of the proposed subdivision as it was subject to the Development Permit Area No. 4 guidelines, which requires the applicant to retain a Qualified Environmental Professional (QEP) to conduct a Riparian Area Assessment report (see Staff Comment section below). The QEP report was considered sufficient, given that the application was triggered by a Section 514 subdivision (to provide residence for a relative) and no alteration or land development is currently proposed.

Islands Trust Fund:

As per the Islands Trust Fund Policy Manual, this application does not directly affect Islands Trust Fund Board (TFB) interests as it does not directly affect a TFB owned property or conservation covenants, does not affect property directly adjacent to TFB owned property or conservation covenants, and does not pertain to Crown Land within 100m of a TFB owned property or conservation covenant.

Regional Conservation Plan:

Map 7 of the Islands Trust Fund Regional Conservation Plan indicates that the estimated importance of habitat composition is mostly *low* for this property, except for the stream/lake/wetland area, which is *high*.

Sensitive Ecosystems and Hazard Areas:

The Islands Trust Sensitive Ecosystem Mapping identifies the majority of the subject property as Seasonally Flooded, and the upper southwest portion as a Young Forest ecosystem. There are no Species at Risk or hazardous areas mapped on this property.

Archaeological Sites:

According to provincial data (Remote Access to Archaeological Data (RAAD)) there are no archaeological sites recorded on or within 50 metres of the subject property.

Covenants:

As mentioned in Table 1 above, covenants to protect area around Valens Creek and Graham Lake Creek Wetland already held by Denman Island LTC and Ministry of Environment. Other covenants and instruments registered on title do not affect this DP.

Bylaw Enforcement:

There are no Bylaw Enforcement files for this property.

Climate Change Mitigation and Adaptation, and Shoreline Considerations:

There is no risk of impact to the development due to sea level rise should this development permit be issued. There are no anticipated impacts on greenhouse gas emissions that would result in issuing this development permit.

COMMUNITY INFORMATION MEETING(S):

A community information meeting is not required for a development permit.

RESULTS OF CIRCULATION:

Public notice is not required for a development permit.

STAFF COMMENTS:

The *Local Government Act* regulates local government authority to issue a development permit by stipulating that a development permit must be issued only in accordance with the applicable development permit area guidelines specified in the official community plan or land use bylaw. The requirement for this Development Permit application is being triggered by associated subdivision application DE-SUB-2015.1 (DeVilliers & Fraser), because a portion of the subject property lies within Development Permit Area No. 4 – Streams, Lakes and Wetlands.

Staff advises that the guidelines for Development Permit Area No. 4 appear to have been met through Attachment 1, Schedule B, the “*Riparian Areas Regulation: Assessment Report*” a QEP Report dated July 3, 2015, prepared by Warren Fleenor (Registered Professional Biologist) of Current Environmental, and recommends that the Development Permit be issued with conditions in accordance with Attachment 1, Schedule B (the QEP Report).

RECOMMENDATION:

THAT the Denman Island Local Trust Committee approve issuance of Development Permit DE-DP-2015.4 conditional upon the following:

1. There shall be no future land alteration or development except as prescribed in accordance with Schedule “B” (“*Riparian Areas Regulation: Assessment Report*”, dated July 3, 2015, prepared by Warren Fleenor, Registered Professional Biologist of Current Environmental Ltd.) attached to and forming part of the permit.

Prepared and Submitted by:



February 18, 2016

Teresa Rittmann
Planner 1

Date

Concurred in by:



February 25, 2016

Ann Kjerulf
Regional Planning Manager

Date

Appendix:

1. Development Permit Area No. 4 (Streams, Lakes, and Wetlands) Guideline Checklist

Attachments:

1. Proposed Development Permit, including the following schedules attached to and forming part of the permit:
 - A. Map of Subject Property
 - B. Copy of "*Riparian Areas Regulation: Assessment Report*" a QEP Report dated July 3, 2015, prepared by Warren Fleenor (Registered Professional Biologist) of Current Environmental Ltd.

CC: Rob Milne, Island Planner

Appendix 1: Development Permit Area No. 4 (Streams, Lakes and Wetlands)
Guideline Checklist

Guideline	Application meets Guideline?
1. A development permit is required for the following: 1. Alteration of land by the removal of vegetation, by the construction of skid trails, roads, or stream crossings within 30 metres of the natural boundary of a major stream, lake, or major wetland or within 10 m of the natural boundary of a minor stream or minor wetland on land that: • is not classified as managed forest land under the <i>Assessment Act</i>; and • is not the subject of a valid and subsisting woodlot license or tree farm license under the <i>Forest Act</i>. 2. Development of impervious surfaces within 30 m of the natural boundary of a major stream, lake, or major wetland or within 10 m of the natural boundary of a minor stream or minor wetland. 3. Construction of a building or structure within 30 m of the natural boundary of a major stream, lake, or major wetland or within 10 m of the natural boundary of a minor stream or minor wetland. 4. Installation of any structures within a stream or within the natural boundary of a lake. All other land alteration or development is exempt from the requirements of this development permit area.	☒ Yes ☐ No
2. Development Permit Exemptions	n/a
3. Conformity with Riparian Area Regulations 1. When an application is made for a Streams, Lakes and Wetlands development permit for residential, commercial or industrial development, the applicant must, in addition to any other application requirements enacted or imposed by the Local Trust Committee, provide at their expense a copy to the Denman Island Local Trust Committee of the assessment report from a Qualified Environmental Professional (QEP) in accordance with the British Columbia Riparian Area Regulations under the <i>Fish Protection Act</i>. 2. Despite Guideline 2.1 above, a report from a Qualified Environmental Professional is not required if the proposed work is authorized by Fisheries and Oceans Canada under Section 4 of the Riparian Areas Regulation. 3. In general, all development in Streams, Lakes and Wetlands development permit area should be undertaken in a manner that minimizes impact on the riparian area. It is anticipated that a QEP may make recommendations for mitigation measures and designing subdivision proposals in order to lessen the impact on the riparian area. The LTC may impose permit conditions, including a requirement for security in the form of an irrevocable letter of credit, to ensure the protection of riparian areas during construction and land development phases. Conditions may include construction phase requirements for fencing, signs, timing of work and siting of fuelling facilities.	☒ Yes ☐ No
4. Clearing for a Farm Operation	n/a

5. Riparian Reserve and Retention Areas Subject to Guideline 2, the following guidelines apply to all riparian reserve and retention areas, except for development permits issued under guideline 2. 1. Some properties or portions of properties may be in more than one development permit area; in this case, the guidelines of all development permit areas may apply. 2. On lots greater than 10 ha the size of riparian reserve and retention areas described in the rest of this guideline and guidelines 4 through 7 inclusive may be reduced, and/or a limited amount of vegetation may be removed from the riparian reserve and retention areas described in the rest of this guideline and guidelines 4 through 7 inclusive, or both, if development approval information in the form of an environmental impact assessment provided by the applicant on the impact of the proposed activity or development discloses that to do so could not reasonably be expected to result in harm to the environment of the area affected in accordance with the objectives of this development permit area. An impact assessment provided under this guideline should include a report prepared by a Registered Professional Biologist that includes the following information: • detailed mapping identifying environmentally sensitive areas; • criteria used to identify the boundaries of environmentally sensitive areas; • inventory of fish species and related habitat classification within the site; • impact assessment describing affects of the proposed development on the natural environment, ecosystems and biological diversity; • guidelines for mitigating habitat degradation, including limits on proposed leave areas; and • design details of the proposed mitigating measures. 3. Roads or skid trails should not be constructed in riparian reserve areas or riparian retention areas, except as needed for crossing a stream or wetland. The number of places where roads or skid trails cross a stream or wetland should be minimised. 4. A culvert or bridge must be installed wherever a road or skid trail crosses a major stream. 5. A culvert, bridge, or armoured ford should be installed wherever a road or skid trail crosses a minor stream, including intermittent or ephemeral streams. 6. An armoured ford should only be used for a temporary crossing of a minor stream and only during the dry season, which is June through September inclusive. 7. There should be no operation of ground-based machinery in the riparian reserve or retention areas, except at stream crossings designated in the permit. 8. Ground-based machinery should not cross: 9. a major stream, except at a place where a bridge or culvert has been constructed or installed, or 10. a minor stream, except at a place where a bridge, culvert, or armoured ford has been constructed or installed. 11. Logs should not be yarded across a stream, except at a stream crossing designated in the permit, and should be yarded in a way that does not contribute to de-stabilization of the stream bank or mobilization of sediment into the stream. 12. There should be no deposition of slash, debris, or erodible soil into the stream, lake or wetland. 13. Alterations of the natural drainage or areas within the designated permit area should be minimized. 14. Trees or other vegetation should be retained or replanted in order to control erosion or protect banks and fish habitat.	☒ Yes ☐ No
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6. Riparian Areas – Major Streams	n/a
7. Riparian Areas - Lakes and Major Wetlands Subject to Guideline 2, In addition to the riparian reserve and retention area requirements in guideline 4, the following guidelines apply to those lakes and major wetlands shown on Schedule E as lakes and major wetlands: 1. A riparian reserve area shall be maintained for 30 m from: i. the natural boundary of the lake or major wetland, or ii. the natural boundary of any wetland that is adjacent to a lake 2. Except as permitted in Guideline 4(3), there should be no removal of vegetation within the riparian reserve area, except for the construction of footpaths. 3. On lots less than or equal to 10 ha the riparian reserve area may be reduced in consideration of site constraints providing the relaxation is necessary and is not reasonably expected to have a harmful effect on the natural environment. Applications that do not meet the criteria set out in the <i>Land Development Guidelines for the Protection of Aquatic Habitat</i> (see appendix C) should be accompanied by letters of support from the Department of Fisheries and Oceans and the Ministry of Environment, Lands and Parks.	☒ Yes ☐ No
8. Riparian Areas – Minor Streams Subject to Guideline 2, In addition to the Farm Operation requirements in guideline 1, and in addition to the riparian reserve and retention area requirements in guideline 4, the following guidelines apply to the streams shown on Schedule E as minor streams: 1. A riparian retention area shall be maintained from the outermost of: - the natural boundary of the stream, or - the outer edge of any active floodplain adjacent to the stream, or - the natural boundary of any wetland adjacent to the stream to the greater of: - the top of the inner gorge of the stream, or 10 m measured up the slope. 2. Shrubs, herbs, deciduous trees, wildlife trees, and any tree with roots in the stream bank should be retained. 3. For every 100 m of bank length, at least 20 trees larger than 30 cm dbh (if not available, the 20 largest trees) should be retained on both sides.	☒ Yes ☐ No
9. Riparian Areas – Minor Streams	n/a
10. Wetlands Subject to Guideline 2, the following guidelines apply to all wetlands shown on Schedule E as major wetlands and minor wetlands: 1. There should be no operation of ground-based machinery in the wetland. 2. There should be no cutting of live or dead trees within the wetland, except as required for an approved stream crossing.	☒ Yes ☐ No
11. Security 1. Prior to issuing a development permit, the local trust committee may require security in an amount acceptable to the local trust committee. 2. On receipt of a written request, as stipulated in the development permit, the local trust committee shall return the security, minus any amount required to correct any damage to the environment caused by a contravention of a condition in the development permit 3. Development permits issued in Development Permit Area No. 4: Streams, Lakes, and Wetlands should contain a condition stating that a letter must be submitted by a time specified in the development permit indicating that the work has been completed in accordance with the terms and conditions of the development permit.	☒ Yes ☐ No

PROPOSED



DENMAN ISLAND LOCAL TRUST COMMITTEE

DEVELOPMENT PERMIT - DE-DP-2015.4

TO: Etienne DeVilliers & Louise Fraser

1. This Development Permit (the "Permit") applies to the land described as:

PID: 023-005-025

Lot 2, Section 12, Denman Island, Nanaimo District, Plan VIP60281

as shown on Schedule "A" attached to and forming part of this Permit.

2. Whereas the subject area as described above lies within "Development Permit Area No. 4: Streams, Lakes and Wetlands" designated under the Denman Island Official Community Plan Bylaw No. 185, and whereas this Permit issued under the Denman Island Land Use Bylaw No. 186 authorizes the potential future developments of the property, and is subject to the following requirements and conditions:
 - a. There shall be no future land alteration or development except as prescribed in accordance with Schedule "B" ("*Riparian Areas Regulation: Assessment Report*", dated July 3, 2015, prepared by Warren Fleenor, Registered Professional Biologist of Current Environmental Ltd.) attached to and forming part of this permit.

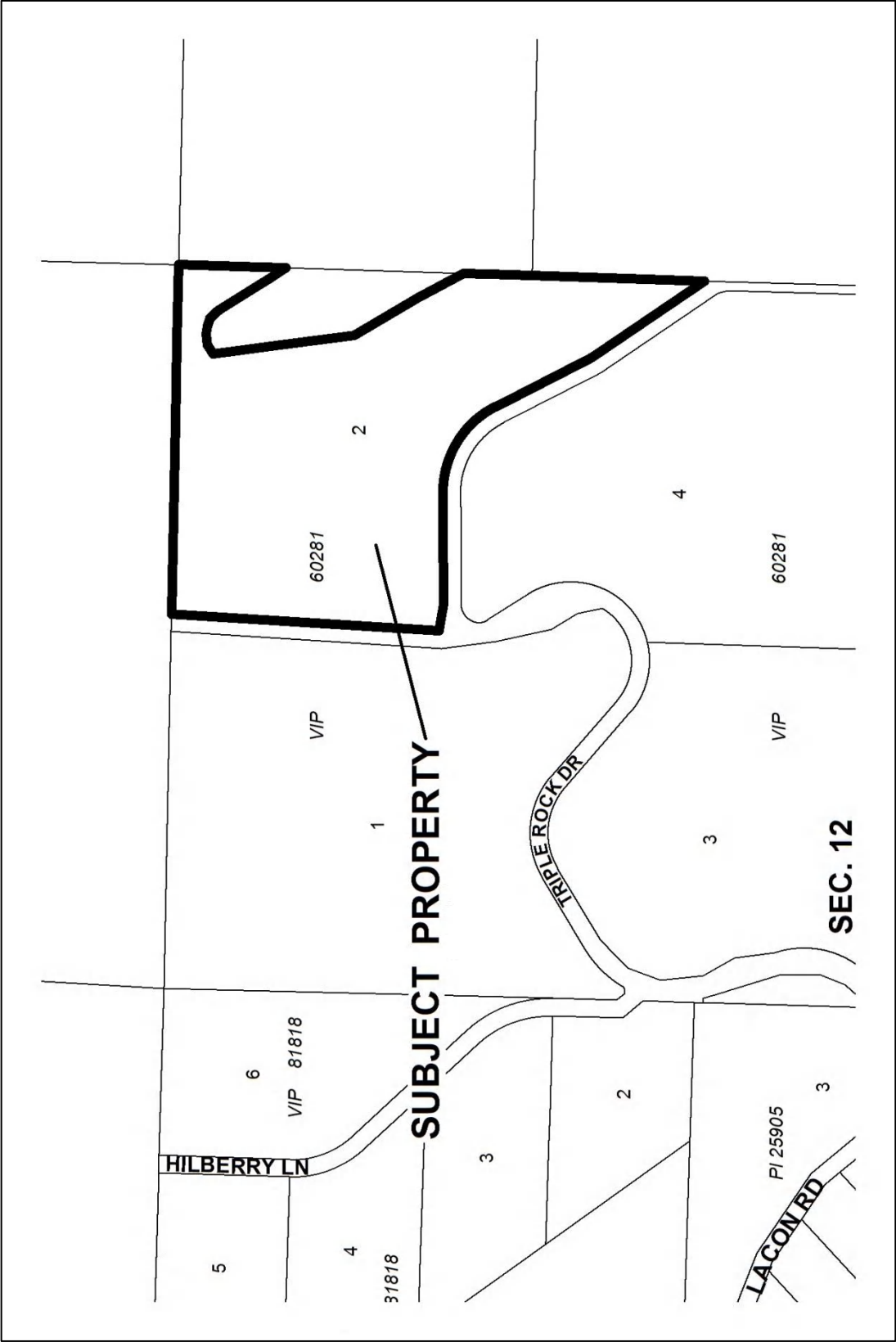
This is not a siting and use permit, nor does it provide permission to construct any works without other lawfully required approvals and permits. It also does not relieve the applicant from complying with the provisions of the *Denman Island Official Community Plan Bylaw No. 185, 2008* and the *Denman Island Land Use Bylaw No. 186, 2008*.

AUTHORIZING RESOLUTION PASSED BY THE DENMAN ISLAND LOCAL TRUST COMMITTEE THIS __ DAY OF __, 2016.

Deputy Secretary, Islands Trust

Date Issued

IF THE DEVELOPMENT HEREIN IS NOT COMMENCED BY THE __ day of __, 2018, THIS PERMIT AUTOMATICALLY LAPSES.



Qualified Environmental Professional Report dated July 3, 2015
(the “*Riparian Areas Regulation: Assessment Report*”)
by Registered Professional Biologist Warren Fleenor at Current Environmental Ltd.

FORM 1
Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Riparian Areas Regulation: Assessment Report

Please refer to submission instructions and assessment report guidelines when completing this report.

Date July 3, 2015

I. Primary QEP Information

First Name	Warren	Middle Name	
Last Name	Fleenor		
Designation	RPBio	Company	Current Environmental
Registration #	1385	Email	wfleenor@shaw.ca
Address	Unit H - 244 4 th St.		
City	Courtenay	Postal/Zip	V9N1G6
Prov/state	BC	Country	Canada
Phone #	250-871-1944		

II. Secondary QEP Information (use Form 2 for other QEPs)

First Name		Middle Name	
Last Name			
Designation		Company	
Registration #		Email	
Address			
City		Postal/Zip	
Prov/state		Country	
Phone #			

III. Developer Information

First Name	Etienne	Middle Name	
Last Name	de Villiers		
Company	n/a		
Phone #	250-702-7854	Email	ecsddevilliers@gmail.com
Address	2201 Tristone Road		
City	Denman Island	Postal/Zip	V0R1T0
Prov/state	BC	Country	Canada

IV. Development Information

Development Type	Subdivision		
Area of Development (ha)	3.81	Riparian Length (m)	201 & 332
Lot Area (ha)	13.66	Nature of Development	New
Proposed Start Date	July 15, 2015	Proposed End Date	July 14, 2016

V. Location of Proposed Development

Street Address (or nearest town)	2201 Tristone Road		
Local Government	Islands Trust	City	Denman Island
Stream Name	Graham Lake Creek Wetland & Valens Brook		
Legal Description (PID)	023-005-025	Region	Vancouver Island
Stream/River Type	Stream & Wetland	DFO Area	South Coast
Watershed Code	905-363778-870396 (Graham Lake Creek)		
	905-363778-072835 (Valens Brook Creek)		
Latitude	49	31	32
Longitude	124	46	50

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Section 1. Description of Fisheries Resources Values and a Description of the Development proposal

There is no anticipated construction work on the subject property. The proponent is applying for a subdivision of the subject property into two lots from the Islands Trust (IT) that has triggered this Riparian Areas Assessment (RAA) under the IT's requirements for a Development Permit Area 10 (Riparian and Aquatic).

The subject property at 2201 Tristone Rd. on Denman Island is a 13.66 ha property bordered on all sides by rural properties with access provided by Tristone Rd. to the south. The subdivision application includes the creation of two lots where the remainder will be 10.06 ha and the proposed new lot will be 3.61 ha (Figure 1). The subject property supports riparian and aquatic areas including a wetland connected to Graham Lake Creek in the east (Photo 1) and two watercourses that comprise the upper headwaters of Valens Brook Creek (Photo 2-3).

Graham Lake Creek is a relatively small 2nd order stream with a number of substantial in-line wetlands located on the east coast of Denman Island, BC. Graham Lake Creek flows for approximately 4 km in a southeasterly direction to drain directly into the Strait of Georgia along the east coast of Denman Island. The catchment area of the Graham Lake watershed is 2.69 km² and includes a number of lakes/wetlands including the Wetland adjacent to the subject property identified in the MOE Sensitive Ecosystems Inventory (2004) as S57014 acting as part of the headwaters for Graham Lake Creek (Photo 1). The Wetland covers an area of approximately 5.3 hectares (ha) and helps provide a cool, clean seasonal water supply with relatively constant temperatures and flow through the winter with limited to no flow in the summer months.

According to the Fishery Information Data Query (FIDQ)¹, Graham Lake Creek underwent a 'public involvement program (PIP) project: eggs (from Fillongley Creek) are taken to the hatchery at Graham Lake Creek and replanted [sic.]'. This introduction of brood stock occurred in 1985 and is the most recent record of fish occurring in this creek¹. A literature review shows that Fillongley Creek (Watershed Code: 905-124500-74700) supports an anadromous run of Coho Salmon (*Oncorhynchus kisutch*). Without empirical data from sampling Graham Lake Creek, it is assumed the brood stock implanted from Fillongley Creek was that of Coho Salmon. In order to verify the distribution of Coho in Graham Lake Creek, it would be necessary to sample the creek for fish presence. For the purposes of this assessment, it has been assumed that salmonids utilize this stream.

The Valens Brook watershed resides immediately to the south of the Graham Lake Creek watershed, and flows in a similar southeasterly direction to empty into the Strait of Georgia on the south shore of Denman Island. It has a mainstem length of approximately 6.3 km and is fed in part by the two headwater channels affecting the subject property: Valens Brook Tributary 4 and Valens Brook Mainstem² (Figure 1). The Valens Brook has no listed references in Ministry of Environment FIDQ, Ecological Reports Catalog, or Habitat Wizard; however, for the purposes of this report it is assumed that Valens Brook is a fish bearing watercourse. As previously mentioned, no fish capture sampling was conducted as part of this assessment.

¹ Fisheries Inventory Data Query v. Fisheries Inventory – Stream Report: Graham Lake Creek.
<http://at09.gov.bc.ca/pub/fidq/search/SingleWaterbody.do#>

² Watercourse nomenclature based on Madrone Environmental Services Ltd. "Denman Island Riparian Area Regulation Stream Identification" Report accessed from: <http://www.islandstrust.bc.ca/media/264775/January-21-2014-Madrone-Environmental-Stream-Mapping-Report.pdf>

FORM 1

Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

The riparian area encountered on the subject property is that of the Coastal Douglas fir moist maritime (CDFmm) Biogeoclimatic Ecosystem Classification. Riparian vegetation encountered on the subject property was representative of this zone where tree species were dominated by Douglas fir, alder, big leaf maple, and western red cedar. Understory vegetation was dominated by salmon berry, hedge nettle, sword fern, and salal; while ground cover and semi-aquatic species included slough sedge, skunk cabbage, small flowering bulrush, and common rush (Photo 4).

FORM 1
Riparian Areas Regulation – Qualified Environmental Professional – Assessment Report

2. Results of Detailed Riparian Assessment

Refer to Chapter 3 of Assessment Methodology

Date: July 3, 2015

Description of Water bodies involved (number, type)

3

Stream

2

Wetland

1

Lake

Ditch

Number of reaches

3

Reach #

1 - Wetland

Channel width and slope and Channel Type (use only if water body is a stream or a ditch, and only provide widths if a ditch)

	Channel Width(m)	Gradient (%)
starting point upstream		
downstream	n/a	n/a
Total: minus high /low mean		
	R/P	C/P S/P
Channel Type	n/a	

I, Warren Floeror (name of qualified environmental professional), hereby certify that:
a) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the Fish Protection Act;
b) I am qualified to carry out this part of the assessment of the development proposal made by the developer Etienne de Villiers (name of developer);
c) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and
d) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.

Site Potential Vegetation Type (SPVT)

	Yes	No
SPVT Polygons		x

Tick yes only if multiple polygons, if No then fill in one set of SPVT data boxes

I, Warren Floeror (name of qualified environmental professional), hereby certify that:
a) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the Fish Protection Act;
b) I am qualified to carry out this part of the assessment of the development proposal made by the developer Etienne de Villiers (name of developer);
c) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and
d) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.

Polygon No:	1			
	LC	SH	TR	
SPVT Type			X	

Method employed if other than TR: n/a

Zone of Sensitivity (ZOS) and resultant SPEA

Segment:	1	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons.
No:		
LWD, Bank and Channel Stability ZOS (m)	15	

FORM 1

Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Litter fall and insect drop	15				
ZOS (m)					
Shade ZOS (m) max	30	South bank	Yes	x	No
SPEA maximum	15-30	(For ditch use table 3-7)			

I, <u>Warren Fleanor</u> (<u>name of qualified environmental professional</u>), hereby certify that:	
a)	I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i> ;
b)	I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Etienne de Villiers</u> (<u>name of developer</u>);
c)	I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and
d)	In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.

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Reach #

2 - Trib 4 Valence
Brook Creek**Channel width and slope and Channel Type (use only if water body is a stream or a ditch, and only provide widths if a ditch)**

Channel Width(m)		Gradient (%)	
starting point	1.4	1.0	I, <u>Warron Eganor</u> (name of qualified environmental professional), hereby certify that: a) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the Fish Protection Act; f) I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Etienne de Villiers</u> (name of developer); g) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and h) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.
upstream	1.4		
	1.5		
	1.4		
	1.4		
	1.0		
	2.0		
	2.4		
	2.7		
downstream	3.0		
Total: minus high /low	16.2		
mean	1.7		
	R/P	C/P	S/P
Channel Type	X		

Site Potential Vegetation Type (SPVT)

	Yes	No	
SPVT Polygons		X	Tick yes only if multiple polygons, if No then fill in one set of SPVT data boxes I, <u>Warron Eganor</u> (name of qualified environmental professional), hereby certify that: a) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the Fish Protection Act; f) I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Etienne de Villiers</u> (name of developer); g) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and h) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.
Polygon No:	1		Method employed if other than TR
	LC	SH	n/a.
SPVT Type			X

Zone of Sensitivity (ZOS) and resultant SPEA

Segment No:	1 (left bank)	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons			
LWD, Bank and Channel Stability ZOS (m)	10				
Litter fall and insect drop ZOS (m)	10				
Shade ZOS (m) max	n/a	South bank	Yes	No	X
SPEA maximum	10 m				

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I, <u>Warren Fleanor</u> (<i>name of qualified environmental professional</i>), hereby certify that:	
e)	I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the Fish Protection Act;
f)	I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Ctienne de Villiers</u> (<i>name of developer</i>);
g)	I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and
h)	In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.

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Reach #

3 - Valence
Brook Creek

Channel width and slope and Channel Type (use only if water body is a stream or a ditch, and only provide widths if a ditch)

Channel Width(m)		Gradient (%)		
starting point	2.9	1.5		
upstream	3.0			
	4.0			
	42.5			
	5.0			
	3.5			
	4.0			
	3.0			
	1.8			
	2.6			
downstream	4.5			
Total: minus high /low	29.8			
mean	3.3			
	R/P		C/P	S/P
Channel Type	X			

I, Warron Eganor (name of qualified environmental professional), hereby certify that:
i) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the Fish Protection Act;
j) I am qualified to carry out this part of the assessment of the development proposal made by the developer Etienne de Villiers (name of developer);
k) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and
l) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.

Site Potential Vegetation Type (SPVT)

Yes	No
	X
SPVT Polygons	
Tick yes only if multiple polygons, if No then fill in one set of SPVT data boxes	
I, <u>Warron Eganor</u> (name of qualified environmental professional), hereby certify that: i) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the Fish Protection Act; j) I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Etienne de Villiers</u> (name of developer); k) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and l) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.	
Polygon No:	1
LC	SH
SPVT Type	TR
	X
Method employed if other than TR	

Zone of Sensitivity (ZOS) and resultant SPEA

Segment No:	1 (left bank)	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons			
LWD, Bank and Channel Stability ZOS (m)	10				
Litter fall and insect drop ZOS (m)	10				
Shade ZOS (m) max	10	South bank	Yes	No	X
SPEA maximum	10 m				

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Segment No:	2 (right bank)	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons			
LWD, Bank and Channel Stability ZOS (m)	10				
Litter fall and insect drop ZOS (m)	10				
Shade ZOS (m) max	2-10	South bank	Yes	X	No
SPEA maximum	10 m				

I, Warren Flegner (name of qualified environmental professional), hereby certify that:

i) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the *Fish Protection Act*;

ii) I am qualified to carry out this part of the assessment of the development proposal made by the developer Ctienne de Villiers (name of developer);

k) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and

l) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.

Section 3. Site Plan

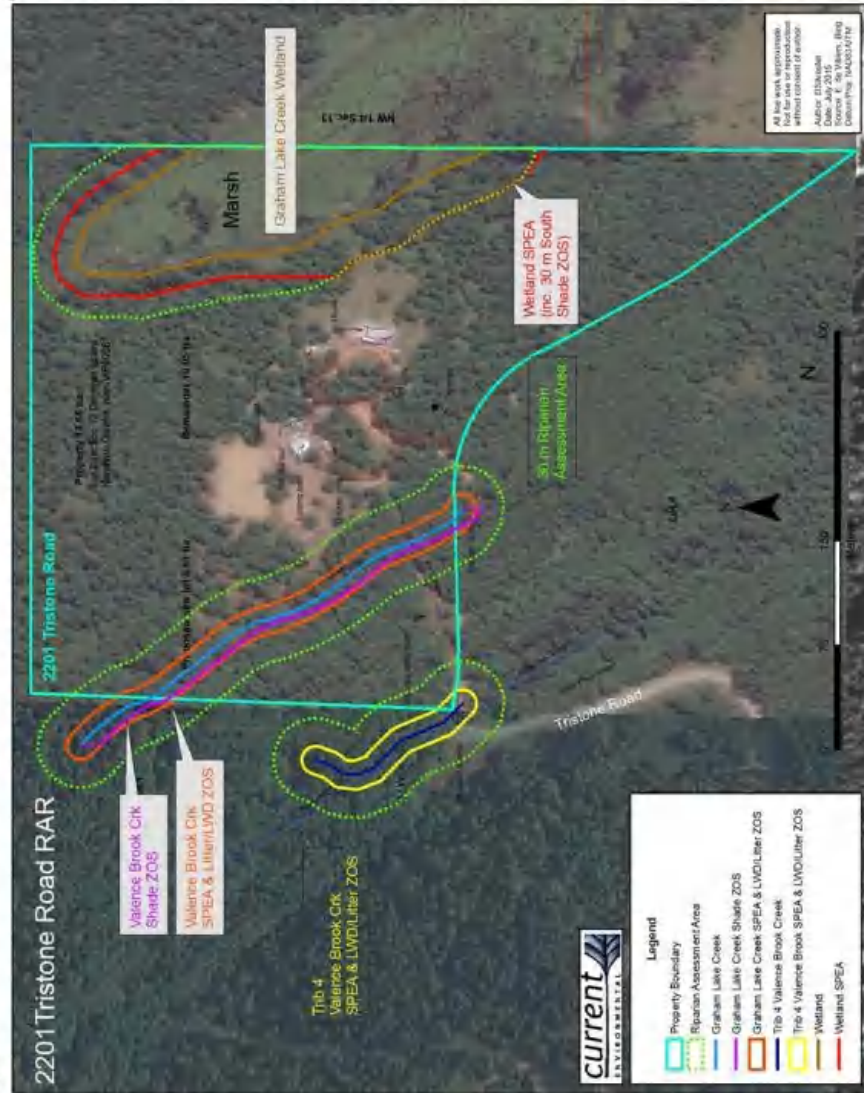


Figure 1. Site plan showing waterbodies affecting the subject property at 2201 Tristone Road.

Section 4. Measures to Protect and Maintain the SPEA

7. Danger Trees	This assessment is in support of the proponent's proposed subdivision of the subject property only. As there is no proposed construction within the 30 m Riparian Assessment Area, a danger tree survey was not completed as part of this assessment. In the future, if the occupant of either subdivided lot wishes to build within the 30 m buffer the proponent <u>must solicit the services of a qualified arborist</u> to assess any potential danger tree issues that may affect development at that time.
I, Warren Fleece <u>(name of qualified environmental professional)</u> , hereby certify that: a) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the Fish Protection Act; b) I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Citienne de Villiers</u> <u>(name of developer)</u> ; c) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and in carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.	
2. Windthrow	This assessment is in support of the proponent's proposed subdivision of the subject property only. As there is no proposed construction within the 30 m Riparian Assessment Area, a windthrow survey was not completed as part of this assessment. In the future, if the occupant of either subdivided lot wishes to build within the 30 m buffer, the proponent <u>must solicit the services of a qualified arborist</u> to assess any windthrow issues that may affect development at that time.
I, Warren Fleece <u>(name of qualified environmental professional)</u> , hereby certify that: a) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the Fish Protection Act; b) I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Citienne de Villiers</u> <u>(name of developer)</u> ; c) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and in carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.	
3. Slope Stability	No triggers for slope stability were found on the subject property during the field assessment as per Section 3.7.3 (Slope Stability) of the RAR Assessment Methods. The subject property lies on generally flat ground; there are no obvious erosion issues associated with the assessed watercourses; and riparian areas are currently inhabited by well established vegetation.
I, Warren Fleece <u>(name of qualified environmental professional)</u> , hereby certify that: a) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the Fish Protection Act; b) I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Citienne de Villiers</u> <u>(name of developer)</u> ; c) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and in carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.	
4. Protection of Trees	This assessment is in support of the proponent's proposal to subdivide the subject property only. As there is no proposed construction within the 30 m Riparian Assessment Area, there is presently no threat to riparian vegetation within the SPEAs. If future construction is proposed, all of the vegetation, including trees and undergrowth, within the SPEAs that are not considered a "danger tree" as assessed by a qualified arborist shall not be impacted in any way by future activities of development on the subject property. This includes protection from mechanical damage, soil disturbance, or soil compaction to prevent destabilizing trees or causing tree or other vegetation mortality. No larger excavations that

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	may endanger the root systems of trees or other vegetation within the SPEAs will be permitted. Other measures will include the following: 1. Create/use machine access routes that avoid tree roots, storage of excavation/building material away from trees within the SPEAs, flagging the SPEA boundaries, and covering tree roots in access areas with at least 15 cm of wood chip mulch (or similar material) to avoid root compaction. 2. Trenching through the rooting zone of mature trees will be prevented. 3. Establish root protection zones around significant larger trees in the 30 m Riparian Assessment Areas. Root protection zones should be calculated by multiplying the diameter of the tree by 18. This value is the radius of the area of land surrounding the trunk of a tree that is to be avoided. 4. Ensure that pollutants and other contaminants cannot enter soils within the tree protection zone. 5. Construction activities outside but adjacent to the SPEAs will be limited to surficial "grubbing" only.
I, <u>Warren Fleece</u> (<u>name of qualified environmental professional</u>), hereby certify that: a. I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the Fish Protection Act; b. I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Citerna de Villiers</u> (<u>name of developer</u>); c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and in carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.	
5. Encroachment	There is no specific development work proposed at the time of this assessment. Future development may proceed within the 30 m Riparian Assessment Area (RAA) but outside the SPEAs. If future development should be proposed within the RAA the setback area will be clearly delineated using flagged stakes prior to the commencement of work and no encroachment within the SPEA will be permitted including machinery, foot traffic, or spoilage material. A QEP must be notified 7 days prior to the commencement of construction to delineate the SPEAs and ensure other measures to protect the SPEAs are in place (Section 5).
I, <u>Warren Fleece</u> (<u>name of qualified environmental professional</u>), hereby certify that: a. I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the Fish Protection Act; b. I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Citerna de Villiers</u> (<u>name of developer</u>); c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and in carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.	
6. Sediment and Erosion Control	There is no specific development work proposed at the time of this assessment. Future development will include specific measures to control sediment during construction that will include: a) Both SPEA's are to be clearly delineated using stakes or flagging; b) Maintain/do not disturb all vegetation within SPEA's; c) No machinery is to enter SPEA's at any time; d) Where there is a potential for silt runoff in the proximity of existing waterbodies, control devices will be installed prior to construction activities commencing; e) Filter fabric dams, rock check dams, and silt fencing will be used as needed on a site-specific basis to control erosion. Filtration should be accomplished using filter fabric keyed into substrates and banks, and elevated using stakes or straw bales. Silt fencing is not an acceptable mitigation technique to control erosion in flowing ditches; however it is useful for containing slumping areas and for use as baffles to slow water velocities. f) Excavation will be stopped during intense rainfall events or whenever surface erosion occurs affecting the watercourse.

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	g) Watercourses are not to be traversed by machinery at any time. h) Soil stockpiles will be placed a minimum of 30 m from any watercourse and in a location where erosion back into the watercourse cannot occur and will not impede any drainage. i) Soil stockpiles with the potential to erode into watercourses are to be covered with poly sheeting. Other techniques, such as terracing or surface roughening can greatly reduce surface erosion on steeper slopes. j) Permanent exposed soil areas and erosion-prone slopes that may potentially erode into the watercourse are to be seeded immediately, or covered with geotextile. k) Clearing will take place immediately prior to excavation and earthworks to minimize the length of time that soils are exposed. Vegetation in adjoining areas will not be disturbed. l) Site re-vegetation measures are required to stabilize soils and stream banks and reduce erosion. The measures, including hydros seeding, are to be implemented as directed by the biologist as construction is completed.
1. Veron Flesher <i>(name of qualified environmental professional)</i>, hereby certify that: a. I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the Fish Protection Act. b. I am qualified to carry out this part of the assessment of the development proposal made by the developer: <u>Claudio de Villiers</u> <i>(name of developer)</i>. c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and in carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.	
7. Stormwater Management	For future developments, it is strongly recommended that efforts be made to encourage roof and driveway runoff to infiltrate back into the soil and not discharged directly towards Graham Lake Creek or the Valens Brook watercourse. This is to minimize cumulative hydrological impacts of increased residential density on aquatic environments. As well, altered drainage and increased runoff from the new development may affect slope stability by increasing the moisture content in the slope's unconsolidated material.
1. Veron Flesher <i>(name of qualified environmental professional)</i>, hereby certify that: a. I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the Fish Protection Act. b. I am qualified to carry out this part of the assessment of the development proposal made by the developer: <u>Claudio de Villiers</u> <i>(name of developer)</i>. c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and in carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.	
8. Floodplain Concerns (highly mobile channel)	Floodplain concerns are not a concern due to the channelized, low gradient channel form, small catchment area, and relatively low mobility of both channels. The wetland appears to have a well defined high-water mark where maturing rooted vegetation inhabits the banks. There is evidence of historical tree die-off evidenced but standing dead snags along the water's edge that suggests fluctuating water levels that may be a product of beaver dam activity in the watershed. Wetland water levels are sufficiently distant from the existing residence that they are of negligible concern.
1. Veron Flesher <i>(name of qualified environmental professional)</i>, hereby certify that: a. I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the Fish Protection Act. b. I am qualified to carry out this part of the assessment of the development proposal made by the developer: <u>Claudio de Villiers</u> <i>(name of developer)</i>. c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and in carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.	

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9. Fuels and Hazardous Materials

The accidental release of petroleum, oils, hydraulic fluids, lubricants, concrete additives, anti-freeze or other hazardous materials onto land surfaces or into waterbodies is an offence under Section 36(1)(a) of the Federal Fisheries Act and may result in degradation of habitat quality and could be a threat to human health. Environmental protection procedures for handling and storage of fuels and hazardous materials shall include the following items:

- a) A spill kit of appropriate capacity will be on hand at all times during construction.
- b) All identified spills will be cleaned up immediately, and contaminated soils and vegetation will be removed for appropriate disposal.
- c) Refuelling of equipment is to occur only at designated fuelling stations and located at least 30 m from all watercourses.
- d) All fuel, chemicals, and hazardous materials will be clearly marked.
- e) Pumps and jerry cans are to be placed on poly sheeting and sorbent pads to contain spills.
- f) All equipment maintenance with the potential for accidental spills (e.g., oil changes, lubrications) will be done on a designated area at least 20 m from any watercourses. Tarp should be laid down prior commencement of work to facilitate clean up.
- g) In the event of a spill, the following guidelines should be followed:
 - Spills need to be immediately reported to the biologist. Spills to the receiving environment are to be reported to the BC Provincial Emergency Program (1-800-663-3456) if they exceed the reportable limits (e.g. 100 litres of fuel or oil).
 - Apply sorbent pads and booms as necessary.
 - Dispose of all contaminated debris, cleaning materials, and absorbent material by placing in an approved disposal site.

Section 5. Environmental Monitoring

Attach text or document files explaining the monitoring regimen. Use your "return" button on your keyboard after each line. It is suggested that all document be converted to PDF before inserting into the PDF version of the assessment report. Include actions required, monitoring schedule, communications plan, and requirement for a post development report.

This assessment is in support of the proponent's request to subdivide their property into two lots, rather than proposing construction within the 30 m riparian area buffer. As a result, the following tasks will be completed during any future development:

- Ensure the setback area is clearly delineated;
- Review work plan;
- Ensure appropriate mitigation measures are/will be in place;
- Review all Measures to Protect the SPEA stated in this report and ensure appropriate equipment to satisfy the measures are on-site or available;
- Set up a contact system should a biologist or qualified environmental professional (QEP) be required on site in the event of sediment/erosion issues or some other type of risk to aquatic habitats that may arise during construction.

Immediately upon completion of the construction work, the proponent is to contact a QEP for a post-construction site inspection. Any deficiencies noted by the QEP are to be addressed by the proponent. A final post-construction report is to be submitted by the QEP to the BC RAR Notification System.

Section 6. Photos



Photo 1. Typical view upstream of the Graham Lake Creek wetland along the eastern boundary of the subject property including standing dead wildlife trees that may have become deceased as a result of fluctuating water levels from beaver activity in the watershed.



Photo 2. View upstream of Valens Brook Creek mainstem taken from near Tristone Road showing isolated pools and lack of flow at the time of assessment on June 12, 2015.

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Photo 3. View downstream of Valens Brook Creek Tributary 4 showing channel (centre of image) obscured by overhanging vegetation near Tristone Road (background) near the southwest corner of the subject property.



Photo 4. Typical view of riparian vegetation including a red alder and western red cedar canopy and salmonberry and swordfern undergrowth adjacent to the Valencos Brook Creek mainstem taken from near the centre of the subject property.

Section 7. Professional Opinion

Assessment Report Professional Opinion on the Development Proposal's riparian area.

Date July 3, 2015

1. We Warren Ekehoi

Please list name(s) of qualified environmental professional(s) and their professional designation that are involved in assessment.

hereby certify that:

- a) I am/We are qualified environmental professional(s), as defined in the Riparian Areas Regulation made under the *Fish Protection Act*;
- b) I am/We are qualified to carry out the assessment of the proposal made by the developer Etienne de Villiers (*name of developer*) which proposal is described in section 3 of this Assessment Report (the "development proposal");
- c) I have/We have carried out an assessment of the development proposal and my/our assessment is set out in this Assessment Report; and
- d) In carrying out my/our assessment of the development proposal, I have/We have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation; **AND**

2. As qualified environmental professional(s), I/we hereby provide my/our professional opinion that:

- a) ☐ if the development is implemented as proposed by the development proposal there will be no harmful alteration, disruption or destruction of natural features, functions and conditions that support fish life processes in the riparian assessment area in which the development is proposed. **OR**
(Note: include local government flex letter, DFO Letter of Advice, or description of how DFO local variance protocol is being addressed)
- b) ☒ if the streamside protection and enhancement areas identified in this Assessment Report are protected from the development proposed by the development proposal and the measures identified in this Assessment Report as necessary to protect the integrity of those areas from the effects of the development are implemented by the developer, there will be no harmful alteration, disruption or destruction of natural features, functions and conditions that support fish life processes in the riparian assessment area in which the development is proposed.

[NOTE: "qualified environmental professional" means an applied scientist or technologist, acting alone or together with another qualified environmental professional, if:

- (a) the individual is registered and in good standing in British Columbia with an appropriate professional organization constituted under an Act, acting under that association's code of ethics and subject to disciplinary action by that association;
- (b) the individual's area of expertise is recognized in the assessment methods as one that is acceptable for the purpose of providing all or part of an assessment report in respect of that development proposal; and
- (c) the individual is acting within that individual's area of expertise.]

Date: February 3, 2016

File No.: 6930-20 (Agriculture
Area Plan)

To: Denman Island Local Trust Committee
For the meeting of March 15, 2016

From: Rob Milne, Island Planner

CC: Ann Kjerulf, Regional Planning Manager

Re: Denman Island Farm Plan Implementation

Preliminary Report

The purpose of this report is to provide a preliminary overview of the recommendations contained within the Denman Island Farm Plan (Attachment 1). The overview is intended to inform the process of initiating the implementation strategy contained within the farm plan.

Project Background

The Denman Island Local Trust Committee (LTC) began the process of creating a farm plan in May, 2009 with a resolution to direct staff to begin scoping for funding options. Subsequently in 2010 an RFP was issued seeking proposals from proponents for the preparation of an agriculture strategy for Denman Island. The objective of the project was to identify the current context for agriculture and develop an agriculture strategy that would outline the preparations for an agriculture plan. The agriculture strategy was to be the first phase in developing an agriculture plan.

At their November, 2009 meeting the LTC appointed an Agriculture Plan Steering Committee comprised of nine residents of Denman Island, the Electoral Area A Director, Bruce Jolliffe, and one local Trustee, David Graham. Ministry of Agriculture and Lands agrologist, Jill Hatfield, agreed to participate in Steering Committee meetings as an advisor.

In August, 2010 the Islands Trust contracted with AEL Agroecological Consulting to produce the Agriculture Strategy. The Steering Committee met with the consultant and reviewed drafts of the strategy, which was finalized and received by the LTC in January, 2012.

The scope of the agriculture strategy included compiling statistical information about Denman agriculture, describing the history, reviewing trends, examining the regulatory framework, identifying the needs of producers and outlining next steps in developing an agriculture plan. Public involvement was an essential component of the development of the agriculture strategy.

The contract to develop a draft Denman Island Farm Plan from the research and findings of the agricultural strategy was also awarded to AEL Agroecological Consulting. Development of the farm plan involved active participation of the steering committee and a variety of public outreach activities including focus group sessions and a community forum held on November 4, 2011.

At their June 5, 2012 meeting the LTC endorsed a draft of the Farm Plan for community review. The draft Farm Plan was then distributed to the community via the Farm Plan Blog, Islands Trust website, by presentation at the Summer Sustainability Festival on June 29, and by leaving hard copies of the Farm Plan in Abraxas Books for the summer. An article also appeared in the June Flagstone and an ad was placed in the Grapevine to advertise the draft Farm Plan and request comments from the community. The draft Farm Plan was also circulated to the Comox Valley Regional District, Agricultural Land Commission, and Ministry of Agriculture and Lands for comment.

The comments and input received as a result of this outreach were reviewed by the consultant and steering committee, and a staff summary report was considered at the November 6, 2012 meeting of the LTC. The LTC requested a number of small changes and subsequently at their December 11, 2013 meeting, the following motion was adopted.

DE-085-2012

That the Denman Island Local Trust Committee endorse the Denman Island Farm Plan, November 2012.

At the January 12, 2016 meeting of the LTC, consideration was given to the committee's top priorities. It was the decision of the LTC to move the Medical Marijuana priority item to the "Projects" list and replace it with the Denman Island Farm Plan as shown in the resolution below.

DE-2016-004

That the Denman Island Local Trust Committee move from the Projects List the item regarding the Farm Plan Implementation to the Top Priorities List and add to it as an Activity "Include consideration of limiting commercial agriculture and horticulture in high density small lot neighbourhoods" and remove from the Top Priorities List Item 5 regarding Medical Marijuana.

Moving Farm Plan Implementation from the Projects list to the Top Priorities list was direction to staff to begin the steps necessary to initiate this priority. It should also be noted that a request will be going to the March 2, 2016 meeting of the Financial Planning Committee to reallocate the 2016/17 budget (\$6,500) previously allocated for Downtown Village Vision to Farm Plan Implementation.

Analysis

Part 2, “Key Issues and Recommendations” of the Farm Plan provides fourteen recommendations categorized into “Key Issue” areas. Those recommendations are listed below for convenience.

Economic Viability

1. Enhance cooperation amongst farmers for marketing
2. Consider agritourism initiatives
3. Make farm products more accessible to the Denman Island Community
4. Lobby BC Ferries to support farmers

Processing and Infrastructure

5. Establish facilities to support processing and storage of farm products

Education

6. Increase the availability of farming-related workshops and course
7. Develop and support farm to school programming
8. Educate and support new and current farmers

Regulatory Framework

9. Promote the active use of farmland
10. Establish an Agricultural Advisory Planning Commission
11. Undertake a review of farm worker housing and agritourism accommodation
12. Hire an Agricultural Economic Support Officer
13. Implement zoning updates through the Land Use Bylaw
14. Amend the Official Community Plan.

Part 2 of the Farm Plan examines each of these recommendations in detail providing context for each recommendation and a listing of possible actions and desired outcomes. This is followed in each recommendation section by a table which examines such items as potential stakeholders, timeframes and funding requirements. Each of the actions listed involves one or more stakeholders and funding requirements rated from “Low” to “High”. In general terms the anticipated time lines fall into two main categories: 1-3 years and 3-5 years. Others are described as “ongoing”.

It should also be noted that recommendation 13, “Implement zoning updates through the land use bylaw” and 14, “Amend the official community plan” contain ten and eleven recommended actions, respectively. It is possible that an analysis and implementation of these recommended actions could represent a first step in the implementation of the Denman Island Farm Plan.

One of the issues that requires reflection when considering the implementation of the Farm Plan is the level of public consultation and the level of time and resources that would be required by any particular approach. It is the understanding of staff that it is neither the intent nor desire of the LTC to “re-open” the farm plan to consider amendments.

As noted, most of the action sets in the listed recommendations involve one or more external parties or stakeholders and the actions are often wide in scope. This will result in a limitation of the number of actions that can be undertaken at any one time and will likely have the effect of making the Farm Plan implementation a multi-year process. This will, of necessity, require the prioritization of the offered actions to ensure the most efficient use of staff and financial resources for the most effective and timely implementation of the Farm Plan.

Project Scope and Timeline

The scope of this project is understood to be limited to the actions necessary to begin the implementation of the Denman Island Farm Plan. Given the number of recommendations and associated actions, some of which are broad in scope and some of which require an active and ongoing commitment, it is anticipated that the full implementation of the Farm Plan will be much more than a one year project.

Resources and Roles

As noted earlier in this report a request will be going to the March 2, 2016 meeting of the Financial Planning Committee to reallocate funding (\$6,500) from Downtown Village Vision to Farm Plan Implementation. This funding should be more than adequate for the upcoming fiscal year if the implementation actions chosen do not require contract services. As also noted, given the nature and scope of the full suite of Farm Plan recommendations, it will not be possible to fully implement those recommendations in anything less than a multi-year approach. This will require the ongoing commitment of monetary and staff resources and could constitute a major project for several years.

Communications

Effective communications will be an essential component of the implementation of the Farm Plan. The nature and extent of that consultation will be largely dependent upon the course of action chosen by the LTC with respect to implementation recommendations and actions. For those actions which are multi-party in nature and which will require a stakeholder consultation component there will be a greater need for meetings and communications/notifications. Communication costs could include venue rentals, minute taking, advertising and the production of communication materials.

Project Charter

Staff will produce a project charter which reflects the direction provided to staff subsequent to the review and discussion of this report.

Next Steps

The next steps in the implementation of this project are expected to include the development and presentation of a project charter at the LTC meeting which immediately follows the meeting at which this report is received. It is anticipated that a staff report which includes and presents the project charter will contain an analysis and recommendations which reflect the direction provided to staff by the LTC.

Summary of Planning Recommendations

One of the most significant challenges presented in the implementation of the Farm Plan is the number and scope of the recommendations and associated actions. While some are simpler in nature and relatively easily accomplished, such as recommendation 10, "Establish an agricultural advisory planning commission", others, including recommendation 5, "Establish facilities to support processing and storage of farm products" are considerably more complex in nature.

One approach to project management suggests that starting out with items which are more easily accomplished and provide early successes and rewards can aid in the success of the more difficult and complex tasks which require higher levels of commitment and present greater challenges to success. This approach can enhance relationships with stakeholders and confidence in the process.

It is the view of staff that an initial focus on recommendations 13 and 14 of the Farm Plan would be the most productive approach to implementing the Farm Plan. Analysis of each of the action items would consider the legal authority of the Islands Trust to implement the recommendation within the land use bylaw (LUB) and official community plan (OCP). It would also determine if implementing the recommendation would require additional amendments, such as the inclusion of new definitions. It would further examine whether certain actions would produce the intended results or if other actions would more effective. The analysis would also consider if other recommendations would fit into this approach.

Utilizing this approach would require a public consultation process involving stakeholder groups. An Agricultural Advisory Planning Commission would assist in this process.

It is anticipated that this first phase of the Farm Plan implementation and public consultation process could result in OCP and LUB amendments respectively to implement the targeted recommendations of the Plan.

RECOMMENDATIONS:

1. That the Denman Island Local Trust Committee directs staff to prepare a Project Charter for consideration of the LTC, which prioritizes implementation of recommendations 13 and 14 of the Denman Island Farm Plan and outlines a corresponding public consultation process.

Prepared and Submitted by:



Rob Milne, RPP, MCIP
Island Planner

February 3, 2016

Date

Concurred in by:



Ann Kjerulf, RPP, MCIP
Regional Planning Manager

February 9, 2016

Date

Attachment:

1. Denman Island Farm Plan

Denman Island Farm Plan



Prepared for:

Denman Island Local Trust Committee and



By:



November, 2018

“An Island where we feed each other abundantly because farming is a viable and valued foundation of our sustainable community.”

– Vision Statement, Denman Island Agriculture Plan Steering Committee

EXECUTIVE SUMMARY

**Farming is much
more than a
sector or
industry on
Denman Island;
it is a way of
life...**

The development of a *Denman Island Farm Plan* was initiated in 2010 as a priority of the Denman Island Local Trust Committee, and later part of the Islands Trust Council 2008-11 Strategic Plan, in order to “support socio-economic diversity of island communities”. Farming has always held a strong place in Denman Island history and is characterized by diverse, small-scale production. Currently, the economic contribution of farming to the region is marginal with gross farm receipts and farm revenues decreasing. Concerns such as a limited consumer base, transportation costs, high land prices, and lack of processing facilities have had a significant impact on the ability of local farmers to be economically viable. The *Denman Island Farm Plan* was initiated to enhance and preserve farming in the region and work towards increased farm production that is both sustainable and resilient.

A vision statement was developed by the Agriculture Plan Steering Committee to help guide the process of the *Farm Plan* and provide direction when determining recommendations and an implementation plan. The vision statement for Denman Island is “*an Island where we feed each other abundantly because farming is a viable and valued foundation of our sustainable community*”. The term *Farming* has been intentionally used throughout the *Farm Plan* as the Committee felt that it brought about ideas of growing food and farm products, and raising livestock, and was more inclusive and historic than the term Agriculture. Aquaculture was not addressed in the development of the *Farm Plan* due to budget constraints and limitations placed on the scope of the *Farm Plan* by the funding partners. Since aquaculture once played an important role as both an economic driver and an employment generator, the Islands Trust is encouraged to conduct an analysis of aquaculture production on Denman Island and include it in future planning around food and farming. Conventional forestry practices have not been addressed in this plan, but the steering committee recognizes and encourages agroforestry on Denman Island.

The first phase in developing the *Farm Plan* was to produce an *Agriculture Strategy* that could provide background information about Denman Island. The *Agriculture Strategy* was completed along with a thorough survey of consumers and producers in the summer of 2011. This Summer Survey helped to further provide an accurate profile of farming on Denman Island.

With a relatively mild climate and productive soils, Denman Island is home to a wide variety of farming operations. A total of 99 farms were identified during the Agricultural Land Use Inventory (LUI) and Summer Survey at different scales of production. The majority of the farms were between 4 and 28 hectares, which is consistent with overall farm size in BC. The most abundant farm types reported from the LUI and Summer Survey data were in the fruit, berry and nut farm category at 62% with vegetable farms following at 50% of the 99 farms. Hay and forage (plant material eaten by livestock) farms were also prevalent high at 45% with poultry farms following at 35%.

In the 2006 Census of Agriculture, farmers reported low gross farm incomes and high operating expenses leading to very low gross margins. Additionally, average revenue per farm was \$7,351, which was much lower than on many other Gulf Islands. It is important to mention that Denman Island does not have large wineries or poultry operations, unlike other Gulf Islands, which substantially affects the overall average gross farm incomes. Also, there is a strong barter and trade network on the island, which does not translate in revenue figures. The low farm revenue and gross farm receipts experienced by Denman Island farmers demonstrates the strong commitment and dedication to farming in this region.

Through the development of the *Agriculture Strategy*, *Summer Survey* and the *Farm Plan*, many challenges and opportunities associated with farming were raised. Common themes have been categorized into key issues as follows: Economic Viability, Processing and Infrastructure, Education and Regulatory Framework. Although the Hornby/Denman Growers and Producers Alliance (HDGPA) has created various new marketing opportunities for locally farmed products, there are still concerns that there is an inadequate number of locations and markets where farmers can sell their products, which limits their exposure to the local population and consumer base. Many farmers also feel that the cost of the ferries make it challenging to purchase important inputs and supplies from off Denman Island. Furthermore, even though some efforts have been made to fill gaps in farm infrastructure on Denman Island, farmers still feel severely limited in both processing and storage facilities. Currently, farmers often need to send their products off of Denman Island for processing and sale, which can be both cost prohibitive and time consuming.

It was suggested that more educational opportunities for both consumers and farmers on Denman Island are needed through workshops, community school programs, and extension opportunities. Finally, farming in Canada is governed by several levels of government and associated municipal, provincial and federal government policies. Due to their interrelationships, these regulations can be complex and overwhelming and many community members are unclear on how and what regulations affect agriculture in their region. Concerns such as non-farm use of agricultural land, farm worker housing and provincial health regulations were highlighted as key issues and areas of opportunity for enhancing farming on Denman Island.

A total of 14 recommendations and associated actions have been put forth to help address these concerns:

- 1. Enhance cooperation amongst farmers for marketing**
- 2. Consider agritourism initiatives**
- 3. Make farm products more accessible to the Denman Island Community**
- 4. Lobby BC Ferries to support farmers**
- 5. Establish facilities to support processing and storage of farm products**
- 6. Increase the availability of farming-related workshops and courses**
- 7. Develop and support farm to school programming**
- 8. Educate and support new and current farmers**
- 9. Promote the active use of farmland**
- 10. Establish an Agricultural Advisory Planning Commission**
- 11. Undertake a review of farm worker housing and agritourism accommodation**
- 12. Hire an Agricultural Economic Support Officer**
- 13. Implement zoning updates through the Land Use Bylaw**
- 14. Amend the Official Community Plan**

In order to tackle these 14 recommendations, an implementation strategy has been developed with suggestions for key players, timeframes, priority levels, funding requirements and potential funding sources. It has been suggested that an Implementation Body be created to ensure the Farm Plan is effectively implemented, evaluated and monitored on an ongoing basis. A series of short and long term indicators have also been identified with measurable indicators of success.

Farming is much more than a sector or industry on Denman Island; it is a way of life for some, and the growing and consumption of local food and farm products represents strongly-held values and beliefs. As such, much of the feedback received in the consultation with the community, and the Steering Committee's deliberations over draft versions of this Farm Plan, revolved around some high-level principles to do with such things as Genetically Modified Organisms (GMOs) and international trade agreements introducing competition for local food and farm products. As an overarching recommendation of this plan the Islands Trust is urged to take advantage of the opportunity to play a key role in Canadian and international agricultural policy and act as an advocate for the farming community in the Gulf Islands.

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Marina Reid – Farmer
Doug Wright – Farmer
Dave Niedermoser – Farmer
Anne de Cosson – Farmer
Harlene Holm – Farmer (January 2010 – October 2011)
Ralph Walton – Farmer (January 2010 – December 2010)
Fireweed – Food Advocate (January 2010 – April 2010)
Peter Janes – Farmer (January 2010 – August 2010)
Ashlea Jonesmith – Community Member (February 2011 - January 2012)
Danni Crenna – Renewable Energy Denman Island, Permaculture Guild
Jill Hatfield – BC Ministry of Agriculture Regional Agrologist
Bruce Jolliffe – Electoral Area Director representing Comox Valley Regional District
Courtney Simpson – Islands Trust Planner
David Graham – Elected Trustee – Denman Island Local Trust Committee

This Farm Plan is a collaboration of the Denman Island farming community, local citizens, the BC Ministry of Agriculture, the Comox Valley Regional District and the Islands Trust. AEL Agroecological Consulting prepared the Denman Island Farm Plan under direction of the Steering Committee and the Islands Trust in collaboration with Ione Smith of Upland Consulting, Derek Masselink of Masselink Environmental Design and Taina Uitto. AEL Agroecological Consulting would like to particularly thank Courtney Simpson, Islands Trust Planner, for her support and contribution to the Farm Plan.

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INTRODUCTION

With increasing concerns regarding climate change and agricultural sustainability, the need to develop food security and sovereignty has become vital for island communities. The creation of a *Farm Plan* for Denman Island was one option to help adapt to both the biophysical changes and the socio-economic needs of the community and determine recommendations for enhancing and preserving farming on the island.

Denman Island is within the Islands Trust Area and home to just over 1,000 full-time residents. Currently, 46% (approx. 2,300 ha) of Denman Island is in the Agricultural Land Reserve (ALR), second only to Salt Spring Island at 2,921 ha, although a significant portion is allocated to parkland. Farming on Denman Island is characterized by diverse small-scale production. Many of the historic farms still remain and bartering of local agricultural products is a fairly common practice. Aquaculture, while not the focus of this *Farm Plan*, is an important component of local food security in the Local Trust Committee Area.

As part of the Islands Trust Council 2008-11 Strategic Plan, supporting the completion of a Denman Island Farm Plan was identified as a strategy under the objective “to support socio-economic diversity of island communities”. The Denman Island Local Trust Committee (LTC) took on the creation of the Farm Plan as a work plan top priority and formed the Agriculture Plan Steering Committee (APSC) to guide the process.

In January 2011 a *Denman Island Agriculture Strategy* was completed to lay the groundwork for the subsequent *Farm Plan* and provide background information to inform the Plan. A recommendation to pursue a full agricultural survey was put forth in the *Strategy* to gain a better understanding of the farm enterprises on Denman Island and, in 2011, a Summer Survey was completed entitled *Food and Farming on Denman Island: Consumer and Producer Perspectives*. This in-depth report compiled data from 40 Denman Island producers and a variety of residents to establish a comprehensive profile of agriculture in the region.

To direct the focus of the *Denman Island Farm Plan* a series of objectives were endorsed by the LTC and Steering Committee as follows:

- To gather more information from the community about farm products, methods and consumption in order to increase understanding of the current situation and establish a baseline for measuring success of the Farm Plan over time;
- To identify short-term, easily achievable goals for enhancing farming on Denman Island;
- To identify medium and long-term goals for enhancing farming on Denman Island;
- To develop an implementation plan to achieve these goals;
- To develop measurable indicators of success in achieving these goals;
- To identify existing initiatives and successes that represent strengths of the farming community;
- To engage local producers and businesses, the community and policymakers in identifying goals for enhancing farming; and
- To share information about the process of developing the Farm Plan and the Farm Plan itself once complete, with local producers and businesses, the community and policymakers.

The effective engagement of the community was seen as critical to achieving these objectives. A Community Forum and a series of Focus Group Sessions were offered for residents and producers to put forth challenges and opportunities facing farming on Denman Island. The feedback received at these events was used to develop recommendations for local

*“I am thankful that people
farm here.”*

government, farmers, residents and community groups on Denman Island. An implementation plan to address the key issues was then created and tied to indicators that could be effectively monitored to evaluate the impact of the plan over time. In addition, potential funding sources were identified for each action item to help create a smooth transition between preparation of the *Farm Plan* and implementation. The APSC has been an integral part of the iterative process of formulating the Farm Plan and feedback from the committee has been instrumental in developing a community driven process.

Denman Island is characterized by a diversity of environments and people with a strong desire to live sustainably. There is immense pride in the quiet, rural environment and the numerous parks and conservation areas spread throughout the island. Farming is valued as part of the foundation of the community, but not valued above all else. In the community’s pursuit of sustainability; farming cannot be a sustainable activity if it cannot support the farmers financially. But farming has to somehow be economically viable without sacrificing the other values of the community. Since farming and conservation are not mutually exclusive, farming has to be part of the transition to sustainability and, as such, must fit within the current and future fabric of Denman Island, not expand and grow in spite of it. By fitting within the social, environmental and philosophical fabric of Denman Island, farming will become supported by all aspects of the community and become integrated.



View West towards Baynes Sound from Westisle Farm

VISION AND GUIDING PRINCIPLES

The Agriculture Plan Steering Committee is comprised of representatives from the farming and agriculture community including; the Denman Island Local Trust Committee, the Comox Valley Regional District Board of Directors and the Ministry of Agriculture. The Steering Committee has been meeting regularly since January 2010 and oversaw the development of the Denman Island Agriculture Strategy (2011) and the 2011 Summer Survey. Vision and purpose statements were crafted as part of their work and are as follows:

Vision Statement: “An Island where we feed each other abundantly because farming is a viable and valued foundation of our sustainable community.”

Purpose Statement: To protect and encourage agriculture within the context of Denman Island and to create guiding principles for the Denman Island Local Trust Committee to use in making policies and bylaws through:

- Studying/recommending resolutions for areas of regulatory conflict
- Educating
- Exploring alliances
- Researching and promoting agricultural facilities
- Strengthening food security
- Maximizing agricultural land security
- Recognizing/supporting the local, small-scale, and diverse nature of Denman Island agriculture
- Engaging the community
- Working with/providing input to other levels of government
- Encouraging youth engagement in farming
- Recognizing the importance of healthy ecosystems and their interrelationships with farming
- Considering /supporting local agroforestry and its best practices

These vision and purpose statements were used to guide the planning process. Community members were asked to provide feedback on this vision during the public consultation, which resulted in general agreement and support.

DEFINITIONS

A conscious decision was made to use the term *Farming* in this plan, as opposed to the term *Agriculture*. The Steering Committee developed high-level definitions for the terms and found the term *Farming* to be more appropriate. *Farming* brought about ideas of growing food and farm products and raising livestock, and was more inclusive and historic. The Steering Committee also discussed the idea that *Farming* is a verb and an action, while *Agriculture* is a noun and passive.

Discussion also occurred around the term *Sustainability*. It was defined as a closed loop or a circle/continuum that supports itself. Sustainability also encompasses food security and sovereignty and is capable of being maintained indefinitely.

For the purposes of this *Farm Plan*, the Steering Committee also felt that it was important to define the term *Agritourism* for use in a Denman Island context. Agritourism can generally be defined as “any land based farm or business that is open to the public” and can also be defined as “the practice of touring agricultural areas to see farms and often to participate in farm activities” (Agritourism World, 2012). Denman Island Agritourism is meant to occur on a small scale with activities such as Slow Food Cycle Tours and farm or market stands as more appropriate than large-scale options such as amusement parks.

The term *Producer* is also used extensively throughout this *Farm Plan*. As noted in the Summer Survey (2011), producers have not been distinguished from “home gardeners” and the definition remains broad. Some producers may be actively marketing or bartering their products, while others are not.



Aquaculture Production in Baynes Sound

Aquaculture can be defined as the farming of aquatic organisms such as fish, shellfish, crustaceans, molluscs and aquatic plants. Although aquaculture plays a large role in food security in the Local Trust Committee Area, it is not a focus of this *Farm Plan* due to the limited scope for the project outlined by the main funding sources and budget constraints experienced by Islands Trust. Additionally, concerns were expressed that discussion about the impacts of the aquaculture industry could overshadow the process of creating a *Farm Plan* and take away resources from key land-based farming issues. It was decided that these issues need to be resolved before aquaculture can be included and addressed in a future farm plan, but that it should be a focus in future planning efforts. Islands Trust Policy Statement 4.5.2 states that “finfish farms should not be located in the marine waters of the Trust Area” (Islands Trust, 2004); however there may be a place for land based aquaculture on Denman Island that fits within the vision of a sustainable community.

Conventional forestry practices and managed forest lands are not included in the scope of this farm plan, but agroforestry is recognized and encouraged as a new and emerging farming practice. Agroforestry is an integrated farming system that entails growing trees in combination with crops, forage and livestock to enhance yields, reduce soil losses, conserve soil moisture, recycle nutrients and reduce the environmental impacts of farming operations (AAFC, 2012).



PART 1 -

BACKGROUND INFORMATION

In 2011 an *Agriculture Strategy* was completed to provide a snapshot of farming on Denman Island. The following is a summary of some of the information that was captured during the Strategy and provides context for the *Farm Plan*.

Geography and Climate

Soils of Denman Island

Water

Climate Change

Governance

Agricultural History

Demographic Information

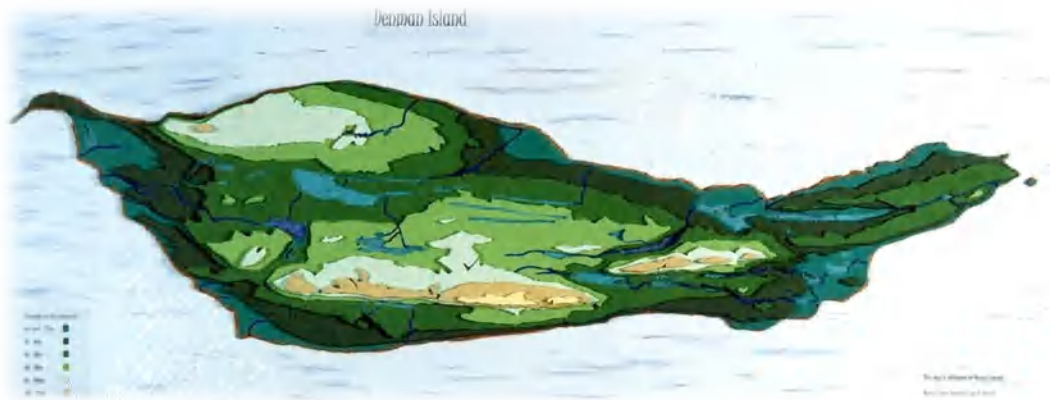
Agricultural Profile

Public Engagement

GEOGRAPHY AND CLIMATE

Denman Island is one of BC's northern Gulf Islands, located between the mid-island communities of Comox and Parksville in the Strait of Georgia and separated from Vancouver Island by Baynes Sound. The island is relatively small (19 km long, 5 km wide, 51.5 km² in area) and is similar in size and shape to the island of Manhattan (VIHA, 2010).

Sheltered from the more dramatic meteorological extremes on Vancouver Island's west coast, Denman Island enjoys mild and largely dry weather in spring, summer and fall. In part because of this forgiving climate, farming occurs extensively on most parts of Denman Island, including some parcels of land that are located outside of the ALR. Additional geographical and climate information can be found in the *Denman Island Agriculture Strategy* (2011).



Topographical Depiction of Denman Island

SOILS OF DENMAN ISLAND

The majority of soils on Denman Island are classified as Brown Podzols and Grey Gleysols (see Appendix B). Much of the western part of Denman Island is covered by a dense forest dominated by Douglas-fir, western hemlock and western red cedar on deep gravelly loam glacial till. Some areas have shallow soils over sandstone or shale. The eastern part of the island is characterized by loamy sand on which *Arbutus* is frequently present.

The most productive soil series on Denman Island are, from an agricultural perspective, Bowser, Merville, Parksville, Royston, and Tolmie soils (see Appendix B for details). The main agricultural limitations are stoniness, steep slopes in some areas, and moisture deficiencies and/or excess water. The majority of soils on Denman Island are classified as moderately constrained to agriculture due to these limitations; however, many of the soils can be greatly improved. A large proportion of the best agricultural soils are on the west side of the island fronting Baynes sound. The distribution of soils on the island is highly variable, therefore individual landowners should look to agricultural capability mapping as reference only and are encouraged to have their soils tested for site-specific analysis.

WATER



One of the Many Wetlands on Denman Island

A 2009 study of drainage areas prepared for the Islands Trust found 18 individual watersheds on Denman Island, five of which are known to be fish-bearing (Islands Trust, 2009). The largest water bodies are Chickadee Lake at the north end and Graham Lake in the south central region.

Denman Island's topography, which consists of a series of ridges that run lengthwise along the Northwest – Southeast axis, has created several wetland areas, particularly in the southeast. Pioneering and recent farmers established drainage ditches in some of these natural wetlands to create productive farming areas for seasonal crops. These modified wetlands are termed "Seasonally Flooded Agricultural Fields" (SFAFs), meaning that they have been cultivated in the recent past, or still are, and are underwater for a portion of the year. SFAFs are an ecosystem category in the Provincial Sensitive Ecosystem Inventory (SEI) and may have been natural wetlands at one time. They provide wildlife habitat for many species including migratory birds, and many are located within the

ALR. On Denman Island all streams, lakes and wetlands, including SFAFs are within a development permit area for

protection of the natural environment, however agricultural activity that is both within a SFAF and in the ALR is exempt from requiring a permit.

In 1976, S.C. Preston noted in his report entitled *Agricultural Resources and Potentials of the British Columbia Gulf Islands* that water shortage was the main limitation to agricultural production and expansion of farming in the region. Methods of minimizing summer water droughts were suggested, such as the creation of dug outs, dams and cisterns and the use of cultivation and farm practices to minimize water loss. The 2011 Summer Survey revealed that water shortage remains a concern for some farmers on Denman Island (Uitto, 2011). The following information was captured during this survey:

- 78% of producers irrigate their crops.
- The estimated usage per season varied greatly depending on farm type and location.
- Average water use was estimated at 164,199 L (43,377 gallons) per season per farm.
- 26% of those that irrigate reported experiencing water shortages.

Some producers reported in the Summer Survey that they experience both a shortage and an abundance of water for irrigation, depending on farm location and time of year. Some producers also expressed that they never experience a shortage of water, while other producers suffer from water shortages at certain times of the year. The survey revealed that farms reporting water shortages had no apparent geographic grouping; thereby eliminating the ability to determine if one area of the island experiences a water shortage compared to any other

area. Water catchment options such as cisterns, ponding, and dug outs may be necessary in certain areas of the island. New farmers are urged to talk to their neighbours to discuss water usage and storage options. Water conservation technologies such as drip irrigation and the use of drought tolerant varieties may help alleviate some of the water shortage concerns in some areas. As climate change continues, water storage may become a necessary part of a water system. The BC Government is working on a modernization of the current Water Act. The four goals of the Water Act Modernization are to:

- Protect stream health and aquatic environments
- Improve water governance arrangements
- Introduce more flexibility and efficiency in the water allocation system
- Regulate ground water use in priority areas and for large withdrawals

More information on the Water Act Modernization can be found at <http://www.livingwatersmart.ca/water-act/>.

CLIMATE CHANGE

The existence of climate change has become a widely accepted phenomenon and one that could dramatically affect farmers in small island communities. While farmers are accustomed to adapting to weather conditions, climate change will require a more systematic approach. The vision statement put forth in the Denman Island Official Community Plan states “We accept the challenge of adapting to climate change and will alter our lifestyles to live more lightly on the land”. This implies a proactive approach to altering production practices to adapt to changing climate patterns. Some general patterns are anticipated in North America, such as a warming of 1-3°C between 2010 and 2039 and an increase in warmer winters and hotter, drier summers. The following changes are also anticipated in the Vancouver Island and Gulf Islands region:

- Increasing climate variation and more extreme weather events with an increase in the associated damage costs (NRC, 2007);
- By 2050 summer precipitation on Vancouver Island is expected to decrease by approximately 10% along the southeastern coast (Rodenhuis et al., 2007);
- Warming by 2–7°C by 2080 – impacting sea levels, precipitation patterns and ecosystems;
- Increasing frequency and severity of wildfires (NRC, 2007);
- Increasing frequency and severity of pest, disease and invasive plant outbreaks (NRC, 2007);
- Increasing irrigation needs (Zebarth et al, 1997; Neilsen et al., 2004);
- Sea-level rise may result in saltwater intrusion into freshwater aquifers, affecting the quality and quantity of irrigation water supplies (Liteanu, 2003; Allen, 2004).

Effects on individual microclimates are not yet known, but water shortage may become an increasing concern. Efforts should be made to mitigate and adapt to extreme weather events through proper planning and community consultation.

During the public consultation process it was also mentioned that there was an urgency to reduce greenhouse gas emissions in the region and that stock-free farming and livestock-free food production is one way to achieve this. Stock-free farming avoids the use of domestic animals and animal by-product inputs in food production. “Eating

lower on the food chain” can be a significant contributor to reduced greenhouse gas emissions and one of the many options for mitigating the impacts of climate change.

GOVERNANCE

Both Denman and neighbouring Hornby Island are part of a group of 13 major islands and more than 450 smaller islands administered by the Islands Trust. There are two local trustees elected for each group of islands designated as a local trust area or island municipality. Together, with an appointed chair from the Executive Committee, local trustees are responsible for land use decisions within their respective local trust area, excluding First Nation reserves. The Islands Trust Area is comprised of 12 local trust areas and one island municipality. Each local trust committee has land use jurisdiction over a major island, plus smaller islands and surrounding waters. The Islands Trust "plans land use and regulates development in the Trust Area with a unique mandate to preserve and protect the trust area and its unique amenities and environment for the benefit of the residents of the Trust Area and the province in cooperation with the Provincial government, municipalities, regional districts, improvement districts, other persons and organizations" (Islands Trust, 2008). The Denman Island Local Trust Committee (LTC) is responsible for land use decisions within the Denman Island Local Trust Area.

Denman Island is also located within Electoral Area A of the Comox Valley Regional District (CVRD), which "is a federation of three electoral areas and three municipalities providing sustainable services for residents and visitors to the area" (CVRD, 2010). Regional districts provide a government for unincorporated (rural) areas, a forum for inter-municipal cooperation and an organization upon which provincial mandates can be imposed. The CVRD encompasses an area just over 1,725 square kilometres (666 square miles) and serves a population of 48,824 according to the 2006 Census. On Denman Island the CVRD has jurisdiction over parks and economic development.

AGRICULTURAL HISTORY

The Coast Salish, the region's first people, first visited Denman Island at least 5,000 years ago by canoe to find food, specifically fish, oysters, clams and roots (Tourism BC, 2010). The Pentlatch band of the Coast Salish maintained a summer village at Henry Bay near Denman's northern tip while spending their winters along the Puntledge River near Comox. As with many of the other Gulf Islands, traces of their presence can be found in middens, petroglyphs and earthworks in areas such as the Chrome Island Light House on the island's southern shore, and at Longbeak Point on the narrow northern tip of the island. Shell midden beaches are evidence of their continual presence. The Pentlatch were devastated by smallpox and other



Coast Salish Canoe source: University of Washington

diseases brought by the Europeans in the late 1700s and early 1800s. Today the K'ómoks First Nation has territorial claims over the wider region, including Denman Island (Denman Island OCP, 2008). Some of the First Nations Peoples cultivated "Indian Consumption Plant" (*Lomatium newdicaule*), which was used for treating colds, sore throats, and consumption (tuberculosis) (Turner, 2005). The seeds were collected and distributed to larger areas to ensure a consistent supply for future years. Some First Nations people still visit Denman Island to continue this practice.

European settlers to Denman Island made their home on the island in the late 1800s. Farming was the mainstay occupation for most islanders and was characterized by small-scale, diverse operations. Many of the historic farms still remain and a few of the descendants of these early settlers still live and farm on the island today. A detailed account of the first farming families and associated operations is provided in the *Denman Island Agriculture Strategy* (2011).

As the logging industry experienced a boom in the mid-1900s and became highly profitable, the farming industry experienced significant difficulties such as: obtaining development capital, a shortage of irrigation water in the summer, high land prices, high production costs, transportation costs, lack of extension services and the aging farm population (Preston, 1976). Many of these challenges still exist today.

DEMOGRAPHIC INFORMATION

Denman Island is home to just over 1,000 full time residents and amenities including: one general store (containing the gas station, propane sales, post office and government liquor store), hardware store, bookstore, craft stores, two bistros, commercial offices, medical clinic, a fitness gym, a video store, two real estate offices, the Seniors Activity centre, a community hall, a library, a community school, arts centre and a museum. The population growth rate for Denman Island has been lower than for the Trust Area and the Province as a whole (Islands Trust, 2008a). The Denman Island *Official Community Plan* (OCP) indicates that the population increased by only 4.5% from 1996 to 2006, while the Trust Area's growth rate was 13.9%. The population on Denman Island also declined from 1,095 to 1,022 from 2006 to 2011, resulting in a -6.7% change, according to the Statistics Canada.

In order to meet the Islands Trust mandate of preserving and protecting the "area and its environment for the benefit of residents and the province" the Local Trust Committee has set a density cap in the OCP for a population of slightly over 2,000 people upon final build out with current zoning regulations in place (Islands Trust, 2008). This is important when considering farming activities that can be supported in this community. Islanders have expressed their goals that the community remain closely knit within the environmental carrying capacity of the island. This limit on population growth may impact the level of commercial scale farming operations, as well as the growth of current farm activities such as processing and marketing of products. Much of the public consultation discussion occurring throughout the production of this *Farm Plan* focused on an appropriate scale for farming on Denman Island.

The age distribution on Denman Island is also interesting to note (Table 1). Between 2001 and 2006, the population aged 60 and over increased by the same margin as the decline in the population aged 20 to 39 at 2.9% (Islands Trust 2008). This trend is similar on other Gulf Islands and is expected to continue as these islands attract seniors looking for a rural lifestyle to retire in.

TABLE 1. AGE DISTRIBUTION ON DENMAN ISLAND (STATISTICS CANADA, 2001, 2006 & 2011)

Age	Denman Island (% in each age class)			Gulf Islands	British Columbia	
	2001	2006	2011	2006	2006	2011
0-19	19.2	19.2	10.9	17.3	23.2	22.0
20-39	14.8	11.9	11.9	14.2	25.8	26.0
40-59	37.9	37.9	33.8	36.9	31.3	31.0
60 and over	28.1	31.0	43.3	31.6	19.7	21.0

Currently, Statistics Canada Agricultural Census data indicates that in 2006 there were 40 farm operators on Denman Island with an average age of 58.2 years. 15 of these farm operators reported that their farms were operated by one individual, while 25 of the farm operators reported two or more people operating the farm. The age distribution indicated in the Census reflected the age distribution noted above. The majority of farm operators (62.5%) reported their age as over 55, while no farm operators were under the age of 35 (Table 2). These figures are similar to the provincial data, with a slightly larger percentage of farm operators falling within the “Over 55” category on Denman Island. This is consistent with the population data by age distribution reported above.

TABLE 2. NUMBER OF FARM OPERATORS IN EACH AGE RANGE (STATISTICS CANADA, 2006)

Age Range (in years)	Denman Island (2006)		British Columbia (2006)	
	Number of farm operators	Percentage	Number of farm operators	Percentage
Under 35	0	0%	1770	5.9%
Between 35 and 54	15	37.5%	14555	48.7%
Over 55	25	62.5%	13540	45.3%

Of the farm operators included in the Census, 25 (62.5%) were male while 15 (37.5%) were female. This is similar to the data reported for BC farm operators. A total of 64.7% of BC farm operators were male, while 36.5% were female.

AGRICULTURAL PROFILE



Apples in Season at East Cider Orchard

During the development of the *Agriculture Strategy* in 2011 a preliminary Agricultural Profile was completed utilizing the 2006 Census of Agriculture data from Statistics Canada. A further analysis of farming on Denman Island was completed in 2011 with the Summer Survey entitled *Food and Farming on Denman Island: Consumer and Producer Perspectives* (Uitto, 2011). The following pages are a compilation of both of these reports and help to create a snap shot of farming on Denman Island. While the type and scale of farming varies on Denman Island, the term farmer and producer includes anyone who identified themselves as such in the Census of Agriculture and the Summer

Survey. The definition is broad and may contain “home gardeners” and farmers not producing on a commercial scale.

In 2010, an Agricultural Land Use Inventory (LUI) was performed to determine both the current qualitative and quantitative characteristics of farmland on Denman Island, using methodology as outlined in Runka (1973). A windshield survey was performed over the course of two days during the month of August using orthophoto and cadastral maps for baseline data. A spreadsheet of information was compiled including data referring to address, farm name, livestock viewed, crops grown, farm gate sales, potential geophysical constraints and any home-based businesses noted. Each farm on the island was visited, with particular attention given to operations located within the ALR (Agriculture), Resource and Rural Residential zones.

The LUI data was used to develop Geographic Information System (GIS) maps by the Islands Trust and provide a more accurate picture of farming on Denman Island than what was reported in the Census of Agriculture. These maps provide an indication of the distribution of farms and farming activities on Denman Island for zoning and land use planning purposes. Information captured by Uitto (2011) was also entered into the GIS database to provide an accurate snap shot of farming on Denman Island (see Appendix D).

NUMBER OF FARMS

Statistics Canada, using the Census of Agriculture, attempts to develop an accurate picture of agriculture in Canada. They define an agricultural operation as a farm, ranch or other operation that produces agricultural products intended for sale. There is no recommended scale of farm suggested for reporting purposes and “hobby farms” or farms with very low revenues can be included in the Census.

It was discovered that the number of Census farms on Denman Island increased from 1996 to 2006 (Figure 1). In 1996 there were a total of 18 Census farms on the island and in 2006 there were 28 Census farms (Statistics Canada, 1996, 2001, 2006).

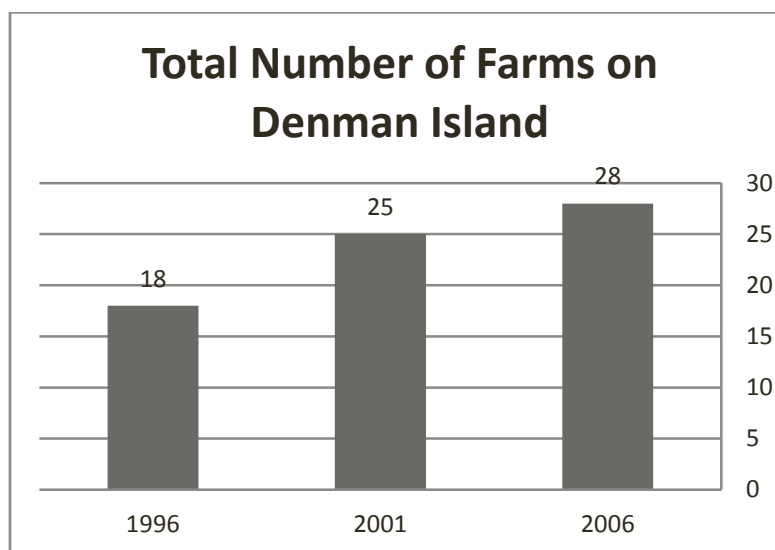


FIGURE 1. TOTAL NUMBER OF FARMS ON DENMAN ISLAND (STATISTICS CANADA, 1996, 2001 & 2006)

During the development of the Summer Survey, participants were self-identified as farmers and may not have been part of the larger Census of Agriculture. Therefore, a total of 99 properties practicing some form of farming on Denman Island in 2011 were captured during the Summer Survey (Uitto, 2011), identified through the *Agriculture Strategy*, the Local Food Directory and word of mouth. This is far more than the 28 Census farms captured above and indicates a much higher level of farming and food production on Denman Island.

FARM AREA

Denman Island is fortunate to contain a substantial amount of land within the ALR. A total of 2,300 hectares (ha) (5,683 acres) of agricultural land can be found on the Island, but only 428 ha (1,057 acres) is actively farmed, according to the 2006 Census (Table 3). Not all of this active farm land can be found within the ALR, but much of the production is concentrated there.

TABLE 3. FARM AREA (HA) ON DENMAN ISLAND (STATISTICS CANADA, 2006)

	Area (ha)	Area (acres)
Total ALR	2300	5683
Total area actively farmed	428	1057
Land in crops	151	373
Tame or seeded pasture	59	146
Natural land for pasture	60	148
Woodlands and wetlands	118	292
All other land (including Christmas trees)	40	99

In 2011, the total combined area in production within and outside of the ALR was estimated to be much lower at 236 ha (583 acres) (Uitto, 2011). The limited amount of farm land in active production could be due to a number of factors. The majority of land within the ALR is underutilized and not currently being farmed. Also, approximately 20% of the ALR land (501 ha (1,238 acres) out of 2,300 ha (5,683 acres)) is designated as park, Trust Fund, and conservancy lands and in these areas agricultural production is either limited or not allowed. This indicates that there is much room to grow and agricultural production could be expanded far beyond its current level.

Operators participating in the 2006 Census reported the majority of their farms between 4 to 28 hectares (10 and 69 acres) (Figure 2). A total of 17 farms were between 4 to 28 hectares (10 to 69 acres) and no farms were reported to be over 72 hectares (179 acres).

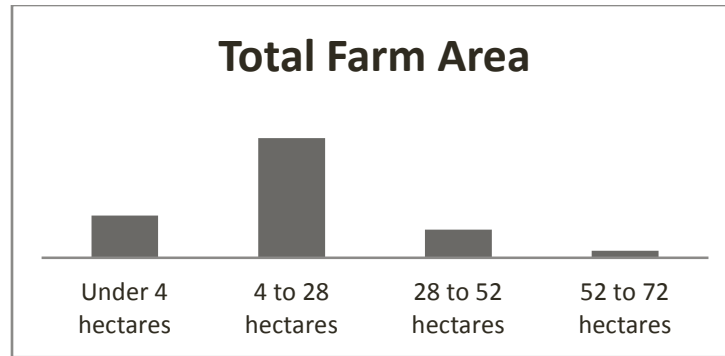


FIGURE 2. TOTAL FARM AREA ON DENMAN ISLAND (STATISTICS CANADA, 2006)

In 2011, producers reported farm sizes ranging from 0.1 ha (0.25 acres) to 59 ha (145 acres) (Uitto, 2011), which is consistent with the 2006 Census data. Producers reported an average farm size of 6 ha (14.8 acres) in 2011 (Uitto, 2011). This is much lower than the average farm size on Vancouver Island and in BC (Table 4).

TABLE 4. AVERAGE FARM SIZE IN HECTARES (STATISTICS CANADA)

	1986	1991	1996	2001	2006
Vancouver Island	23.8	22.8	19.1	21.6	18.1
British Columbia	126.5	124.4	115.8	127.5	142.9

FARM ENTERPRISES

As with the number of farms on Denman Island, there was a discrepancy between the distribution of farm enterprises reported in the 2006 Census and the 2011 Summer Survey. Many of the farmers that participated in the 2011 Summer Survey may not have taken part in the Census of Agriculture. Table 5 provides a comparison of farm enterprises by industry group for both data sets.

TABLE 5. FARM ENTERPRISE DATA (LUI/SURVEY DATA VS. CENSUS OF AGRICULTURE DATA) (UITTO, 2011; STATISTICS CANADA, 2006)

Enterprise Type	Land Use Inventory and Survey Data (2011)		Census of Agriculture Data (2006)	
	Number of Farms	Percentage	Number of Farms	Percentage
Cattle farming	16	16%	9	32%
Hog and pig farming	3	3%	2	7%
Poultry and egg production	35	35%	16	57%
Sheep and goat farming	15	15%	6	21%
Horses and ponies	16	16%	5	18%
Honeybee production	2	2%	3	11%
Llama and alpaca production	1	1%	1	4%
Tame hay and fodder production	45	45%	12	43%
Oilseed and grain farming	4	4%	2	7%

Vegetable farming	50	50%	9	32%
Fruit, berry and nut farming	61	62%	9	32%
Greenhouse, nursery and floriculture production	7	7%	6	21%
Total number of farms	99	100%	28	100%

Note: These figures are based on total farms reporting in each category, so there may be overlap in the numbers. For example, the same farm may have reported poultry production and cattle production so the number of farms in each category may be duplicated. Percentage is calculated by the total number of farms (i.e. 16 cattle farms out of 99 total farms = 16%)

The most common enterprise on Denman Island, according to the 2006 Census, was poultry and egg production at 57% with tame hay (hay cut from cultivated grasses) and fodder (feed for domesticated livestock) production as the second most common at 43% of the total categories.

Cattle farming, fruit, berry and nut production and vegetable production were the next most common category at 32% each, with greenhouse, nursery, floriculture and sheep and goat production following at 21%. A total of 4 farms reported greenhouses on the property covering 679 m² (7304 ft²) of land. Four farms also reported having an area of their farm under glass, plastic or other protection at 1083 m² (11660 ft²). The categories with the lowest level of production were oilseed and grains, hog and pig production, honeybees and llamas and alpacas.

The percentage in each crop and livestock category presented in the LUI and Survey data differs from the Census of Agriculture. The highest level of production reported here was in the fruit, berry and nut category at 62% with vegetable production following at 50%. Poultry and tame hay and fodder production were still significant at 35% and 45%, respectively.

FARM PROFITABILITY

Interestingly, 58% of producers have reported an increase in production over the past five years, while only 8% have reported a decrease or a downsizing in production (Uitto, 2011). However, while farmers may be reporting an increase in production, the financial records being reported to Statistics Canada indicated losses from 1996-2006 (Table 6).

TABLE 6. GROSS MARGIN OF FARM OPERATIONS ON DENMAN ISLAND (STATISTICS CANADA, 2006).

Gross Farm Receipts (\$)			Total Operating Expenses (\$)			Gross Margin (%)		
1996	2001	2006	1996	2001	2006	1996	2001	2006
\$ 225,339	\$ 194,654	\$ 205,825	\$ 278,307	\$ 297,871	\$ 333,421	-24%	-53%	-62%

Gross margin is calculated as gross receipts minus operating expenses, which are the expenses directly related to production. This figure indicates that farm profitability has decreased since 1996. In 2006 the gross margin was -62%, which means that, on average, for every extra dollar of sales generated on farms, the farmer is losing 62 cents. This extra 62 cents would be used to cover overhead costs of production, but are being lost due to the high cost of inputs (soil amendments, pesticides, feed, supplements, etc.), veterinary expenses, machinery and equipment repairs and purchases or transportation expenses (fuel, ferry costs, etc.). On Denman Island the majority of expenses that cause a financial burden to farmers are transportation related, as it can be costly to bring inputs and transport livestock onto and off the island. Also, Denman Island farmers are not able to take advantage

of economies of scale unlike farmers who operate large farms on the mainland of BC. These farmers can get reduced rates on many inputs since they need to purchase large quantities, contrary to farmers on Denman Island.

It is important to note that this is an average for the island, based on the 28 farms reporting in the Census of Agriculture. During the 2011 Summer Survey (Uitto, 2011), an attempt was made to capture the value of production by sales and bartering (Figure 3). This figure provides an indication of the disparity of income per farm, which ranges from \$0 to over \$10,000.

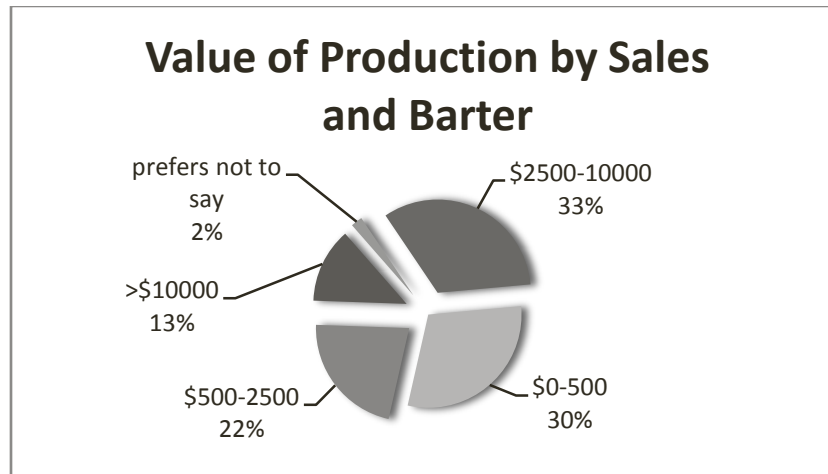


FIGURE 3. VALUE OF PRODUCTION BY SALES AND BARTER (UITTO, 2011)

Table 7 indicates the average revenue per farm on an annual basis, based on gross farm receipts reported in the Census of Agriculture. These figures indicate that farm profitability and revenue have been decreasing since 1996 and are similar to the average value of production mentioned above.

TABLE 7. REVENUE PER FARM ON DENMAN ISLAND (STATISTICS CANADA, 1996, 2001 & 2006)

Year	# of Farms	Gross Receipts (\$)	Average per Farm (\$)
1996	18	\$ 225,339	\$ 12,519
2001	25	\$ 194,654	\$ 7,786
2006	28	\$ 205,825	\$ 7,351

Another important consideration is that in order to minimize the income tax paid by farm operators, wages paid to the farm family are considered off-farm income and generally not reported in net farm income. Therefore, the figures presented may be lower than the actual revenue experienced on farms. Additionally, many farm operators maintain work off the farm, which contributes to total household income. Farm profits are often not a motivating factor for Denman Island farmers, but increased economic viability is important for maintaining a sustainable food system, especially when the objective is to attract and retain young and emerging farmers who wish to be able to earn a living wage.

To provide a comparison with other Gulf Islands, average revenue per farm has been calculated based on 2006 Census of Agriculture data (Table 8).

TABLE 8. REVENUE PER FARM ON BC'S GULF ISLANDS (STATISTICS CANADA, 2006)

Gulf Island	# of Farms	Gross Receipts (\$)	Average per Farm (\$)
Bowen	21	\$ 137,583	\$ 6,552
Galiano	19	\$ 135,258	\$ 7,119
Denman	28	\$ 205,825	\$ 7,351
North and South Pender	39	\$ 503,848	\$ 12,919
Mayne	22	\$ 286,689	\$ 13,031
Other Islands	30	\$ 397,474	\$ 13,249
Hornby	25	\$ 533,948	\$ 21,358
Salt Spring	170	\$ 4,060,287	\$ 23, 520
Gabriola	46	\$ 1,200,370	\$ 26,095

Interestingly, despite the number of farms on Denman Island falling within the mid-range for the islands, the revenue per farm is much lower than the majority of the other island communities. Farmers on Denman Island may have higher off-farm incomes than in other island communities, decreasing the need to generate high farm revenues. Additionally, there are fewer large-scale, highly profitable farms on Denman Island such as wineries and large poultry operations than on other Gulf Islands. For example, Hornby Island is home to several vineyards, which are strong contributors to the gross farm receipts of the island.

PUBLIC ENGAGEMENT

In order for a farm plan to be effective it should have strong community support and reflect the needs and desires of the community. The objectives of the farm planning public engagement process were as follows:

- Develop and refine a Vision for Agriculture on Denman Island;
- Engage a wide variety of members of the food and farming community: farmers, gardeners, restaurateurs, chefs, stores, schools and more;
- Organize a Community Forum to engage citizens on Denman Island;
- Conduct Focus Group Sessions with key stakeholders on specific local food issues; and
- Engage Denman Island residents in meaningful conversations related to farm planning.

"We need more places like community kitchens, food dehydrators, a more permanent market, and a community garden."

During the development of the *Denman Island Agriculture Strategy* (Islands Trust, 2011) a series of phone and face-to-face interviews were conducted. Additionally, written surveys were created for farmers and non-farmers. The 2011 Summer Survey (Uitto, 2011) expanded upon this with a greater number of respondents.

To gain further feedback, a Community Forum and a series of focus group sessions were offered in November 2011. The Community Forum was held in the evening on Friday, November 4th, 2011 at the Denman Island Community Hall. The consultant team developed a set of questions to guide the discussion and generate innovative ideas around farming on Denman Island.

The input gathered during the discussion was then used for the focus group sessions the following day. The participants were selected to represent the farming community and the following groups: (1) produce growers; (2) orchardists and honey producers; (3) meat and egg producers; and (4) local businesses that purchase food and farm products. The feedback received at the Community Forum helped to generate key issues facing the farming community on Denman Island and recommendations for actions. A public consultation report was developed to synthesize the input gathered during the Community Forum and focus group sessions and is publicly available on the Denman Island Local Trust Committee website.



PART 2 –

KEY ISSUES AND RECOMMENDATIONS

Through the development of the *Denman Island Agriculture Strategy* (Islands Trust, 2011), *Summer Survey* (Uitto, 2011) and the *Farm Plan* common key issues arose. These were organized into four main categories:

Economic Viability

Processing and Infrastructure

Education

Regulatory Framework

PART 2 – KEY ISSUES AND RECOMMENDATIONS

Building on the vision of “An Island where we feed each other abundantly because farming is a viable and valued foundation of our sustainable community” the following key issues were identified as areas of opportunity for enhancing agriculture on Denman Island:

- Economic Viability
- Processing and Infrastructure
- Education
- Regulatory Framework

Within each key issue a series of recommendations have been suggested:

Economic Viability

1. *Enhance cooperation amongst farmers for marketing*
2. *Consider agritourism initiatives*
3. *Make farm products more accessible to the Denman Island Community*
4. *Lobby BC Ferries to support farmers*

Processing and Infrastructure

5. *Establish facilities to support processing and storage of farm products*

Education

6. *Increase the availability of farming-related workshops and courses*
7. *Develop and support farm to school programming*
8. *Educate and support new and current farmers*

Regulatory Framework

9. Promote the active use of farmland

10. Establish an Agricultural Advisory Planning Commission

11. Undertake a review of farm worker housing and agritourism accommodation

12. Hire an Agricultural Economic Support Officer

13. Implement zoning updates through the Land Use Bylaw

14. Amend the Official Community Plan

In addition to the 14 recommendations suggested by the community an overarching recommendation arose that will aid in achieving the vision of farming on Denman Island.

The Islands Trust is urged to take advantage of the opportunity to play a key role in Canadian and international agricultural policy and act as an advocate for the farming community in the Gulf Islands.

This recommendation arose from community feedback that revolved around high-level principles to do with issues such as Genetically Modified Organisms (GMOs) and international trade agreements introducing competition for local food and farm products. In 2007, a petition was submitted to the Denman Island Residents Association to make Denman Island a GMO-free zone. While there appears to be strong support for passing legislation to limit GMOs on Denman Island, further consultation with the community and partner organizations, such as the Ministry of Agriculture, will need to take place. Some agricultural policies stretch far beyond the jurisdiction of the Islands Trust; however, there may still be avenues for the Islands Trust to engage in an advocacy role by lobbying senior governments in order to represent the interests of the farming community in the Gulf Islands.

Each of the 14 recommendations described below outlines a series of actions that need to be taken to meet the specific recommendation. Some recommendations require numerous actions, while others require only one. The implementation tables below each recommendation indicate the key players, timeframe, priority and funding requirements and sources for each action. The actions are offered as detailed tasks to be completed in order to achieve the desired outcomes within each recommendation. These are, by no means, set in stone and may be adapted or changed over time. The following pages provide a strategy for moving forward and implementing the *Denman Island Farm Plan*.

ECONOMIC VIABILITY

GOALS

- **Enhance cooperation amongst farmers for efficient and effective marketing.**
- **Increase agritourism activities to enhance farm profitability.**
- **Decrease the financial burden for farms transporting products off Denman Island.**

This section outlines some of the opportunities available on Denman Island to make farming more financially sustainable and resilient.

There are many marketing initiatives that have recently been implemented by the Hornby/Denman Growers and Producers Alliance (HDGPA) to increase the economic viability of farms in the region. In 2011, the HDGPA developed a Logo/Label Contest, which was open to the public. The winning entry was determined in the summer of 2012 and distributed to local farmers producing Denman Island products that they would like to promote. This project will help to develop a recognized brand for Denman Island farm products and can be used in marketing efforts.



HDGPA Winning Logo

FARMER COOPERATION

As part of the HDGPA a selection of participating farmers cooperate in marketing their products. Currently, they are selling a variety of products to the Denman Island General Store in a cooler purchased by the HDGPA. The General Store has been supportive in showcasing these products and supporting the local farming industry. This association is also selling products to a local restaurant that promotes these products on their menus and in their

***"It's important to
get the growers
together".***

dishes. The local restaurants and catering outfits, as well as Westisle Farm, who run a small farm market, have also been supportive of other farmers on the island by sourcing local products when they are available. Despite these outlets, concerns were raised that there is an inadequate number of locations and markets where farmers can sell their products, which limits their exposure to the local population.

To improve the economic situation for farmers on Denman Island many of the participants at the forum and focus group sessions proposed a variety of marketing tools and ideas. Even though some farmers are already cooperating to jointly sell products through the HDGPA, some members of the farming community suggested that they could benefit from more communication and cooperation. A Community Supported Agriculture (CSA) program was one idea put forth by the community that generated significant support. CSAs function by community members providing a set amount of money (otherwise known as a "share") at the beginning of the growing season to farmers to offset their farm input costs and in return members receive a weekly or bi-weekly box of produce throughout the growing season. To eliminate the burden placed on one Denman Island farmer, this CSA could be coordinated through a group of farmers who contribute products to the weekly boxes. Additionally, farmers could

investigate the potential for cooperative direct farm sales and off-island sales. Another option to explore would be to cooperate in purchasing of inputs and timing in planting of crops to make things easier and less expensive. The possibility for local businesses to cooperate on purchasing products was also mentioned, in order to keep costs down. Local businesses present at the focus group sessions also suggested that bartering opportunities may exist for small scale farmers with limited products to offer.

RECOMMENDATION:

1. ENHANCE COOPERATION AMONGST FARMERS FOR MARKETING

Actions:

- Increase cooperation with one another to market, sell and price products for markets on and off the island.
- Coordinate planting and purchasing of inputs to reduce costs and ensure a consistent supply of farm products.

Desired Outcomes:

- Farmers are marketing their products more effectively to local markets since they can offer a consistent supply and product.
- Local businesses clearly know which farms to approach for products.
- Farmers have reduced the costs of inputs by sharing expenses.

A. Increase cooperation with one another to market, sell, and price products for markets on and off the island.							
Local Government	Farmers	Residents & Community Groups	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding Sources
N/A	Support strategies for cooperation that would benefit the farming community.	N/A	HDGPA Local Businesses	Ongoing	High	Low	Investment Agriculture Foundation (IAF) Growing Forward

B. Coordinate planting and purchasing of inputs to reduce costs and ensure a consistent supply of farm products.							
Local Government	Farmers	Residents & Community Groups	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding Sources
N/A	Determine and support strategies for cooperation that would benefit the farming community.	N/A	HDGPA Denman WORKS!	Ongoing	High	Low	

AGRITOURISM AND MARKETING

The potential for agritourism on Denman Island is a controversial topic. Many suggested that agritourism could play an important role in marketing of farm products, but some were concerned that it could have an impact on biosecurity issues, farm access and farm productivity. Still others believed that the concept of “tourism” in general did not fit with the culture of Denman Island. It is important to note that agritourism is usually not seen as a mandatory requirement in any community and is solely at the discretion of the farm operator or business. Specific policies can also be developed to minimize biosecurity risks.



Westisle Farm's Produce Shack

Agritourism is generally defined as “any land based farm or business that is open to the public” and can also be defined as “the practice of touring agricultural areas to see farms and often to participate in farm activities” (Agritourism World, 2012). Agritourism can supplement and diversify agricultural income, contributing to the stability of agriculture in rural communities and may help visitors to better understand agricultural practices (ALC, 2005). Some examples of agritourism activities are (Curran, 2005):

- Retail sales of products primarily from the farm, from farm stands and farmers’ markets;
- Tours, including pumpkin patch tours, circle farm tours and slow food bike tours;
- Product processing and retail sales;
- Horse riding, guest ranches and livestock shows;
- Hay, tractor and sleigh rides;
- Fishing from a stocked pond;
- Wine tasting and food services associated with vineyards;
- Education about farming and food production as well as activities such as cooking classes;
- Special events like harvest fairs, farm product promotion, charity fundraisers using farm products, or catered food and beverage service special events; and
- Bed and breakfast, cottages or other accommodation such as camping.

The Local Trust Committee (LTC) outlines a specific policy in the OCP for agritourism endeavors (Islands Trust, 2008a,) demonstrating their support:

- Policy 15: The Local Trust Committee should encourage educational tourism, agritours, cultural tours, fairs, festivals, craft markets, garden or studio tours, hiking, biking, kayaking, walking, and low impact nature observation.

The Local Trust Committee also has identified specific zoning requirements for agritourism ventures such as farmers markets and harvest festivals (Islands Trust, 2008b):

- Markets and fairs are permitted in commercial (C) and institutional (IN) zones, for no more than 45 days a year (2 consecutive days for markets, 7 consecutive days for fairs).

Also, according to the Denman Island Land Use Bylaw 186 (Islands Trust, 2008b), agriculture is a permitted use in zones R1, R2, R3 and A. Within these zones, accessory buildings for the sale of horticultural and agricultural products produced on that site are permitted, as are tours and food and beverage sampling with Food Safe certification.

Agritourism activities that do not involve accommodation are an allowable farm use if they meet the following criteria as established by the Agricultural Land Commission (ALC) (ALC, 2005):

- 1) The land must be assessed as a farm;
- 2) The activity must be temporary and seasonal (note: with some additional criteria, wineries, cideries and farm retail sales are not required to be temporary or seasonal); and
- 3) The activity must be secondary to the farming activity, relate to the principle farm use, and promote or market farm products produced on the farm.

These restrictions imposed by the ALC could be problematic due to the fact that many of the farms within the ALR on Denman Island may not meet the criteria to be assessed as a farm for taxation purposes. Farms outside of the ALR do not experience the same restrictions and do not require approval from the ALC to engage in agritourism activities, but they must comply with the OCP and Zoning Bylaw.

Not all scales of agritourism may be suitable or appropriate for Denman Island, but some of the options presented by the community included: educational workshops and events; farm tours, specifically slow food cycle tours; harvest dinners and food festivals; on-farm work parties; farm stays; crop tastings, similar to wine tastings; and tours of heritage farms. Another idea was the creation of Island Buying Weekends where certain farm products would be available to the community over the course of a specific weekend. For example, poultry producers could collaborate to set specific weekends for sale of their products, which would minimize marketing and time spent selling products for the farmer and make it clear to buyers when products are available for sale. These weekends could be promoted in local news publications and in the existing Local Food Directory.

“We can learn from the Arts community. They are doing good things to let us know they are serious. Denman farmers need to brand themselves better.”

To further increase accessibility and knowledge of local farm products available on Denman Island, another item that was raised repeatedly during the public consultation process was the possibility of augmenting the Local Food Directory with an interactive website. Many community members mentioned that they would find the addition of farm names and a map very useful for locating local food. The current Local Food Directory was published by Renewable Energy Denman Island (REDI) in 2009 and has been updated annually. Despite access to this resource, a number of individuals mentioned that they didn’t know where they could access products or how to buy certain products such as meat. Additionally, those who are new(er) to the island may be unaware of all the properties and/or residents by name, and therefore have a difficult time knowing how to access local products without addresses, websites, and other contact information. They suggested

that a website or blog could be developed and maintained by a volunteer to provide more information on where and how to purchase certain products. This online content could also encourage a community gleaning program, whereby farms (or private properties) with excess produce offer their locations for free picking by volunteer gleaners for redistribution throughout the community. Gleaning programs exist in many communities, but the Victoria Fruit Tree Project has been one of the most successful (LifeCycles, 2012). The produce is split four ways with one-quarter allocated to the homeowner, one quarter given to the volunteers, one-quarter offered to community organizations, such as a local food bank or community centre, and one-quarter used to make value added products, such as apple chutney, apple juice and apple cider vinegar.

Another suggestion from the community was to increase the prevalence of food and agriculture articles in local Denman Island publications. These articles could focus on where to find local farm products, what to look for when purchasing these products, and current agricultural news. Community members also suggested the possibility of expanding the Denman Island Farmers Market to run twice per week on a year-round basis. Current management of the market would need to be enhanced, which may require further funding if market booth fees aren't sufficient. There could also be additional rental fees for the market if the market moves indoors for the winter season. An added possibility to increase access to farm products could be the construction of a farm produce stand at the Denman Island ferry dock during the summer months at the height of the tourist season. This booth could be staffed on a rotating basis by volunteers or by farmers on Denman Island. The produce stand would require capital costs to construct and advertise, but could be self-supporting in the long term.

In order to implement many of these agritourism initiatives, outside funding may be necessary. The Investment Agriculture Foundation (IAF) has funding options available through the Growing Forward program (see Potential Funding Sources section) to support local farmers. Another possibility for support on Denman Island is through Denman WORKS!. Denman WORKS! is a local Denman Island society that works with the Comox Valley Regional District to leverage the local tax-funded budget to apply for grants for community non-profit organizations (Denman WORKS!, 2012). BC Tourism may also be able to help support these initiatives through in-kind provisions.

RECOMMENDATION:

2. CONSIDER AGRITOURISM INITIATIVES

Actions:

- Investigate appropriate agritourism initiatives such as slow food cycle tours, food festivals, harvest dinners, island buying weekends, farm stays, heritage farm tours and crop tastings.
- Determine the interest level of creating an Agritourism Marketing Plan.
- Consider starting a Community Supported Agriculture (CSA) program for island residents.

Desired Outcomes:

- Increased tourism positively affects other businesses on Denman Island, which provides additional outlets for farmers to sell their products.
- Farmers have experienced an increase in their customer base since products are more convenient for residents to access.
- Production and marketing for farm products has been streamlined.

A. Investigate appropriate agritourism initiatives.							
Local Government	Farmers	Residents & Community Groups	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding Sources
Ensure supportive zoning is in place.	Continue discussion about possible agritourism initiatives and appropriate locations.	Support agritourism initiatives. Initiate agritourism initiatives when appropriate such as food festivals.	HDGPA CVEDS Denman WORKS! BC Tourism	1-3 years	Medium	Low	IAF BC Tourism

B. Determine the interest level of creating an Agritourism Marketing Plan.							
Local Government	Farmers	Residents & Community Groups	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding Sources
Provide input on the plan where appropriate.	Consider developing a seasonal agritourism marketing plan. Consider partnering with the Comox Valley Economic Development Society (CVEDS).	Contribute to the discussion on developing a plan. Provide input from a community perspective on the plan.	HDGPA CVEDS Denman WORKS! BC Tourism	3-5 years	Medium	Low - Moderate	IAF BC Tourism Denman WORKS!

C. Consider starting a CSA program.							
Local Government	Farmers	Residents & Community Groups	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding Sources
N/A	Discuss the potential of initiating a cooperative CSA program.	Provide feedback on a potential CSA program.	HDGPA	1-3 years	High	Moderate	CSA Member shares

RECOMMENDATION:

3. MAKE FARM PRODUCTS MORE ACCESSIBLE TO THE DENMAN ISLAND COMMUNITY

Actions:

- Augment the Local Food Directory with an interactive website with maps and a blog.
- Develop a community harvest gleaning program.
- Produce local articles and publications about food and farming.
- Explore running the farmers market twice per week and indoor market opportunities.
- Investigate the opportunity of creating a farm produce stand at the Denman Community Dock by cooperating with the Denman Island Residents' Association (DIRA).

Desired Outcomes:

- Community members find shopping easier because they know what products are available on Denman Island, resulting in increased sales for local farmers.
- The gleaning program provides food for those who need it at minimal cost. Farmers have access to low cost labour to pick products. Quality food is not wasted.
- Residents have a consistent and accessible location to purchase local food and farm products. Farmers experience an increase in revenue from year-round sales.

A. Augment the local food directory with an interactive website.							
Local Government	Farmers	Residents & Community Groups	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding Sources
N/A	Participate in and support efforts to highlight local farm products.	Web technician to develop and maintain an online local food directory and blog.	Denman WORKS! REDI BC Tourism	Ongoing	High	Moderate	Denman WORKS! Vancity BC Tourism

B. Develop a community harvest gleaning program.							
Local Government	Farmers	Residents & Community Groups	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding Sources
N/A	Offer produce for gleaning when excess is available.	Participate in the gleaning program when offered.	Denman WORKS! Transition Denman Island (TDI)	Ongoing	Medium	Low	Denman WORKS!

C. Publish local articles and publications about food and farm products.							
Local Government	Farmers	Residents & Community Groups	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding Sources
N/A	Provide suggestions for and write local articles and publications.	Provide suggestions for and write articles and publications.	Local publications	Ongoing	Medium	Low	N/A

D. Explore running the farmers market twice per week and indoor market opportunities.							
Local Government	Farmers	Residents & Community Groups	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding Sources
Ensure supportive zoning is in place.	Ensure year-round produce is available.	Continue to support the farmers market in its new endeavors.	Denman Island Old School Committee Other Community Centres	3-5 years	Medium	Moderate	Denman WORKS! VIHA

E. Investigate a farm produce stand at the Community Dock.							
Local Government	Farmers	Residents & Community Groups	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding Sources
Ensure supportive zoning is in place.	Support the produce stand with fresh products.	Support the produce stand.	DIRA	3-5 years	Low	Moderate	Denman WORKS! VIHA

BC FERRIES

Due to the high cost of transporting agricultural products and livestock on and off Denman Island, many farmers felt that this limited their production and the ability to sell their products to a larger customer base. Many farmers also felt that the cost of the ferries made it challenging to purchase important inputs and supplies from off Denman Island, particularly when towing a trailer. The cost for transporting a truck and trailer over 20 ft. in length is \$2 per foot, which often doubles the base price of a passenger vehicle under 20 ft. Farmers were keen to see the cost of towing a trailer reduced or eliminated for those with



Denman Island Ferry Dock

Agricultural licence plates. While some of these costs can be translated to consumers in the retail price to honour the true cost of food, many farmers are reluctant to raise their prices too high so that they can compete with other retail outlets. There was a strong desire amongst the farming community to at least see the ferry rates consistent with unit rates charged to private vehicles.

It was also suggested that Islands Trust could lobby BC Ferries to give farmers, and those with Agricultural licence plates, particularly vehicles carrying livestock, priority boarding at the front of the line to encourage agriculture on Denman Island and the other Gulf Island communities. Currently, a reservation system is not in place on the smaller routes, which can lead to long waits with livestock in extreme weather conditions. It was suggested that Islands Trust and the Denman-Hornby Ferry Advisory Committee could open a dialogue with BC Ferries to address these concerns.

RECOMMENDATION:

4. LOBBY BC FERRIES TO SUPPORT FARMERS

Actions:

- Meet with BC Ferries to discuss fare consistency and eliminating the extra length fees for agricultural vehicles hauling trailers to reduce the financial burden.
- Meet with BC Ferries to discuss assured and priority loading for producers transporting livestock.

Desired Outcomes:

- Reduced cost for farmers on BC Ferries that encourages marketing of Denman Island farm products to a larger market and decreases the cost of transporting farm products, livestock and inputs.
- Reduced wait times for farmers transporting livestock.

A. Lobby BC Ferries to keep fares consistent and eliminate the extra length fees for farmers.							
Local Government	Farmers	Residents & Community Groups	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding Sources
Meet with BC Ferries to discuss fare consistency.	Provide support for advocacy purposes.	N/A	Denman-Hornby Ferry Advisory Committee	1-3 years	High	Low	

B. Lobby BC Ferries for assured and priority loading for producers transporting livestock.							
Local Government	Farmers	Residents & Community Groups	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding Sources
Meet with BC Ferries regarding priority boarding for producers.	Provide support for advocacy purposes.	N/A	Denman-Hornby Ferry Advisory Committee	1-3 years	High	Low	

PROCESSING AND INFRASTRUCTURE

GOALS:

- **Increase the availability of farm processing equipment and infrastructure to create value added products for sale on and off Denman Island.**
- **Increase the availability of food storage options for food items such as meat and frozen foods.**
- **Increase the accessibility of farm tools, infrastructure and inputs.**

Due to the low population base and number of farm operations on Denman Island there has been limited infrastructure for farm processing and sales. There are appropriately scaled opportunities that have been implemented in other rural communities and could be investigated for implementation on Denman Island. The HDPGA has been working hard to find processing and infrastructure options for local farmers on both Denman and Hornby Islands. In 2011, the HDGPA purchased a small-scale juice press and grinder, as well as a chicken plucker that they rent out to local farmers. They are further working to increase their supply of farm equipment and have this available to those who need it.

Even though some efforts have been made to fill gaps in farm infrastructure on Denman Island farmers are still severely limited in both processing and storage facilities. In order to process tree fruits into juice or cider for sale, growers must have access to equipment that can press, pasteurize and bottle their products in a licensed facility. Currently, some farmers need to send their raw products off Denman Island for processing and sale.

FARM PROCESSING EQUIPMENT



Abundant Fruit Trees on the Island Provide Products for Processing

Since agriculture and food processing are permitted uses in R1, R2, R3 and A zones, it would be possible for a farmers' cooperative to collectively establish processing facilities on private land (Islands Trust, 2008b). One example of this is the Wild Islands Food Co-operative on Malcolm Island formed by residents of Sointula and the Sointula Co-op Association. The food processing cooperative was "designed to create an infrastructure that will provide support for new entrepreneurs and existing businesses to add value to local resources" (UVic, 2000). Through funding from the Job Creation Program (JCP), the Community Economic Adjustment Initiative (CEAI) and member shares they were able to renovate an existing building to provide federally approved processing facilities. This could be a possibility on

Denman Island in the long term with sufficient funds for the initial capital investment. Denman WORKS! could provide support for this initiative by helping to source funds through grants and donations. Farm processing equipment such as an industrial juicing press, pasteurization equipment, honey separator, egg grader, maple syrup evaporator and a mobile abattoir were identified as important infrastructure needs for Denman Island. A mobile abattoir was highlighted as an important component of livestock agriculture. Mobile abattoirs allow animals to be slaughtered close to the farm, which minimizes stress to the animals caused by transporting them off of the island.

FOOD STORAGE

Another concern raised by the Denman Island community was the lack of large-scale storage options for food. One local restaurant suggested that they are unable to purchase large quantities of meat from local farmers because they have no location to store this meat on their premises. A central storage facility with a freezer, cooler, warehouse and sorting area would be highly beneficial and well-utilized. These facilities could be placed in the same location as the potential processing centre, but short term solutions would be beneficial for both farmers and restaurant owners.

FOOD AND FARMING TOOLS AND INFRASTRUCTURE

Other farming tools, resources and infrastructure were identified as missing on Denman Island. Farming tools and inputs such as a spader, fencing supplies, soil amendments, livestock feed and seeds cannot be sourced on the island and need to be purchased on Vancouver Island. Also, infrastructure such as greenhouses, nurseries, composting facilities, a large animal vet and laboratory facilities were mentioned as potential ways to support farming. These might not be appropriate in a region the size of Denman Island, but could be explored as options. Furthermore, participants in the Community Forum suggested that a local brew pub would be a great place to showcase some Denman Island products and attract tourists.



Vintage Farm Equipment at Westisle Farms

RECOMMENDATION:

5. ESTABLISH FACILITIES TO SUPPORT PROCESSING AND STORAGE OF FARM PRODUCTS

Actions:

- Encourage the development of processing, warehousing and distribution facilities for local agriculture.
- Seek funding support through Denman WORKS! for a processing centre and explore options.
- Seek out existing infrastructure for storage of farm products.
- Coordinate with farmers to purchase and house necessary infrastructure such as greenhouses, additional nurseries and composting facilities.
- Investigate lending institutions and utilize financially supportive tools (loans, credits) for agricultural innovators.
- Support initiatives to attract local and/or regional appropriately-scaled processing activity, such as canning operations, wineries, breweries, cheeseries and small-scale freezing/dehydrating operations.
- Partner with the Vancouver Island Health Authority (VIHA) to advertise and provide food safety training to local producers/processors.
- Engage the ALC and Ministry of Agriculture in discussions regarding regulations related to on-farm processing.

Desired Outcomes:

- Farmers are able to store products to be sold at a later date and lengthen the growing season.
- Connections with other processors and organizations that can provide technical and educational support have been established.
- Farmers have access to equipment to produce value-added products and store existing products to increase farm profits.
- New processed products made with local farm products have been created for sale to local businesses on and off the island.

A. Enable establishment of processing, warehousing, and distribution facilities for local agriculture.									
Local	Farmers	Residents	&	Other	Key	Timeframe	Priority	Funding	Potential

Government		Community Groups	Players			Requirements	Funding Sources
Work with farmers to identify target locations.	Work with the LTC to identify appropriate areas.	Support the establishment of facilities.	HDGPA	1-5 years	Medium	Moderate	IAF
Ensure supportive zoning and land use designations are in place.	Consider creating appropriate facilities on farm properties or elsewhere.		Small Scale Food Processors Association (SSFPA)				Private Sector
Amend Land Use Bylaw to allow Temporary Use Permits for facilities (see #13).			Denman WORKS!				Growing Forward
							Denman WORKS!

B. Seek funding support through Denman WORKS! for a processing centre.							
Local Government	Farmers	Residents & Community Groups	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding Sources
Work with farmers to identify target locations for a processing centre.	Work with the LTC to identify an appropriate location for a processing centre.	Support the establishment of a processing centre.	Denman WORKS!	1-5 years	High	High	Denman WORKS!
	Apply for funding.		HDGPA				

C. Seek out existing infrastructure for storage.							
Local	Farmers	Residents &	Other Key	Timeframe	Priority	Funding	Potential

Government		Community Groups	Players			Requirements	Funding Sources
N/A	Investigate options for food storage facilities, greenhouses, nurseries & composting on farms and in existing buildings.	Offer available infrastructure for farming infrastructure purposes if available.	HDGPA	1-3 years	High	Low	

D. Coordinate to purchase and house infrastructure such as greenhouses, nurseries and composting facilities.							
Local Government	Farmers	Residents & Community Groups	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding Sources
N/A	Cooperate to purchase scale-appropriate infrastructure.	Support new facilities.	HDGPA Denman WORKS!	1-3 years	High	High	Denman WORKS!

E. Investigate lending institutions and utilize financial tools.							
Local Government	Farmers	Residents & Community Groups	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding Sources
N/A	Look into and utilize financial tools.	N/A	HDGPA	1-3 years	High	Existing	

F. Support initiatives to attract local and/or regional appropriately-scaled processing activity.							
Local Government	Farmers	Residents & Community Groups	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding Sources
Work with CVEDS and BC Tourism to encourage local and/or regional processing activity.	Encourage local and/or regional processing activity.	N/A	CVEDS SSFPA BC Tourism	Ongoing	Medium	Moderate	Growing Forward IAF

G. Partner with the Vancouver Island Health Authority (VIHA) to advertise and provide food safety training.							
Local	Farmers	Residents &	Other Key	Timeframe	Priority	Funding	Potential

Government		Community Groups	Players			Requirements	Funding Sources
N/A	Work with VIHA to offer food safety training for local producers.	N/A	VIHA AGRI HDGPA	1-3 years	High	Moderate	VIHA AGRI

H. Engage the ALC and AGRI in discussions regarding regulations related to on-farm processing.							
Local Government	Farmers	Residents & Community Groups	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding Sources
Ensure Zoning Bylaw and OCP are updated to harmonize with provincial regulations regarding on-farm processing.	N/A	N/A	ALC AGRI	1-3 years	High	Moderate	

EDUCATION

GOALS:

- **Provide education for consumers on Denman Island so that there is a greater appreciation and support for local agriculture.**
- **Provide education and extension support for farmers on Denman Island so that they can optimize their production and increase farm profitability.**

Within the topic of education two subcategories of ideas emerged during the public consultation process. The community suggested that there could be more educational opportunities for both consumers and farmers on Denman Island.

EDUCATION FOR CONSUMERS

Many of the participants at the forum and focus group sessions felt that there could be more education on topics such as the “real cost of food”, the importance and benefits of eating locally and seasonally, and the potential contamination of bringing in plants and products from off the island (i.e. weeds, pests, diseases, etc.). Although workshops and seminars are currently offered on farming topics through various community organizations, this could be enhanced.



Community School Garden

The Denman Island Community Education Society “provides education, support and recreational services to children, youth, families and adults”. Their programs are focused on “literacy and early intervention programs for pre-school and primary children, support for teens commuting to high school, community Internet access, distance education, health and wellness education, continuing education for life-long learning, employment counselling, and recreational programs” (DICES, 2012). It was recommended through the public consultation process that agricultural education opportunities could be integrated into the school curriculum and that the current school garden could be revived and utilized.

The community school has limited and tenuous financial support and relies heavily on volunteers. Community members and farmers who are interested in the community school implementing agricultural programs could volunteer their support. BC Agriculture in the Classroom (AITC) Foundation offers a variety of resources and programs for schools to assist in integrating agriculture into their curriculum. Some of their key programs include the BC School Fruit and Vegetable Nutritional Program, Spuds in Tubs and Take a Bite of BC. AITC also offers a series of lesson plans for a variety of grade levels and could be a valuable partner for the Denman Island Community Education Society.

DICES also currently offers Community Delivered Education Programs, which could include agricultural content. Some topics that could be offered at all age levels are: food security, food sovereignty, small-scale food production, small-scale livestock husbandry (i.e. chickens, rabbits, etc.), wild food harvesting (i.e. mushroom

picking, wild plant harvesting, etc.), food preservation techniques (i.e. canning, dehydration, fermentation, etc.) and cooking classes. Many community members have expertise in these areas and instructors could be drawn from the current pool of residents. Programs that are offered outside of school hours are subscriber funded, which could also help with the ongoing costs of maintaining this service.

RECOMMENDATION:

6. INCREASE THE AVAILABILITY OF FARMING-RELATED WORKSHOPS AND COURSES

Actions:

- Enhance and increase existing food security, climate change, seed saving, food production and other workshops and courses.
- Explore management tools and programs that will support the sustainable harvesting of wild foods like honey, berries and mushrooms.

Desired Outcomes:

- Community members have developed a stronger appreciation for farming.
- Farmers have learned new farming techniques that contribute to increased farm profitability.
- Farmers are able to access new farm products that require minimal management and contribute to enhanced revenues.

A. Enhance and increase existing agricultural workshops and courses.							
Local Government	Farmers	Residents & Community Groups	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding Sources
Promote educational opportunities	Offer expertise to instruct workshops and courses. Promote educational opportunities.	Support and attend educational opportunities when offered. Promote educational opportunities. Offer expertise to instruct workshops and courses.	Denman WORKS! HDGPA Denman Island Community Education Society (DICES)	Ongoing	High – Medium	Moderate	Denman WORKS! Vancity IAF VIHA AGRI

B. Explore management tools and programs that will support the sustainable harvesting of wild foods.							
Local Government	Farmers	Residents & Community	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding

		Groups					Sources
Provide information on pertinent legislation, conservation area needs, and public areas available for wild food harvesting.	Offer expertise to instruct workshops on sustainable wild harvesting. Promote educational opportunities.	Support and attend educational opportunities when offered. Offer expertise to instruct workshops on sustainable wild harvesting.	Denman WORKS! HDGPA DICES	Ongoing	High – Medium	Moderate	Denman WORKS! IAF

RECOMMENDATION:

7. DEVELOP AND SUPPORT FARM TO SCHOOL PROGRAMMING

Actions:

- Consider implementing agricultural education within the Denman Island Community Education Society's current curriculum.
- Expand the existing school garden with support from the surrounding community.

Desired Outcomes:

- Local Denman Island school children have a stronger understanding of food and farming.
- School children develop the tools and knowledge to grow their own food and farm products.

A. Support and expand agricultural education within the DICES's current curriculum							
Local Government	Farmers	Residents & Community Groups	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding Sources
N/A	Provide expertise and offer to instruct classes.	Provide expertise and offer to instruct classes.	DICES BC Agriculture in the Classroom (AITC)	1-3 years	High	Moderate	Farm to School Program Vancity VIHA AITC (in-kind)

B. Expand the existing school garden with support from the surrounding community.							
Local	Farmers	Residents &	Other Key	Timeframe	Priority	Funding	Potential

Government		Community Groups	Players			Requirements	Funding Sources
N/A	Support the expansion of the school garden by donating plants and helping to plant and harvest.	Support the expansion of the school garden by providing volunteer labour.	DICES	1-3 years	High	Moderate	Evergreen Vancity VIHA

EDUCATION FOR FARMERS



In order to enhance profitability on farms on Denman Island, farmers who were present during the forum and focus group sessions identified an opportunity to educate and provide resources to farmers on effective crop varieties, pricing, production techniques, animal welfare concerns, climate change adaptation and navigating regulations. It was suggested that a resource library could be developed to provide support for farmers on Denman Island in addition to collaboration with the Ministry of Agriculture's Growing Forward program (see Potential Funding Sources).

A popular suggestion that was raised was the hiring of an agricultural support officer to provide extension services to local farmers on island communities and help them to navigate federal, provincial and local regulations. Agricultural support officers act as a liaison between government, health authorities and local farmers. In 2007, the Regional District of the Central Okanagan hired an Agriculture Support Officer through the regional Economic Development Office to implement their region's agricultural area plan. This officer also provides support to the residents in the community by receiving nuisance complaints and explaining regulations where necessary. Ideally the Agricultural Support Officer would be a Professional Agrologist with planning skills who could provide support in determining crop varieties that provide high economic returns, identifying appropriate production methods, recognizing strong marketing potential for various products and ascertaining effective pricing structures. An Agricultural Support Officer could be hired through the regional Economic Development Office (CVEDS) or Denman Works! to provide support for local farmers and encourage new farmers to move to the region.

Another recommendation that was presented during the forum and focus group sessions was that the community should take advantage of the agricultural expertise and knowledge existing on Denman Island. Mentoring for new and current farmers could also be developed through the HDGPA.

RECOMMENDATION:

8. EDUCATE AND SUPPORT NEW AND CURRENT FARMERS

Actions:

- Create educational opportunities for new and current farmers on Denman Island.
- Consider establishing a mentoring support system to help new and current farmers with farming questions.
- Liaise with Ministry of Agriculture staff (Farm Business Advisory Services Board) to explore information extension opportunities for farmers regarding provincial regulations. Topics could include: meat processing regulations and licensing, aquaculture, business development, farm value assessments, crop diversification, long term leases, covenants, marketing and pricing, equipment rental and sharing, pricing products appropriately, etc.

Desired Outcomes:

- Farmers learn new farming techniques and business development opportunities that contribute to increased farm profitability.
- New and current farmers are encouraged and remain on Denman Island.

A. Support and expand educational opportunities for new and current farmers							
Local Government	Farmers	Residents & Community Groups	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding Sources
Partner with AGRI to offer workshops for farmers.	Attend and support workshops when offered. Offer to instruct workshops in areas of expertise.	Attend workshops to learn about farming opportunities. Offer to instruct workshops in areas of expertise.	AGRI CVRD HDGPA	Ongoing	High – Medium	Moderate	AGRI CVRD IAF Denman WORKS!

B. Establish a mentoring support system.							
Local Government	Farmers	Residents & Community Groups	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding Sources
N/A	Consider establishing a mentoring program through the HDGPA.	N/A	HDGPA	Ongoing	Medium	Low	

C. Connect with AGRI education opportunities							
Local Government	Farmers	Residents & Community	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding

		Groups					Sources
Work with AGRI to offer education on BC regulations.	Attend and support workshops when offered.	N/A	HDGPA AGRI	Ongoing	Medium	Moderate	AGRI

REGULATORY FRAMEWORK

GOALS:

- Further preserve and protect agricultural land by implementing local government tools, updating the Land Use Bylaw and amending the OCP.
- Provide an opportunity for farmers to house seasonal farm workers through camping or secondary dwellings when appropriate.
- Investigate opportunities for scale-appropriate processing and sales of eggs, meat and milk on and off Denman Island.
- Increase the likelihood of farms obtaining farm tax status.

Agriculture in Canada is governed by several levels of government and associated municipal, provincial and federal policies. Due to their interrelationships, these regulations can be confusing and overwhelming. Many community members on Denman Island are unclear on how and what regulations affect agriculture in this region. An explanation of the role of Federal, Provincial and Local agencies that govern agriculture in BC can be found in the *Denman Island Agriculture Strategy*.

Through consultation with the farming and residential community on Denman Island it was determined that there were a number of regulatory barriers that had an effect on farming. Some of these regulations were discovered at the local government level with the Islands Trust, while others existed at the Provincial level.

LOCAL GOVERNMENT ISSUES

Community members felt that these policies and regulations could be strengthened to further support agriculture and enhance the profitability of farming ventures through amendments to the OCP and updates to the Land Use Bylaw. Two main areas of concern that could be addressed by the local government are the non-farm use of agricultural land within the ALR and farm worker housing.

NON-FARM USE OF AGRICULTURAL LAND

Some concerns were raised during the public consultation process that exclusion applications for land within the ALR on Denman Island are being approved too readily. It is unclear whether or not these concerns are evidence-based or not. However, recent redesignation of ALR land into a new park was noted as an example of the alienation of ALR land on the island. The Trust Council is supportive of maintaining the ALR base, as evidenced in their policy statement (Islands Trust, 2003):



Exclusion Application Notice

- 4.1.11 Trust Council encourages the Agricultural Land Commission to approve applications from property owners for inclusion of their land with potential for agriculture in the Provincial Agricultural Land Reserve.

The Local Trust Committee has also demonstrated clear support for the ALR in the Denman Island OCP (Islands Trust, 2008a).

Objective 1: To protect the Agricultural Land Reserve

- Policy 6: The Local Trust Committee should only support an application for non-farm use or exclusion of land from the ALR if the proposed non-farm use or exclusion provides for an essential community service or amenity which cannot reasonably be located on land outside of the ALR and for which the community need clearly outweighs the loss to agriculture.
- Policy 7: The Local Trust Committee should only support an application for non-farm use or subdivision on land in the ALR if the proposed non-farm use or subdivision is consistent with zoning regulations and either:
 - o allows an activity that supplements the farm income and does not decrease the farming capability of the property; or
 - o protects the land for conservation purposes.

In addition, the Denman Island Local Trust Committee has the capacity to act as the agent of the ALC in land use decisions under the Local Government Act and can deny applications before submission to the ALC if they may result in a zoning change (ALC, 2002). A Denman Island Agricultural Advisory Planning Commission (AAPC) could be established to review incoming ALR applications and make recommendations to the Local Trust Committee. The AAPC would provide the Local Trust Committee with expertise and experience from the farming community to assist with challenging application decisions.

In addition to the ALR there are a variety of tools available to local governments to help protect agricultural land including Agricultural Enterprise Zones, Covenants, and Farmland Trusts.

Agricultural Enterprise Zones

Agricultural enterprise zones (AEZs) refer to designated areas where zoning, tax exemption and other programs stimulate select types of business activity and job creation (Curran & Stobbe, 2010). The purpose is to facilitate the co-location and land use agglomerations of agricultural services in a certain area to benefit both farms and businesses. AEZs are typically located in appropriate commercial and industrial areas outside the ALR but adjacent to farms, and provide a dedicated location for agricultural-related businesses. Incentives for the development of new enterprises such as processing facilities, product storage, and services for farm businesses are usually included. The creation of an AEZ on Denman Island could stimulate creative competition and economic knowledge spillovers that result in development of value-added products, processing technologies, intra-firm value chain collaboration, economies of scale, and cooperation in activities like marketing (Curran & Stobbe, 2010).

Covenants

A covenant is a voluntary agreement between the landowner (often a farmer or a developer) and a covenant holder (a municipality, regional district, or non-profit organization) (Curran, 2005). The landowner agrees to protect the land outlined within the covenant, while the covenant holder has the right to monitor and enforce the covenant to make sure the landowner is using the land in accordance with the covenant. Registering the covenant on the title of the land ensures that the covenant applies to future owners and endures indefinitely.

Covenants on parcels of residential land adjacent to the ALR can include buffer specifications and landscaping requirements to mitigate nuisance complaints as a result of farming activity. Covenants “run with the land,” meaning they apply to whoever owns the land, thus ensuring that edge mitigation measures endure over the long term. Covenants may contain the following provisions (Curran, 2005):

- The use of land (including that it be used for agricultural purposes), or the use of a building on or to be erected on land;
- That land is to be built on in accordance with the covenant or is not to be built on;
- That land is not to be subdivided except in accordance with the covenant or is not to be subdivided;
- That parcels of land designated in the covenant are not to be sold or otherwise transferred separately;
- That land or a specified feature be protected, maintained, enhanced, or restored in accordance with the covenant.

Covenants are often secured on land that is being subdivided adjacent to farmland to ensure that future activities and development do not hinder the productive ability of the land in the ALR (Curran, 2005). Covenants also provide notice to potential buyers that the land is adjacent to farmland, which helps prevent future conflict. Municipalities, regional districts and other organizations such as farm and conservation groups can also use covenants to restrict the use of land to activities and areas of use that respect farming. Under section 219 of the *Land Title Act*, a municipality or regional district may register a covenant on the title to land to protect specific characteristics of land in or adjacent to the ALR. Currently, one buffer covenant was required in 2010 for a subdivision in the North Denman Lands bordering the east side of the new Park Road. Covenants of this nature could be required in the subdivision regulations under the Land Use Bylaw 186.

Farmland Trusts

To further protect the ALR and farmland one suggestion we heard during the public consultation was the establishment of a Community Farmland Trust (CFT). CFTs are generally charitable, private organizations with the mandate to protect and preserve farmland (Reakes, 2007). There are a variety of different models for trusts of this nature, but non-profits are the most common. The University of Victoria (UVic) Environmental Law Centre has developed a handbook (Reakes, 2007) to provide guidance in establishing a CFT. During the forum and focus group sessions it was suggested that a percentage of the tax income from the community could be used to purchase land for farming and help to establish a CFT. This trust could be governed by an existing non-profit organization, such as the Denman Conservancy Association (DCA), or a newly formed organization whose mandate is to accept, purchase and actively manage farmland on Denman Island to ensure it is farmed into perpetuity. The DCA is a charitable conservancy empowered to hold land under the Ecological Gifts Program and as a designated party entitled to hold conservation covenants. This land could also be used to establish educational farm operations or provide low cost land to new farmers to the region.

RECOMMENDATION:

9. PROMOTE THE ACTIVE USE OF FARMLAND

Actions:

- Support the development and use of community farmland for community gardens, educational farm plots and larger parcels of land for agriculture. Support the HDGPA's current land-linking project.
- Develop a checklist for the LTC and Islands Trust staff to use when reviewing ALR applications for subdivisions, non-farm use, and exclusions as well as farm worker housing applications in consultation with the Ministry of Agriculture and the ALC.
- Create a farmland trust.

Desired Outcomes:

- Farmland within and outside the ALR has been preserved for farming activities.
- Farmers with limited capital investment opportunities have access to land for farming.
- It has been ensured that the maximum amount of farmland is in its most productive use regardless of ownership.

A. Support the development and use of community farmland.							
Local Government	Farmers	Residents & Community Groups	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding Sources
Support the HDGPA's Land Linking and Land Bank projects.	Further develop the Land Linking and Land Bank programs.	Support the use of community farmland.	HDGPA	3-5 years	Medium - Low	Significant	Leases or Licences
Ensure supportive zoning is in place.	Mentor new farmers leasing farm plots.	Participate in the community gardens and educational plots.	Denman Conservancy Association (DCA)				Membership Fees
			AGRI				Donations of land
			Linking Land and Future Farmers				

B. Develop a checklist to use when reviewing applications							
Local Government	Farmers	Residents & Community Groups	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding Sources
Develop a checklist to use when reviewing ALR and farm worker housing applications.	N/A	N/A	AGRI	1-3 years	High	Moderate	
			ALC				

C. Create a farmland trust.							
Local	Farmers	Residents &	Other Key	Timeframe	Priority	Funding	Potential

Government		Community Groups	Players			Requirements	Funding Sources
N/A	Provide land for the farmland trust. Provide donations. Become a member of the trust.	Provide land for the farmland trust. Provide donations. Become a member of the trust.	DCLTA DCA	5-10 years	Low	High	Leases or Licences Membership Fees Donations of land

RECOMMENDATION:

10. ESTABLISH AN AGRICULTURAL ADVISORY PLANNING COMMISSION

Action:

- Appoint an Agricultural Advisory Planning Commission (AAPC) that would include local farmers once the Agriculture Plan Steering Committee is dissolved.
 - o The AAPC would assist the LTC in the implementation of the Farm Plan; provide recommendations to the LTC on land use applications on ALR land such as for subdivision, non-farm use, rezoning and exclusion of land; and would provide recommendations to the LTC on any other special projects or initiatives to do with agriculture

Governance and Operation:

- The AAPC to be established as an advisory commission to the LTC. Members from the food and farming community would be appointed to sit on the AAPC with ex-officio members from the Ministry of Agriculture, Comox Valley Regional District and the Denman Island Local Trust Committee.

Desired Outcomes:

- Insight and input has been generated from local farmers on the impact of local planning on the farming community.
- The *Farm Plan* has been effectively implemented and monitored by members of the farming community.

A. Appoint an AAPC.							
Local	Farmers	Residents &	Other Key	Timeframe	Priority	Funding	Potential

Government		Community Groups	Players			Requirements	Funding Sources
Appoint members from the farming community to sit on the AAPC.	Volunteer to sit on the AAPC.	Volunteer to sit on the AAPC if appropriate.	CVRD AGRI	Short	High	Low	

FARM WORKER AND AGRITOURISM HOUSING

A major concern raised by the participants during the forum and focus group sessions was the lack of provision for housing for agritourism activities and temporary farm workers. The following are the Denman Island zoning regulations that have to do with on-site accommodation (Islands Trust, 2008b):

- Home-based guest accommodation must be contained within the principal dwelling unit, and is limited to a maximum of three bedrooms, including Bed & Breakfasts;
- Vacation rentals of less than one month, whether occasionally or on a repeated basis, are not permitted;
- Dwelling units for full-time farm workers employed on the lot are permitted in Zone "A";



Some of the farmers consulted expressed a need to house farm workers, but their property may not have been located in Zone "A", or they did not have full-time help. Furthermore, commercial campgrounds are permitted on Denman Island only within Fillongley Park (Islands Trust, 2008b). Establishing commercial campgrounds on private land is currently not permitted. Other communities have come across this issue and the Ministry of Agriculture is reviewing farm worker housing.

The ALC permits the following land uses on ALR under Section 3 (ALC, 2003):

- A. Accommodation for agritourism on a farm if
 - a. All or part of the parcel on which the accommodation is located is classified as a farm under the Assessment Act,
 - b. The accommodation is limited to 10 sleeping units in total of seasonal campsites; seasonal cabins, or short term use of bedrooms including bed and breakfast bedrooms; and
 - c. The total developed area for buildings, landscaping and access for the accommodation is less than 5% of the parcel.

There are concerns in many communities with the establishment of farm worker housing such as potential misuse for rental housing and non-farm use purposes, loss of agricultural land due to housing, increased density in the

agricultural landscape, increased demands on the infrastructure and workers coming in with no connection to the community (Hesje, 2010). For these reasons mechanisms have been identified that can be used to regulate farm worker or agritourism accommodation such as minimum lot sizes, home plate covenants (housing envelopes that protect agriculture and reduce fragmentation by keeping residential uses clustered together), thresholds of operation for crop types, statutory declarations, restrictive covenants and open communication (Hesje, 2010). In the City of Chilliwack, once per year the Registered Owner of the parcel must submit written confirmation stating that the approved user is still occupying the Temporary Accessory Dwelling. Minimum lot sizes are also common and range between 2 and 4 hectares (5 to 10 acres).

The level of farming currently on Denman Island may not meet the criteria required for approval of seasonal worker housing; however investigating opportunities for camping on farms that meet a level of production may be an option. Consultation with the farming community will help to identify the need for farm worker housing, as it is currently unknown, and identify appropriate changes to the Land Use Bylaw.

RECOMMENDATION:

11. UNDERTAKE A REVIEW OF ADDITIONAL HOUSING ON FARMLAND

ACTIONS:

- Undertake a review of additional housing on farmland (i.e. farm worker housing and agritourism accommodation) in consultation with the DCLTA and the newly established AAPC to determine the need for additional housing.
- Discuss solutions such as camping or temporary structures.
- Participate in current discussions in other island communities regarding additional housing.
- Consider the following OCP and zoning amendments:
 - o Allow secondary suites in principal single family dwellings in agricultural areas including zones A and R2.
 - o Adopt a policy that the LTC may consider zoning regulations permitting additional accommodation for farm help, provided the accommodation is necessary for farm purposes, provides cooking and washing facilities, and is temporary in nature, limited in size, and consistent with the recommendations of the Regional Agrologist. This accommodation may include, but is not limited to commercial camping facilities.
 - o Adopt a policy that agritourism accommodation may be permitted as an accommodation outside of the primary dwelling. The LTC may consider applications for rezoning or temporary use permit that would permit agritourism accommodation, provided that:
 - a) the use is accessory to working farm operations;
 - b) the use is on agriculturally designated land that is in the ALR or has farm tax status;
 - c) the application is consistent with ALC policies;
 - d) the working farm will continue in operation and will not be adversely affected;
 - e) potable water of sufficient quantity for both farming and non-farming use is available;
 - f) sewage disposal facilities are suitable;
 - g) on-site parking is adequate;
 - h) the impact of increased traffic on adjacent roadways is considered;
 - i) the environmental impact of the proposal is considered; and

j) the impact on adjacent properties is addressed.

Desired Outcomes:

- Farmers are able to accommodate and access increased farm labour, which increases farm revenues.
- Farmers have generated revenue from agritourism accommodation and farm stay options.

A. Review issues of farmworker housing, secondary suites, and agritourism accommodation							
Local Government	Farmers	Residents & Community Groups	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding Sources
Determine needs of farmers for farm workers in consultation with the AAPC. Support the DCLTA in securing affordable housing.	Provide a clear estimate of farm worker needs and timeframes.	N/A	AGRI ALC DCLTA	1-3 years (Farm Worker Housing) 3-5 years (Agritourism Accommodation)	High	Low	

B. Consider solutions such as camping or temporary structures.							
Local Government	Farmers	Residents & Community Groups	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding Sources
Consider regulations to allow temporary housing on farmland.	Participate in discussion on solutions for temporary housing.	N/A	AGRI ALC	1-3 years	High	Low	

C. Establish Islands Trust-wide approach to reviewing housing on farmland.							
Local Government	Farmers	Residents & Community Groups	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding Sources
Islands Trust to initiate with advocacy from the LTC.	Participate in advisory role.	N/A	Other Gulf Island LTCs	3-5 years	Medium	Moderate	

D. Implement updates to the Land Use Bylaw and OCP, if required							
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Local Government	Farmers	Residents & Community Groups	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding Sources
Consider amending the Land Use Bylaw and OCP to reflect the need for additional housing.	Participate in advisory role.	N/A	AGRI ALC	3-5 years	Medium	Moderate	

PROVINCIAL AND SUPPLY MANAGEMENT REGULATIONS

Many of the concerns around regulations presented at the forum and focus group sessions focused on provincial level governance. Some of these concerns included: dairy quota, egg grading, meat inspection and farm tax status. Each of these is discussed below.

DAIRY QUOTA RESTRICTIONS

A significant desire for local dairy products was evident during the forum and focus group sessions. Residents of Denman were interested in accessing locally-produced dairy products such as cow milk and cheese, but there are restrictions with dairy quota that prohibit some forms of cow dairy product production. The BC Milk Marketing Board (BCMMB) promotes, controls, and regulates the production, transportation, packing, storing and marketing of milk, fluid milk and manufactured milk products (BCMMB, 2010). The following are some of the duties and responsibilities of the BCMMB:

- Maintain a register of licensed producers;
- License all producers, vendors, producer vendors and milk transporters;
- Allot milk quota to licensed producers;
- Serve as the registrar of milk quota and administer the transfer of milk quota among licensed producers;
- Administer the timely changes to authorized, published milk prices;
- Administer the monthly producer equalization pool, including the reconciliation of milk production with reported processed industrial milk product production and fluid sales; and
- Coordinate daily on-farm milk pick-up and delivery to processors.

Quota and supply management are in place in Canada to ensure that production meets the needs of consumers and establishes production level to meet the demand (BCMPA, 2012). The cost to purchase quota is often prohibitive for most small-scale dairy operations and the available quota is largely located in the Lower Mainland of BC. A new program was established by the BCMMB called the Cottage Industry Program (CIP), which allows small producer/processor manufacturing operations to run independently so as not to jeopardize the provincial obligations to the Western Milk Pool. Quota is temporarily allocated during the start-up years and the producer is required to obtain a Class E Producer Vendor Licence. This licence comes with a number of restrictions for the producer including (BCMMB, 2010):

- The producer must not operate more than one dairy farm.

- Production volume must not exceed 4.1 kg of butterfat per day.
- The producer must be located in a Remote Region (North Vancouver Island qualifies).
- The producer must process only milk produced by that producer's own cows and only into consumer ready manufactured milk products.
- The producer is ineligible to receive milk.
- The producer cannot market fluid milk.

Little Qualicum Cheeseworks in Qualicum Beach and Moonstruck Organic Cheese Inc. on Salt Spring Island both belong to the CIP and function as small-scale independent cheese producers. They utilize the milk from their own cows to create value-added products for sale on and off the islands. The CIP could be a viable option for Denman Island under the right circumstances.

It is also important to mention that the quota restrictions only apply to cow milk and cow milk products. Sheep and goat dairies are not regulated by the BCMMB, but operations still need to be licenced by the BC Centre for Disease Control.

EGG GRADING REGULATIONS



Similar to the cow dairy quota, egg production is governed by supply management and quota restrictions. The BC Egg Marketing Board administers the national supply management system for eggs in BC and has the authority to impose and collect levies from producers (BCEMB, 2010). Due to this supply management system, and regulations outlined by the Ministry of Health, Denman Island producers are unable to sell eggs directly to local commercial businesses unless they have been graded at a registered grading station. However, individual producers can sell eggs directly to consumers from their farm gate or at a farmers market. The nearest egg grading station to Denman Island is located in Westholme on Vancouver

Island, just north of Duncan. It is very expensive to ship small quantities of eggs to this station from Denman and it would be beneficial to have a station closer, or within the Comox Valley. There are only four stations in all of BC, so it is unlikely that this will occur in the short term, but HDGPA could investigate the feasibility of purchasing a small egg grader and provide this information to the Denman Island community.

MEAT INSPECTION REGULATIONS

Participants in the focus group sessions and forum expressed concern that the meat inspection regulations have made it cost-prohibitive and logistically challenging to raise animals for meat on Denman Island. While the Canadian Food Inspection Agency (CFIA) oversees the inspection of slaughter facilities across Canada, the Provincial Meat Inspection Regulation sets out construction, inspection and other requirements for provincially licensed slaughter facilities in BC. The regulation came into force in 2004, compliance became mandatory in September of 2007 and significant changes to licence classes were made in April 2010 (BC Laws, 2004). The number of licensed slaughter plants in B.C. has increased from 12 in 2004 to 37 in 2010 (BCMHS, 2010a). In 2013

there will be a transition of responsibility for meat inspection from CFIA to the provincial governments, which may cause significant changes.

In 2009, a Meat Inspection Regulations (MIR) Transition Strategy was announced to further support operators in the transition to full licensing under the MIR. The strategy included collaboration with small rural operators to determine minimum food safety requirements and a viable licensing approach for producers in isolated areas with limited capacity to establish a fully licensed abattoir. As a part of the Transition Strategy, two new categories of licences (Class D and Class E) were introduced in April 2010 to better serve remote and rural communities (BCMHS, 2010a). Denman Island is located within the Comox Valley Regional District (island section) and small-scale producers can apply for Class E licences. Class E (Direct Sales) allows direct producer sales to consumers from the producer's farm (farm gate sales). Production is limited to 10 animal units per year (approximately 4,540 kg live weight) and the permit allows only the slaughter of the licence holder's own animals. Prior to being eligible to apply for a Class E licence, operators must complete and submit a feasibility study clearly demonstrating a lack of slaughter capacity. Applications are reviewed on a case-by-case basis and Health Canada has recently developed a Class E Feasibility Study that must be completed by all potential facilities. Producers on Denman Island can claim exceptional circumstances due to the need to travel by ferry to the closest licenced facility. Once the feasibility study has been approved potential Class E facilities must complete the SlaughterSafe training, a food safety plan, a site assessment with the local health authority and a Class D/E application form (BCMHS, 2011). Despite this change to the regulations there is no guarantee that farmers will be approved for Class E designation.

Salt Spring Island has been experiencing a similar concern. In order to deal with this issue, they investigated the possibilities of establishing a mobile abattoir on the island. In July of 2011, the Local Trust Committee approved a temporary use permit to allow construction of a mobile abattoir and cut and wrap facility (SSAA, 2012). The Salt Spring Agricultural Alliance applied for funding through the Meat Transition Assistance Program administered by the BC Small-Scale Food Processors Association (SSFPA) and were approved for \$150,000 of matching funds with a total project budget of \$350,000. The Temporary Use Permit is valid for three years and can be renewed. An option for Denman Island is to amend the Land Use Bylaw to allow for Temporary Use Permits to be issued for agricultural uses such as a mobile abattoir or other food processing. At that point, an investigation could be initiated to determine the feasibility of establishing a mobile abattoir on Denman Island for use by Hornby Island farmers as well.

SMALL FARM TAX STATUS

Concerns with the current requirements for farm status were raised repeatedly throughout the public consultation process. Currently, the Island Trust policy statement outlines the following mandate (Islands Trust, 2003):

4.1.12 Trust Council encourages the Provincial government and the British Columbia Assessment Authority to:

- o retain a separate farm class to provide significant property tax incentives;
- o ensure that the threshold for farm income necessary for farm class status is appropriate to agriculture within the Trust Area; and
- o acknowledge that the total land area subject to the farm class may include land left uncultivated.

Despite these intentions qualification for farm class is still considered unattainable for many Denman Island farmers. Under the *Standards for the Classification of Land as a Farm Regulation*, made under the *Assessment Act*, a part of a parcel of land used for (BC Assessment, 2012):

- a) primary agricultural production;
- b) purposes that contribute to primary agricultural production (e.g., irrigation);
- c) a farmer's dwelling; or
- d) the training and boarding of horses when operated in conjunction with horse rearing.

All farm structures, including the farmer's dwelling, will be classified as Class 1 - residential.

The minimum annual income for the purposes of farm class is calculated based on the farm gate prices and are calculated as follows (BC Assessment, 2012):

- a) \$10,000 on land less than 8,000 m² (2 ac);
- b) \$2,500 on land between 8,000 m² (2 ac) and 4 ha (10 ac);
- c) on land larger than 4 ha (10 ac), you must earn \$2,500 plus five per cent of the actual value of any farm land in excess of 4 ha;
- d) \$10,000, in order to qualify unused land where the area in production makes up at least 25% of the land.

Farm gate price is the dollar value received from direct farm sales, or the value of raw primary products used for processing. In terms of livestock, it is the live weight sale price, less purchase costs, not the killed or dressed price quoted by the butcher (BC Assessment, 2012). Based on farm gate prices, the average revenue in gross farm receipts per farm is estimated at \$7,351, which is less than the \$10,000 necessary for farms on land less than 2 acres. The Islands Trust could play a role by advocating BC Assessment Authority for changes in the farm tax assessment to include the sale of value-added and agritourism products in determining primary production gross income.

Since bartering is such a common practice on Denman Island, the Islands Trust could also enter into discussions with BC Assessment on ways to value bartering with the current system. Also, efforts to raise the profitability of farms on Denman Island will also help to address this concern over the long term.

RECOMMENDATION:

12. HIRE AN AGRICULTURAL ECONOMIC SUPPORT OFFICER

Action:

- Hire an Agricultural Economic Support Officer to represent farmers; provide extension opportunities; interpret regulations; inform farmers on crop varieties and management practices; provide marketing support and promotion of Island farm products; and encourage the province to create financial deterrents, profit recapture taxes, or penalties applied to farmland that is for sale for non-agricultural land use.

Governance:

- This could be a part-time position hired through Denman WORKS!, a regional Economic Development Office, or another economic development agency.

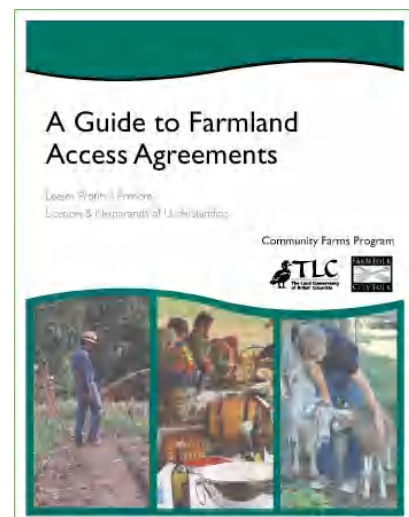
Desired Outcomes:

- Farmers are able to access information on appropriate farm practices and seed varieties that enhance revenue.
- New markets are identified for sale of Island products to further increase revenues.

A. Hire an Agricultural Economic Support Officer to represent and support farmers.							
Local Government	Farmers	Residents & Community Groups	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding Sources
Work with the Support Officer to interpret regulations for farmers.	Work with the Support Officer to advocate for farmer needs.	Determine the feasibility of hiring a part or full-time economic support officer.	Denman WORKS!	Medium	Medium	Moderate for a part-time position, Significant for a full-time position	Denman WORKS!

LAND USE, BUSINESS, AND SUCCESSION PLANNING

Many community members expressed their concerns around the need to access information on land use agreements and farm business arrangements. Land Use Agreements such as licences, leases, profit-sharing, and memorandums of understanding are generally a necessity when entering into cooperative farming arrangements or when leasing land to other farmers. These documents are often difficult to produce without the expertise of lawyers. The Ministry of Agriculture (AGRI) has created agreements in the past for use by farmers, which are currently being updated. The Land Conservancy (TLC) has also produced a publication entitled *A Guide to Farmland Access Agreements*, which can be found at http://www.farmfolkcityfolk.ca/PDFs_& Docs/CFPdocs/Farmland%20Access%20Agreement%20Guide.pdf. This publication provides sample agreements for farmers to work off and outlines the legal framework around these arrangements.



The Ministry of Agriculture also has resources on succession planning for farm families. Many organizations also offer seminars on farm succession planning. Additionally, financial institutions such as Farm Credit Canada can provide professional support for farmers looking to plan for the future.

ADDITIONAL REGULATORY RECOMMENDATIONS:

13. IMPLEMENT ZONING UPDATES THROUGH THE LAND USE BYLAW

Action:

- Update *Denman Island Land Use Bylaw No. 186 (2008)* to further support farming.
- Consider the following updates to the Land Use Bylaw:
 1. Allow Temporary Use Permits to be issued for a variety of agricultural purposes (i.e. mobile abattoir, processing facilities, etc.)
 2. Allow Temporary Use Permits to be issued for agritourism accommodation.
 3. Establish an Agricultural Enterprise Zone, outside the ALR, where comprehensive zoning could be used to encourage agricultural related businesses and services, including support services and value-added production. This Zone could include light industrial or commercial agricultural businesses for processing; therefore, situation outside of the ALR is necessary to prevent development of impermeable surfaces on ALR land.
 4. Increase height provisions for silos and grain bins of up to 41 m.
 5. Improve the dissemination of information on new setback requirements as follows:
 - The front or exterior lot line setback was changed from 30m to 10m.
 - A new setback category of “edge lot line” was added, meaning a lot line that abuts another zone, and that setback is 15m.
 - The rear or side lot line that is not an edge lot line was changed from 15m to 4.5m.
 6. Off-street parking should not have to be covered by impermeable surfaces such as hard surfaces or packed gravel for direct farm sales.
 7. Consider changing the approach to minimum lot sizes in the Agriculture zone. Since the ALC does not require a minimum lot size for subdivision in the ALR, the following provision could be inserted:

Notwithstanding the minimum lot size standards and land use policies cited in the OCP or the Zoning Bylaw, the Trust may, after due consideration, not authorize an application to the Agricultural Land Commission if the proposed subdivision or use would have a negative impact on agricultural land or the farming community even if the proposed subdivision is consistent with these minimum lot size standards or the proposed use is consistent with existing land use policies.
 8. Regulate the conversion of farmland within and outside the ALR for non-farm uses.
 9. Include provisions that make roadside stands, small scale marketing and processing, and agricultural education and research permitted uses.
 10. Create an amendment to allow a produce stand and/or farmers market to be established in zone W2 at the Denman Community Dock site.

Desired Outcomes:

- Farmers have been supported in making an income from agritourism activities.
- Negative impacts from road construction on farm properties and farming have been eliminated.
- Agricultural operations experience minimal negative impacts by development in surrounding areas.

A. Update Denman Island Land Use Bylaw No. 186 to further support farming and the *Denman Island Farm Plan*.

Local Government	Farmers	Residents & Community Groups	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding Sources
Implement Land Use Bylaw updates.	Review updated Land Use Bylaw.	Review updated Land Use Bylaw.	AGRI ALC AAPC	1-3 years	High	Low	

14. AMEND THE OFFICIAL COMMUNITY PLAN

Action:

- Amend the *Denman Island Bylaw No. 185* (Official Community Plan) to further support farming.
- Consider the following amendments to the Official Community Plan:
 1. Elaborate on the current OCP policy 1 under E.4 Resources stating “In the Sustainable Resource designation: the principal uses should be agriculture and silviculture...” to include a general statement that further recognizes agriculture as the priority use for ALR and other agriculturally designed lands such as:

All uses and subdivision of Agricultural Land Reserve land, shall be in accordance with the provisions of the Agricultural Land Commission Act, regulations thereto or Orders and Policies of the Agricultural Land Commission.
 2. Review the definition of agriculture with a view to amending it to reflect the definition of “farm operation” in the *Farm Practices Protection (Right to Farm) Act*.
 3. Include road side farm stands as an allowable structure in setback areas.
 4. Include a policy that discourages the creation of panhandle lots within the ALR because of the withdrawal of land from farm production for a driveway area.
 5. Adopt a policy to support proposals for consolidation of two or more agricultural lots into a single larger parcel which may be more viable for agricultural purposes and will contribute to conserving the long-term agricultural character of the community.
 6. Include provisions for the separation and buffering of trails from adjoining agricultural areas and for early consultation with affected landowners. Roads and corridor routes, including recreational trail systems through the ALR require ALC approval.
 7. The LTC could consider adopting “no net loss” policies to farmland quality and quantity where proposed exclusions would have to be matched by inclusions of a similar or larger sized property located specifically on Denman Island with a similar or greater agricultural potential.
 8. Review DPAs and amend where necessary to ensure that agricultural uses in the ALR are not effectively prohibited as a consequence of protecting other values.
 9. Improve the dissemination of information on new Seasonally-Flooded Agricultural Fields (SFAF) policies in the Denman Island Land Use Bylaw, 2008, Bylaw No. 195, Amendment No 1. 2010.
 10. Conduct a review of the existing OCP policies regarding non-farm use and subdivisions within the ALR with a view to clarifying and strengthening the intent of the policies in order to enable staff and trustees to better evaluate each proposal against the agricultural goals of the community.
 11. Establish a policy to support alternative land tenure agreements on farmland such as leasehold subdivisions for producers who wish to lease their land for longer than 3 years.

Desired Outcomes:

- Farming in the region has been enhanced and farmland has been protected from nuisance complaints.
- Farmland has been protected from negative impacts from neighbouring properties.
- Subdivision of farmland and land adjacent to farmland has been discouraged.

A. Amend the Denman Island Bylaw No. 185 (Official Community Plan) to further support farming and the Denman Island Farm Plan.							
Local Government	Farmers	Residents & Community Groups	Other Key Players	Timeframe	Priority	Funding Requirements	Potential Funding Sources
Implement OCP amendments	Review updated OCP.	Review updated OCP.	AGRI ALC AAPC	1-3 years	High	Low	

MONITORING AND EVALUATION STRATEGY

A total of 14 recommendations have been offered to enhance and preserve farming on Denman Island with some suggestions for key players and possible funding sources to support the implementation of each recommendation. The bulk of the implementation has been assigned to local government staff and the Agriculture Advisory Planning Commission (AAPC), but expertise to contribute to the plan is available in the community. Since the AAPC will likely be preoccupied with establishing their new terms of reference and working on projects assigned by the Local Trust Committee, it is important to identify an Implementation Body to guide the monitoring and evaluation strategy of the plan. Key functions of this Implementation Body could be to:

- Determine membership and mandate;
- Develop an initial work plan to carry out the recommendations;
- Assist with coordinating key players and community members;
- Identify additional sources of funding not presented in this plan and guide fundraising;
- Advertise the plan to the Denman Island Community;
- Monitor the progress of the plan and deliver evaluation reports; and
- Review and revise the work plan on an annual basis or as needed.

The Implementation Body could be developed with some of the key players from the existing Agriculture Plan Steering Committee and a newly formed Agricultural Advisory Planning Commission. Many of the actions put forth in the Farm Plan require human and financial resources beyond the scope and capability of the Local Trust Committee. Therefore, the role of implementing and monitoring the plan should be a shared responsibility. This Implementation Body should consist of approximately 8 to 10 members from the following groups:

- Islands Trust;
- Denman Island Local Trust Committee;
- Denman WORKS!;
- Denman Conservancy Association (DCA);
- Denman Island Residents' Association (DIRA);
- Ministry of Agriculture;
- Hornby/Denman Growers and Producers Alliance; and
- Other representatives, as required.

The first role of the Implementation Body would be to create a work plan for the high priority recommendations and actions, ideally within six months of the approval of the Farm Plan. It is recommended that the work plan span a two-year period (to address all High Priority Short-Term recommendations) and identify necessary resources. At the end of each year the Implementation Body could provide an annual report to the Local Trust Committee that indicates the status and progress of the implementation plan.

To help guide the work of the Implementation Body a monitoring and evaluation strategy has been developed with measurable indicators of success. The Investment Agriculture Foundation (IAF), the major funding agency for agriculture plans and strategies in BC, requires methods of tracking projects to justify ongoing funding support. A series of short and long term performance indicators have been identified to help determine the progress of the Farm Plan.

Short term performance indicators include:

- Creation of an Implementation Body to implement the *Denman Island Farm Plan*
- Adoption of the *Denman Island Farm Plan* by the Denman Island Local Trust Committee
- Establishment of an Agricultural Advisory Planning Commission
- Amendments to the *Denman Island Bylaw No. 185 (2008) Official Community Plan (OCP)*
- Updates to the *Denman Island Land Use Bylaw No. 186 (2008)*
- Update Land Use Inventory maps and refine them for future use

Long term performance indicators include:

- Use of the *Denman Island Farm Plan* to guide local land-use decisions
- Increased processing facilities on Denman Island
- Preservation and enhanced use of farmland within and outside of the ALR
- Enhanced farm profitability through new marketing opportunities
- Increased cooperation and support amongst farmers
- Increased consumption of locally-produced food and farm products by Denman Island residents
- Recognition and support for local farming by the Denman Island community

Further measurable indicators of success can be offered for the long term performance indicators. An evaluation mechanism for each indicator has been proposed to help guide the process in future years.

PERFORMANCE INDICATOR	MEASURABLE INDICATORS OF SUCCESS	EVALUATION MECHANISM
Use of the <i>Denman Island Farm Plan</i> to guide local land-use decisions	• Amendments suggested in the Farm Plan have been applied to the Denman Island Bylaw No. 185 (Official Community Plan). • Updates suggested in the Farm Plan have been applied to the Denman Island Land Use Bylaw No. 186.	• Review the OCP to ensure inclusion of suggestions by 2015. • Review the Land Use Bylaw to ensure inclusion of suggestions by 2015.
Increased processing facilities on Denman Island	• Number of products grown and processed on Denman Island has increased. • Warehousing options for storage of farm products has increased.	• Track the number of processing facilities available on Denman Island. • Track the number and type of value-added food and farm products created on Denman Island.
Preservation and enhanced use of farmland within and outside of the ALR	• The number of hectares has been maintained or increased in the ALR. • Total farm area has increased. • Number and diversity of farms have increased. • Availability of farm products has been diversified and increased in number. • The number of alternative land use agreements has increased.	• Use the Farm Plan Land Use Inventory as a benchmark for level of production and total farm area. • Conduct another land use inventory in 2017. • Conduct another survey of producers in 2017 to determine farm area, level of production and land use agreements.

PERFORMANCE INDICATOR	MEASURABLE INDICATORS OF SUCCESS	EVALUATION MECHANISM
Enhanced farm profitability through new marketing opportunities	• Revenue per farm and per acre has increased. • Number and type of markets for sale of agricultural products has increased.	• Survey producers to determine an increase in sales and revenue in 2017. • Use the Farm Plan as a benchmark of roadside retail sales and on-farm marketing opportunities for farm products. • Conduct a survey of marketing opportunities in 2017 to gauge progress.
Increased cooperation and support amongst farmers	• Cooperation in marketing, selling and pricing products has increased. • Joint purchasing of inputs amongst farmers has increased. • Ability of local restaurants, cafes, and bistros to easily acquire local ingredients has increased.	• Survey producers in 2017 to determine level of cooperation.
Recognition and support for local farming by the Denman Island community	• Sales of local farm products by Denman Island residents and local businesses have increased. • Central year-round farmers market location has been established. • The Local Food Directory has been updated with a map and online content	• Survey of consumers on Denman Island to determine support of local agriculture and level of sales in 2017. • Evidence of an online Local Food Directory that is easily accessible through search engines.

POTENTIAL FUNDING SOURCES

In order to implement the 14 recommendations presented above, funding will need to be sourced. While some funding may be generated through the Islands Trust, outside sources of funding have been identified to support specific initiatives within the implementation plan as noted above. The Islands Trust has a staff member that is available to search out and apply for grants on behalf of Local Trust Committees (LTC) or the Trust as a whole. Projects that are initiated by the LTC or in partnership with community groups are eligible for assistance. More detail on other specific funding programs is provided below.

COMOX VALLEY REGIONAL DISTRICT – GRANTS-IN-AID

As Denman Island is within the Comox Valley Regional District (CVRD), organizations are eligible to apply for the CVRD's Grants-in-Aid program. Funding for these grants is derived from the tax income generated by the regional district and applications are reviewed on an annual basis. Criteria for funding is as follows:

- There must be a demonstrated need for the service/project within the community and the organization must demonstrate a financial need;
- Grants must not be provided to an "industrial, commercial, or business undertaking";
- The grant does not subsidize activities that are the responsibility of senior governments;
- Grants should not be made to other local governments; and
- Grants should not be used to augment tax funded functions (i.e. volunteer fire departments, community halls, etc.) when the grant request is for a service or item that is included in the establishment bylaw for that specific local service area.

Any non-profit organization, to which the giving of a Grant-in-Aid will benefit the entire community, may apply. More information and the application form can be found at:

http://www.comoxvalleyrd.ca/uploadedfiles/administration/grants_in_aid_guide_and_form.pdf.

COMOX VALLEY COMMUNITY FOUNDATION

The Comox Valley Community Foundation is a charitable organization that pools charitable gifts from donors to create endowment funds and uses the investment income to make grants (CVCF, 2012). The Comox Valley Community Foundation supports a wide variety of initiatives including health, education, social services to arts, culture, and the environment. The Foundation has supported a number of initiatives on Denman Island with grants of up to \$15,000. Registered charities can apply for funding for projects and activities that occur in the Comox Valley and are of direct benefit to local residents. The deadline for applications is October 15th each year. For more information please visit: <http://www.cvcfoundation.org/>.

COASTAL COMMUNITY CREDIT UNION

The Coastal Community Credit Union has donation and sponsorship options that can be accessed to support initiatives within their geographic range (CCCU, 2012). The Branch Investment Program through Coastal Community is available each year. One contribution under \$1,000 per organization can be made per budget year, which includes financial or in-kind support, to registered charities or recognized community not-for-profit groups

that provide services in the areas of arts and culture, community service, economic development, education, environment, health, sports and recreation, or youth.

The Coastal Spirit Fund is open to charities and non-profit groups looking for financial support that exceeds \$1,000. These requests are accessed once per year and are reviewed in cooperation with the Community Connection Councils in each region. More information on these funding programs can be found at:

<https://www.cccu.ca/Personal/InOurCommunities/CommunityPrograms/DonationsAndSponsorships/>

UNION BAY CREDIT UNION

The Union Bay Credit Union has been supportive of activities on Denman Island in the past. Requests for small amounts of funding can be made through their Member to Community fund (UBCU, 2009). For more information and contacts please visit: <http://www.ubcu.ca/>.

INVESTMENT AGRICULTURE FOUNDATION OF BC (IAF)

The Investment Agriculture Foundation (IAF) strategically invests federal and provincial funds to support innovative projects that benefit the agri-food industry in BC (IAF, 2012). IAF offers a wide range of funding for industry groups and municipalities in funding categories such as animal industries, plant industries, processing industries, environmental issues, emerging sectors and other. General funding is available for strategies, plans, programs and projects that push competitive boundaries and lead to sector-wide growth in various industries. Start-up funding is not available for individuals, but specific funding programs are available within each category to deal with specific industry issues and enhance the sectors. Funding programs that may be relevant to Denman Island include:

- Greenhouse Vegetable Strategic Initiative
- Tree Fruit Innovation Initiative
- Agriculture Environment and Wildlife Fund

Information on each of these initiatives can be found on the IAF website at

http://www.iafbc.ca/funding_available.

The ***Food and Beverage Processing Initiative*** is of particular interest on Denman Island to address the key issue of inadequate processing infrastructure. This initiative of the Agri-Food Future Fund has allocated \$1.5 million to assist with the development of the food, beverage and nutraceutical processing industry. Funding is available for projects that match one or more of these strategic priorities (IAF, 2012):

- Enhance the competitive position of BC food and beverage processors;
- Build BC's reputation as a leader in health and lifestyle-oriented products;
- Build business relationships and collaboration with value chain partners; and
- Enhance communications and coordination among industry stakeholders.

Another funding program that could be beneficial for Denman Island is the ***Emerging Sectors Initiative***. IAF classifies an emerging sector as those that have emerging business opportunities; leadership, vision and capacity to increase sectoral contributions to the provincial economy and provincial five-year annual average market receipts of less than \$10 million (IAF, 2012). Examples of emerging sectors include: small scale/lot agriculture, natural health products, aboriginal agriculture, agritourism and direct farm marketing, apiculture, small-scale food

processing and more. Projects that address gaps in scientific knowledge, technology adaptation and transfer, skills, business development, collaboration with partners and pre-commercialization exploration may be eligible.

Other specific funding programs pertinent to Denman Island are the ***Islands Agri-Food Initiative*** and the ***Local Government Agriculture Planning Program***. The Islands Agri-Food Initiative is available to encourage the development of a viable and sustainable agri-food sector on Vancouver Island, Powell River and the Gulf Islands. Projects must support the following strategic priorities (IAF, 2012):

- Enhance market development and promotion of the agri-food industry;
- Increase stakeholder knowledge base in areas such as communications, economic potential, statistical data, marketing and product development;
- Facilitate the development of strategic partnerships; and
- Support increased agri-food processing as a catalyst for rural community development.

The Local Government Agriculture Planning Program is available for funding to implement Agriculture Area Plans and Strategies at 50% matching costs.

GROWING FORWARD AGRICULTURAL POLICY FRAMEWORK

The Growing Forward Agricultural Policy Framework, under Agriculture and Agri-Food Canada (AAFC), is a program to increase the profitability of the agricultural sector in Canada. The three strategic outcomes that are intended through this program are (AAFC, 2011):

1. A competitive and innovative sector
2. A sector that contributes to society's priorities
3. A sector proactive in managing risks

Programs that are relevant to farmers on Denman Island are the: Agri-Environmental Risk Assessment/On-Farm Sustainable Agricultural Practices (BMPs) Program, Enterprise Infrastructure Traceability Program, Farm Business Advisory Services Program, Food Safety System Implementation (FSSI) (Processor and Producer) Programs, Community Development Program, Building Rural and Northern Partnerships Program and the Co-operative Development Initiative (AAFC, 2011).

Agri-Environmental Risk Assessment (EFPs) / On-Farm Sustainable Agricultural Practices (BMPs)

The intent of this program is to enhance environmental farm stewardship and raise awareness amongst producers. To accomplish this, a broad-based, voluntary, staged and producer driven Environmental Farm Plan (EFP) Program was developed. The first phase of this program involves the creation of a plan with a planning advisor at no cost to the producer. Once actions have been identified, some financial incentives exist for implementation of these actions. This program is administered by the BC Agricultural Research and Development Corporation (ARDCorp).

Enterprise Infrastructure Traceability Program

This program is designed to assist primary and secondary agri-food operations in BC to purchase and install traceability infrastructure/systems to demonstrate “movement of information” of their agri-food products from receiving to shipping. This program is useful for those involved in certification such as the Certified Organic or Biodynamic programs.

Farm Business Advisory Services Program

There are two tiers to this program, which provides support in increasing farm profitability. The first tier provides consulting services to develop a basic farm financial assessment at only \$100 to the producer and tier two covers 85% of the costs of consulting services for specialized business planning to adopt farm business management practices in strategies in nine management areas including: business strategy, success planning, marketing strategy, business structure, production economics, risk assessment, human resources, value-added ventures and financial management.

Food Safety System Implementation (FSSI) (Processor) Program

Administered by the BC Small-Scale Food Processor Association (SSFPA), the objective of this program is to increase the number of non-federally registered food processing operations with Hazard Analysis Critical Control Point (HACCP) food safety systems in their operations.

Food Safety System Implementation (FSSI) (Producer) Program

Administered by ARDCorp, the objective of this program is to facilitate early adoption of national On-Farm Food Safety (OFFS) systems by producers by offering financial incentives.

Community Development Program, Building Rural and Northern Partnerships

This program offers funding to assist rural and northern regions to find information and access/develop expertise, tools and processed to respond to challenges and opportunities in their regions and become more competitive through regional collaboration.

Co-operative Development Initiative

This initiative, delivered by the Government of Canada and the co-operative sector, is designed to help people develop co-ops and to research and test innovative ways of using the co-operative model. Applications are currently being accepted until September 30, 2012 and all activities must be complete by March 31, 2013.

REAL ESTATE FOUNDATION (REF)

The Real Estate Foundation of BC (REF) is a non-profit corporation that receives interest from pooled or “unassigned” trust deposits held by real estate brokers and uses the funds to support real estate related issues such as education, research, law reform and activities intended for the public or professional good including environmental issues related to land and water (REF, 2012). The mission of the Foundation is “to support sustainable real estate and land use practices for the benefit of British Columbians.” The three grants program focus areas are the Built Environment, Fresh Water Sustainability and Sustainable Food Systems, with the most effective projects leading to on-the-ground change.

The ***Sustainable Food System*** focus area involves initiatives that remove barriers or contribute to new approaches and practices in sustainable food systems in BC. These could include land use planning, policy, regulation, design, mapping and feasibility studies within the urban, peri-urban and rural areas of BC. The foundation is particularly interested in (REF, 2012):

- Integration of sustainable food systems into community planning, urban design, and neighbourhood planning;
- Regional approaches to food systems planning;

- Inter-relationships between food systems, ecosystems, natural capital, and the built environment; and
- Tools, policies, and legal mechanisms to support access to land for all activities required in a sustainable food system.

More information and past projects can be found on REF's grants website at <http://www.realestatefoundation.com/grants>.

VANCOUVER ISLAND HEALTH AUTHORITY (VIHA)

The Vancouver Island Health Authority (VIHA) provides health care to people on Vancouver Island, the islands of the Georgia Strait, and the mainland communities between Powell River and Rivers Inlet (VIHA, 2009). In partnership with the Ministry of Health, VIHA offers support for locally-based food security initiatives through the **Community Food Action Initiative (CFAI)** to increase food security for island communities. Proposals are accepted in late fall of each year for projects that contribute to (VIHA, 2009):

- Increased awareness about food security;
- Increased access to local healthy food;
- Increased food knowledge and skills;
- Increased community capacity to address local food security; and
- Increased development and use of policy that supports community food security.

Examples of past projects include community gardens, farmers' markets, community planning, support for local food production, healthy food in public buildings, capacity building activities, community food assessments and local food charters and policies. This funding could be used to raise awareness of local food on Denman Island and fund initiatives such as a community harvest gleaning program, Community Supported Agriculture (CSA) program and farm to school programming. More information can be found on the VIHA website at http://www.viha.ca/mho/food/food_security/Community+Food+Action+Initiative.htm.

VANCOUVER FOUNDATION

The Vancouver Foundation is the largest of Canada's 180 community foundations. Endowment funds are set up that can be dedicated to charitable purposes and a portion of the income generates from the fund is donated as grants to eligible charities. The Vancouver Foundation supports growth and innovation through project-based grants for new initiatives that are community self-directed and lead to measurable and sustainable impacts.

Applications must: demonstrate commitment from applicants and partner organizations, link to the organizations' mandate and strategic plan, build upon community strengths, show evidence of collaboration, funded by 50% or more from other sources, involve through affected by the proposal in the development of the proposal, and use, enhance, mobilize or expand on the skills, capacities and assets of local people and communities.

Only registered charities are eligible to apply for funding the following applicable project areas: animal welfare; arts and culture; children, youth and families; community-based health research; education; environment; health and social development; and youth philanthropy. The Vancouver Foundation has previously supported initiatives on Denman Island. For more information please visit:

<http://www.vancouverfoundation.ca/grants/index.htm>.

VANCITY CREDIT UNION

Although Vancity does not currently fund projects on Denman Island (Denman Island is outside of their geographic boundary,) the geographic range is reviewed on an ongoing basis and as requests for funding are received from other communities.

Vancity Credit Union offers a variety of funding programs for charitable, non-profit organizations. The **Community Project Grants** are offered three times per year for up to \$10,000 for projects that focus on people, planet and places. These projects must show people how to build their wealth, create a sustainable place to live or invest for positive change in the community (Vancity, 2012). Projects that allocate resources to marginalized individuals and groups and support them in decision making, program development and delivery are preferred. Grants of this nature could be used to support workshops on agricultural topics such as indigenous food sovereignty and food production and preservation skills. More information can be found at:

<https://www.vancity.com/MyCommunity/NotForProfit/Grants/CommunityProjectGrants/>.

Vancity Community Foundation, established in 1989, works towards enriching community through gathering together community resources for support of non-profit social enterprises, community owned real estate and collaborative approaches to change (Vancity, 2012):

- [Social Enterprise Development](#): Support of non-profit organizations to develop and operate social enterprises as a tool to meet a range of social, economic or environmental goals in a financially sustainable way.
- [Community Owned Real Estate](#): Investment in initiatives that house individuals and organizations, increase community ownership and assets, and build opportunities for shared spaces and resources.
- [Collaboration and networks](#): Facilitation of collective initiatives that enhance the capacity of organizations to work together towards achievement of shared goals and purposes that benefit community.

The development of agricultural social enterprises, such as food and beverage processing, could be something to investigate to further the sector on Denman Island. More information can be found here: http://vancitycommunityfoundation.ca/s/strategic_programs.asp.

Vancity also recently started a **Small Growers Loan** program. The program was established to “help stimulate a viable and sustainable local food system”. Business loans up to \$75,000 are available to small growers, who are trying to get off the ground. Small growers are characterized as:

- Farming under 50 acres in a rural or urban setting
- An individual owner, co-operative owner or leaseholder

Loan approval is based on character, farming training or experience, skills and knowledge and the potential of the business plan. More information can be found at:

<https://www.vancity.com/MyBusiness/BusinessFinancing/smallbusiness/SmallGrowersFund/>

FARM CREDIT CANADA (FCC)

Farm Credit Canada (FCC) is the leading national agricultural lender. Their mission is “to enhance rural Canada by providing specialized and personalized business and financial services and products to farming operations, including family farms, and to those businesses in rural Canada, including small and medium—sized businesses,

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that are businesses related to farming” (FCC, 2012). FCC offers financing and loans for both producers and agribusinesses, as well as start-up loans for young farmers.

FCC also offers funding for non-profit organizations for capital projects between \$5,000 and \$25,000 through the FCC AgriSpirit Fund. Past projects have included hospitals and medical centres, childcare facilities, fire and rescue equipment, playgrounds, food banks, libraries, recreation centres and community gardens (FCC, 2012). More information about this fund can be found at:

http://www.fcc-fac.ca/en/AboutUs/Responsibility/agrispiritfund_e.asp.

EVERGREEN

Evergreen was established in 1991 with the mandate to engage “Canadians in creating and sustaining dynamic outdoor spaces – in schools, communities and homes” (Evergreen, 2012). Evergreen is the leading national funder and facilitator of local, sustainable greening projects in schoolyards, parks and communities through the Toyota Evergreen Learning Grounds Grants, Evergreen Common Grounds Grants and the Walmart-Evergreen Green Grants.

The **Toyota Evergreen Learning Grounds Grants** provide funding for schools to create outdoor classrooms and food gardens. Schools can apply directly for \$500 to \$3,500 twice per year. The Denman Island Community Education Society could apply for this funding to revitalize and expand the existing school garden.

The **Walmart-Evergreen Green Grants** are available for non-profit organizations looking to employ community-based restoration and stewardship initiatives in urban and urbanizing areas such as naturalization, restoration and stewardship and community food gardens. Local Denman Island community groups could apply for funding up to \$10,000 to construct community gardens in the town centre if desired with support from the Islands Trust.

FARM TO SCHOOL (F2S) PROGRAM

The Farm to School (F2S) Salad Bar Program was originally established in BC as an initiative of the BC Healthy Living Alliance (BCHLA) and is managed and administered by the Public Health Association of BC (PHABC). The goal of the program is to connect schools with local farms to serve healthy meals in school cafeterias and classrooms. The objectives of the program are:

- To increase fruit and vegetable consumption amongst participating school aged children;
- To increase student knowledge about the local food system, local foods, and nutritional health;
- To enhance student skills in the areas of food production, processing and serving;
- To strengthen local farm, school, and aboriginal partnerships;
- To strengthen the local food economy; and
- To develop promising practice models that are self-financing, ecofriendly and have the potential to be implemented elsewhere.

The F2S Program does not offer direct financial support, they do provide numerous instructional resources on their website and support of their program staff in establishing new F2S Programs. More information on this program can be found at:

<http://www.phabc.org/modules.php?name=Farmtoschool>.

DENMAN WORKS!

Denman WORKS!'s mission is "committed to improving the socio-economic health of Denman Island by supporting community organizations whose work is compatible with that mission" (Denman WORKS!, 2012). Denman WORKS! operates as a Society under an Agreement with their funding partner, the Comox Valley Regional District to leverage the tax-funded budget to support the community of Denman Island. They offer a variety of methods of support including (Denman WORKS!, 2012):

- Community Project Grants;
- Specialist Grant Facilitators;
- One-off, small grants;
- Educational workshops;
- Informative website;
- Resource Centre and Job Board; and
- Support of Society Directors with commercial and governmental backgrounds.

Community Project Grants may be allocated towards start-up wages, supplies, materials and other expenses for non-profit organizations on Denman Island. More information can be found at:

<http://denmanworks.wordpress.com/community-grants/denman-works-community-project-grants/>.



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APPENDIX A - ABBREVIATIONS

AAPC: Agricultural Advisory Planning Commission
AAFC: Agriculture and Agri-Food Canada
AGRI: BC Ministry of Agriculture
ALC: Agricultural Land Commission
ALR: Agricultural Land Reserve
ARDCorp: Agriculture Research and Development Corporation
BCCDC: BC Centre for Disease Control
BCEMB: BC Egg Marketing Board
BCMh: BC Ministry of Health
BCMMB: BC Milk Marketing Board
BC MPA: BC Milk Producers Association
BCMoE: BC Ministry of Environment
BCMScD: Ministry of Community, Sport, and Cultural Development
CFIA: Canadian Food Inspection Agency
CLI: Canadian Land Inventory
CSA: Community Supported Agriculture
CVRD: Comox Valley Regional District
DCA: Denman Conservancy Association
DCLTA: Denman Community Land Trust Association
DFO: Fisheries and Oceans Canada
DI: Denman Island
DICES: Denman Island Community Education Society
DIRA: Denman Island Residents' Association
DPA: Development Permit Area
FIRB: Farm Industry Review Board
FPPA: Farm Practices Protection (Right to Farm) Act
HDGPA: Hornby/Denman Growers and Producers Alliance
IAF: Investment Agriculture Foundation of BC
LGA: Local Government Act
LTSA: Land Title and Survey Authority of BC
LUI: Land Use Inventory
MIR: Meat Inspection Regulation
OCP: Official Community Plan
PHSA: Provincial Health Services Authority
REDI: Renewable Energy Denman Island
REF: Real Estate Foundation
RGS: Regional Growth Strategy
RSBC: Revised Statutes of BC
SSFPA: Small Scale Food Processor Association
TDI: Transition Denman Island
VIHA: Vancouver Island Health Authority

APPENDIX B – DENMAN ISLAND SOILS INFORMATION

SURFICIAL GEOLOGY

Vancouver Island and the Gulf Islands are a mountainous landscape constructed of landforms resulting primarily from the recent glaciation, which ended 10,000 – 20,000 years ago. Consequently, soil parent materials are mainly of glacial origin and consist of tills, glaciofluvial materials, marine deposits, interglacial sediments, organic, and recent fluvial deposits (Keser and St. Pierre, 1973).

Most of Vancouver Island and many of the Gulf Islands are underlain by dark volcanic rocks (basalts etc.) consisting of small grains of minerals rich in calcium, iron, and magnesium. These rocks yield hard boulders, pebbles, and sand grains but break down through weathering and abrasion into loamy and clayey debris. Associated with the volcanic rocks are subordinate amounts of limestone, and of more resistant sedimentary rocks. Granitic rocks contain more potassium and sodium than volcanic rocks, but much less calcium, magnesium, and iron. They yield an abundance of resistant boulders and pebbles, and break down into debris of sandy texture.

Shale and sandstones are intermediate in composition between the volcanic and granitic rocks. The shales consist dominantly of silt- and clay-sized particles and readily break down into debris of loamy to clayey textures. Pebble and sand-sized pieces of shale in soil parent materials commonly disintegrate into fine material in the soil. The sandstones and conglomerates are more resistant than the shale, but much less so than the volcanic and granitic rocks. Gravel-size pieces of sandstone in soil parent materials commonly disintegrate in the soil into sand and silt.

Denman Island soil parent materials are comprised of marine, fluvial, and wind deposits (primarily on the eastern portion of the island); weak to moderately cemented moraine deposits (on the western shores of the island); colluvial sandstone deposits (running through the middle of the island); and moderately decomposed organic or peat deposits (in pockets throughout the island by existing or filled in lakes and wetlands).

SOIL TYPES

Under a given set of climatic and biologic conditions, variation of the soil from place to place is controlled by the texture and stoniness of the soil parent materials, the slope of the terrain, and drainage within the ground. Drainage is controlled in turn by the slope of the ground surface, the texture of the soil and subsoil, the permeability of the subsoil materials, and (where the subsoil is coarse-textured) the level of the groundwater table.

Soil types and soil series are categorized based on distinguishing characteristics and criteria that dictate soil management techniques. Soil classification facilitates the organization and communication of information about soils, as well as the understanding of relationships between soils and environmental factors. Differences in soils are the result of the interaction of many factors: climate, organisms, parent material, topography and time. The soil types of Denman Island are primarily comprised of Podzols and Gleysols.

Podzols: Podzols are found in forested areas on sandy glacio-fluvial deposits with high levels of annual precipitation. Typically they occur under coniferous, mixed, and deciduous forest vegetation, but may also occur under shrub and grass vegetation (AAFC, 1998). Brown Podzolic soils are characterized by a top layer that is 1 to 2 inches thick of dark grayish brown to nearly black moderately well-decomposed organic litter. The B horizon is yellowish-brown to strong brown and the color fades with depth. The parent materials are medium to medium high in base-saturation but non-calcareous. These soils are distributed over the area south of Campbell River exclusive of the Alberni Basin. The vegetation is second growth fir, hemlock, maple and red cedar. At one time there were many large fir and hemlock trees which provided excellent lumber.

Gleysols: Gleysols are poorly drained soils, which develop under wetlands or poorly-drained forest vegetation. Their colour and mottling indicate prolonged periods of intermittent or continuous saturation with water from either a high groundwater table or temporary accumulation of water above a relatively impermeable layer, or both (AAFC, 1998). The top layer is 1 to 3 inches thick, over a dark brown or black A horizon 5 to 8 inches thick. The AB horizon is 4 to 8 inches thick, very pale brown to grayish brown and frequently mottled. The B horizon is yellowish-brown to pale yellow with many brownish mottles. The whole profile is medium to highly base-saturated. These soils are distributed throughout the entire area. They have a second growth vegetation largely of red alder, willow, maple and red cedar. The understory is composed largely of shrubs and ferns.

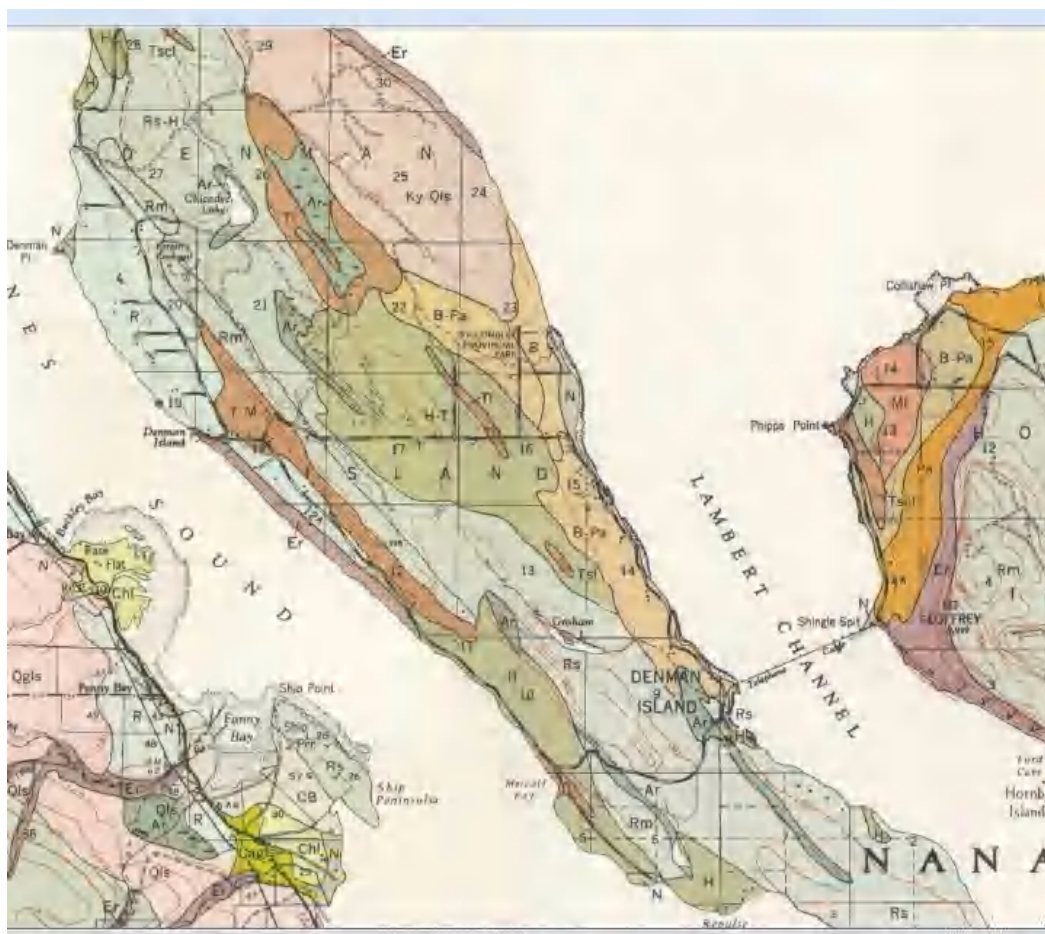


FIGURE 4. SOIL SERIES MAP OF DENMAN ISLAND (DAY ET AL., 1959)

Legend - Soil Series	
Code	Soil Series
	Ar – Arrowsmith
	B – Bowser
	Er - Eroded Land
	H – Haslam
	Ky – Kye
	M – Merville
	N – Neptune
	Pa – Parksville
	Q – Qualicum
	R – Royston
	Rm – Rough Mountainous Land
	Rs – Rough Stony Land
	T – Tolmie

TABLE 9. GEOLOGIC AND SOIL CHARACTERISTICS OF DENMAN ISLAND SOIL SERIES

Location	Soil Type	Soil Series	Soil Texture	Topography	Drainage	Notes
Surrounding Chickadee Lake, in pockets east of Chickadee Lake and west of Swan Rd., wetland areas in the southern part of the island.	Peat	Arrowsmith (Ar)	Peat	Depressional	Poorly drained.	Deep undecomposed organic material (peat), stone-free
Eastern part of the island, along Swan Rd., East Rd., Corrigan Rd., Jemima Rd., and Beaver Rd. Found mixed with Parksville Soils.	Brown Podzol	Bowser (B)	Loamy sand	Gently sloping	Imperfectly drained.	Coarse marine sediments underlain by glacial till or marine clay, stone-free.
Bluffs along western island ridges (west of Lacon Rd. and south of Denman Rd.) and north eastern ridges.		Eroded land (Er)	N/A	Very steeply sloping	Variable drainage	Escarpments, beach bluffs, etc.
Found mixed with Tolmie soils in central part of the island bisected by Denman Rd. and stretching north to end of N. Central Rd. Found also in southwestern portion of the island along Lacon Rd. between Woodham Rd. and Hilton Rd.	Brown Podzol	Haslam (H)	Shaly loam	Gently sloping to steeply sloping	Well drained	Glacial scoured consolidated shale and sandstone, few stones
Mixed with Qualicum soils in the northeastern portion of the island (east and north of Chickadee Lake).	Podzol	Kye (Ky)	Loamy sand	Level to gently sloping	Well drained	Stone free
Mixed with Tolmie soils in a narrow band running NW to SE just east of NW Rd. and Lacon Rd. from north of Piercy Rd. to Woodham Rd.	Podzol	Merville (M)	Loam	Gently sloping	Moderately well drained, saturated during winter months	Medium-fine marine sediments underlain by marine clay or glacial till
Found in small pockets along easter bluff (east of Fillongley Prov Park), at the southern end of Lacon Rd., and at Denman Point.	Rendzina	Neptune (N)	Gravelly loamy sand and sandy loam	Gently sloping	Well drained	Loose gravelly loam sand or sandy loam over gravel, sand, shells, and organic debris. Few stones.
Mixed with Bowser soils, see Bowser location description.	Dark Grey Gleysol mix	Parksville (Pa)	Sandy loam	Level	Poorly drained, receives seepage from higher elevations	Coarse marine sediments underlain by glacial till or marine clay, stone-free.

Location	Soil Type	Soil Series	Soil Texture	Topography	Drainage	Notes
Mixed with Key soils, see Kye location description.	Brown Podzol	Qualicum (Q)	Loamy sand	Level to gently sloping	Rapidly drained	Coarse permeable layer over gravelly loamy sand and gravel. Can be excessively stony.
North of the ferry terminal along east and west sides of Northwest Rd. Also in a narrow band along Lacon Rd. south of Denman Rd. intersection.	Brown Podzol	Royston (R)	Gravelly loam	Undulating to steeply sloping	Well drained	Gravelly loam with weak structure, very permeable over compact slowly permeable clay loam till.
Mixed with Rough Stony Land in the mid-western section of the island.		Rough Mountainous Land (Rm)	Variety of rocks	Mountains	Variable drainage	Very stony, mostly bare rocks.
Mixed with Rough Mountainous Land in the mid-western section of the island. Prominent in the southern tip of the island.		Rough Stony Land (Rs)	Variety of rock materials	Gently to very steeply sloping	Variable drainage	Very stony, thinly mantled bare rock.
Found surrounding Arrowsmith soils east of Chickadee Lake and mixed with Merville soils between Royston soils and rocky ridge just east of Lacon Rd. to the north and south of Denman Rd. intersection.	Dark Grey Gleysol	Tolmie (T)	Sandy clay loam	Level to depressional	Poor drainage	Medium-fine marine sediments underlain by marine clay or glacial till

AGRICULTURAL CAPABILITY OF DENMAN ISLAND SOILS

The Agriculture Capability rating system is a method designed to enable consistent and objective assessment of land based on inherent limitations for crop production (AAFC, 1998). It was developed in the 1960s as part of the Canada Land Inventory (CLI). Agriculture Capability ratings are based on soil, landscape, and climate properties, not crop yield data, and limitations may or may not be altered by management. Agriculture Capability ratings can be used to help determine appropriate crop choices, realistic target yields and assess and mitigate site-specific risks such as flooding, stoniness, steep slopes, or nutrient loss.

In this classification, mineral and organic soils are each grouped into seven classes on the basis of soil and climate characteristics according to their potential for agricultural use. Lands in Classes 1 to 4 inclusive are considered capable of sustained agricultural production of most crops. Class 5 lands are considered capable of producing forage crops or specially adapted crops. Class 6 lands are capable of providing only pasture for livestock. Class 7 lands generally are incapable of use for either crops or livestock (they are usually rocky outcrops or wetlands). However, it is important to note that many successful farms in BC are located on Class 7 soils, indicating that some crops may be suited to sites that many others are not. In particular, cranberries and vineyards can often do well in Class 6 and 7 soils. Soils labelled with the letter “O” before the class number indicate organic (peat) soils.

Unimproved ratings are based on the conditions that exist at the time of the survey, without irrigation or other management systems in place.

Improved ratings indicate the potential capability after existing limitations and/or hazards have been adequately alleviated. Improvements may include land grading, drainage, irrigation, diking, stone removal, salinity alleviation, subsoiling, and/or the addition of fertilizers or other soil amendments.

Other important assumptions that are made based on the classification system include:

- The soils will be managed and cropped under a largely mechanized system.
- Water is available for irrigation.
- The following are not considered in the classification: distance to market, available transportation facilities, labour, location, farm size, type of ownership, cultural patterns, skill or resources of individual operators, and hazard of crop damage by storms.
- The classification does not include capability ratings for trees, fruit orchards, vineyards/grapes, ornamental plants, recreation, or wildlife.

In BC, most soils were mapped for agricultural capability ratings in the 1980s, and these maps remain in use throughout the province. The associated Computer Assisted Planning, Assessment, and Map Production (CAPAMP) system (Kenk and Sondheim, 1987) has since been translated into Geographic Information System database files.

DENMAN ISLAND SOIL SERIES AND AGRICULTURAL CAPABILITY

The following descriptions are adapted from Day et al. (1959), Kenk and Sondeim (1987), and Keser and St. Pierre (1979).

Arrowsmith Soil Series

When drained, Arrowsmith peat can be cultivated for crops such as oats, hay, corn, potatoes and vegetable crops. However, this soil is difficult to bring into profitable production as clearing and improvement costs are high and drainage is expensive. The peat ranges in organic content from 94-97% and nitrogen from 1.1-1.9%. Soil reaction is extremely acidic and these soils require frequent applications of limestone. In general these soils are undesirable for agriculture.

Bowser Soil Series

Only a small percentage of this soil is cultivated and it is used mainly for hay and pasture. Seepage water maintains the subsoil in a moist condition throughout most of the year. The moisture-holding capacity is moderately low, total phosphorus is low and the exchange complex is quite unsaturated. Generally Bowser soils are moderately suited for agriculture. On Denman Island Bowser soils are found in conjunction with Tolmie soils, which elevates their agricultural capability.

Haslam Soil Series

Selected areas of this soil complex can be used for general farm crops, mainly hay and pasture. The majority of the soils, however, are not suitable for agriculture because of drought potential, low fertility, and the frequency of rock outcrops. Ultimately this soil may be utilized for agroforestry, for which it is best suited.

Kye Soil Series

Soils belonging to this series are found in conjunction with Qualicum soils on Denman Island and are considered non-agricultural. Forestry often represents their best use. Fertility is low and the soil reaction is strongly acidic. The base exchange capacity is low and the soil is very droughty.

Merville Soil Series

Merville soils occur on Denman Island in conjunction with Tolmie soils. Tree fruits, small fruits, potatoes, hay and coarse grains are often grown on Merville soils. The virgin soils are well supplied with organic matter and nitrogen, but once brought under cultivation these disappear rather rapidly. Manure supplemented by nitrogenous fertilizers is recommended. Potash, too, is recommended for forage crops and phosphates may be required for many crops. Soil reaction is strong to medium acid in the A and B horizons and the exchange complex of these horizons is strongly unsaturated. The soil moisture storage capacity is 1.4 inches in the top foot and for best results irrigation water must be provided. The non-capillary porosity and permeability of the A and B horizons are adequate to handle rainfall intensities or irrigation rates in the order of 1.5 inches per hour.

Neptune Soil Series

These soils occur in small patches, are very coarse-textured and are agriculturally of little importance on Denman Island.

Parksville Soil Series

Parksville soils occur on Denman Island mixed with Bowser soils. Parksville soils are well supplied with organic matter and nitrogen in the A horizon but the B horizons are notably nutrient deficient. The soil is saturated for much of the year and is slow to warm up in the spring. Artificial drainage is required.

Qualicum Soil Series

Soils belonging to this series are submarginal for agriculture except where they are used for specialty crops. The organic matter, nitrogen and phosphorus contents are low. The soil is infertile and cation exchange capacity is very low and the complex is strongly unsaturated. The available moisture-holding capacity of the top 12 inches is 1.1 inches while that of the top 24 inches is 3.2 inches. The soil is very porous and is not suitable for agricultural purposes unless irrigated. Cultivated areas can be used for the production of crops such as strawberries and early season vegetables. Heavy applications of composted and green manures supplemented by commercial fertilizers are often required for production.

Royston Soil Series

Royston soil clearings are small, scattered, and used mainly for hay, pasture, grain crops and vegetables. Tree fruits and berries also seem to do well. Clearing costs are high since the forests are dense and remaining tree stumps are numerous. Stones are sufficiently numerous to require removal. For forestry purposes Royston soils have a very high site index; which suggests that their ultimate use may be that of agroforestry in which selected fractions are used for agriculture and the remainder for forest use. The soil moisture-holding capacity is moderately high and about 3.9 inches can be stored in the profile. Even so, it may be desirable to irrigate crops on Royston soils during the dry summer season.

Tolmie Soil Series

Soils of the Tolmie series are used for a majority of farms on Denman Island. Potatoes, small fruits, hay and pasture are probably the most commonly cultivated crops on these soils. The A horizon of Tolmie soils are well supplied with organic matter and nitrogen and moderately supplied with total phosphorus. The cation exchange capacities are favourable and the exchange complexes are moderately well saturated. In general, these fertile soils respond well to applications of organic or non-organic fertilizers. Drainage is necessary in many areas. The moisture-holding capacity of the top 12 inches of soil is 1.9 inches, and 2.8 inches for the effective rooting zone. Irrigation is needed for maximum yields. Field tests indicate that Tolmie soils readily lose their favourable soil structure when cultivated. Effort should be made to maintain it through frequent incorporation of organic matter through tillage and other methods of incorporation.

The following table lists the improved agricultural capability ratings for all soil series found on Denman Island. In general, the soils are moderately constrained to agricultural activities but could host a greater diversity of crops than is currently being cultivated. Limitations are mainly due to excess water (winter) or seasonal drought (summer), stoniness, and topography – all of which can be managed to varying degrees depending on capital and labour inputs.

TABLE 10. AGRICULTURAL CAPABILITY RATINGS FOR DENMAN ISLAND

Location	Soil Series	Agricultural Capability: Improved Classification Numbers	Limitations
Surrounding Chickadee Lake, in pockets east of Chickadee Lake and west of Swan Rd., wetland areas in the southern part of the island.	Arrowsmith (Ar)	Very good, but peaty: O2, O3	Excess water
Eastern part of the island, along Swan Rd., East Rd., Corrigal Rd., Jemima Rd., and Beaver Rd. Found mixed with Parksville Soils.	Bowser (B)	Very Good: 2, 3	Stoniness
Bluffs along western island ridges (west of Lacon Rd. and south of Denman Rd.) and north eastern ridges.	Eroded land (Er)	Poor: 7	Topography Stoniness Fertility deficiencies
Found mixed with Tolmie soils in central part of the island bisected by Denman Rd. and stretching north to end of N. Central Rd. Found also in southwestern portion of the island along Lacon Rd. between Woodham Rd. and Hilton Rd.	Haslam (H)	Moderate: 4 Good when mixed with Tolmie soils: 2, 3	Soil moisture deficiency (seasonal) Stoniness
Mixed with Qualicum soils in the northeastern portion of the island (east and north of Chickadee Lake).	Kye (Ky)	Good: 3	Soil moisture deficiency (seasonal)
Mixed with Tolmie soils in a narrow band running NW to SE just east of NW Rd. and Lacon Rd. from north of Piercy Rd. to Woodham Rd.	Merville (M)	Very Good to Moderate: 2, 5	Topography Cumulative and minor adverse conditions
Found in small pockets along easter bluff (east of Fillongley Prov Park), at the southern end of Lacon Rd., and at Denman Point.	Neptune (N)	Moderate: 4	Fertility deficiencies
Mixed with Bowser soils, see Bowser location description.	Parksville (Pa)	Very Good:2, 3	Stoniness
Mixed with Key soils, see Kye location description.	Qualicum (Q)	Good: 3	Soil moisture deficiency (seasonal)
North of the ferry terminal along east and west sides of Northwest Rd. Also in a narrow band along Lacon Rd. south of Denman Rd. intersection.	Royston (R)	Good:2, 3	Stoniness Cumulative and minor adverse conditions
Mixed with Rough Stony Land in the mid-western section of the island.	Rough Mountainous Land (Rm)	Moderate to Poor: 4, 5, 7	Stoniness Soil moisture deficiency (seasonal) Bedrock outcroppings

Location	Soil Series	Agricultural Capability: Improved Classification Numbers	Limitations
Mixed with Rough Mountainous Land in the mid-western section of the island. Prominent in the southern tip of the island.	Rough Stony Land (Rs)	Moderate to Poor: 4, 5, 7	Stoniness Soil moisture deficiency (seasonal) Bedrock outcroppings
Found surrounding Arrowsmith soils east of Chickadee Lake and mixed with Merville soils between Royston soils and rocky ridge just east of Lacon Rd. to the north and south of Denman Rd. intersection.	Tolmie	Very Good: 2 Moderate: 5 in steep areas	Topography Cumulative and minor adverse conditions

APPENDIX C – EXISTING ORGANIZATIONS SUPPORTING FARMING ON DENMAN

Denman Island is fortunate to be home to a wide variety of organizations already working on educating and engaging the community in farming and farm activities. This list is not exhaustive, but attempts to capture a selection of the multitude of organizations on Denman Island active in supporting farming.

The **Hornby/Denman Growers and Producers Alliance (HDGPA)** was established in 2010 and is one of the most active groups engaged in farming on Denman Island. Their purpose is *"To advocate for all Hornby and Denman agricultural sectors and their offshoots, and to provide a forum for cooperation, communication and support among island growers and producers."* They have developed a number of initiatives to encourage and support food production on Denman including, but not limited to:

- Agricultural Events, such as the Gala Local Food Dinner on Hornby
- Workshops on various farming topics for both farmers and community members
- Purchase of a stainless steel juice press and grinder (looking to purchase a pasteurizer in 2012)
- Purchase of a chicken plucker
- A Denman Island Logo-Label Contest

This organization is quickly gaining momentum and providing an effective voice for farming on Denman Island.

Renewable Energy Denman Island (REDI) is "an informal gathering of residents intent on helping Denman prepare for the coming demands of Peak Oil and Climate Change." The group was assembled as a result of watching *"The Inconvenient Truth"*. Its primary purpose is public education about the twin threats of climate change and peak oil. REDI shows documentary films, offers workshops, sponsors events such as Seedy Saturday, and was responsible for publishing the Local Food Directory. REDI's purpose is *Food Security on Denman* and minimizing the carbon footprint as a community. In 2010, they linked the Denman community to the global Transition Movement and initiated various sub-committees addressing all of the main areas of concern related to climate change. Denman's Permaculture Guild is closely related to this group and focuses on engaging in agriculture and farming with the use of permaculture principles.

Transition Denman Island (TDI) developed from the connections to the global Transition Movement made by REDI in 2010. TDI's prime purpose is to make Denman a sustainable and self-sufficient community. Transition Towns/ Cities/ Islands, etc are part of a worldwide network of communities which are making a deliberate choice to work together to decrease their carbon footprints, lower their energy needs, and at the same time become locally resilient. The "transition" is from oil-dependent to locally sustainable. A number of action groups have been established including:

- | | |
|-----------------------------------|---------------------------------------|
| • Arts and Entertainment | • Heart and Soul |
| • Agriculture-Food Sustainability | • Renewable Energy |
| • Eco-Friendly Building | • Transportation |
| • Education and Reskilling | • Water Sustainability/Waste Disposal |
| • Health and Well-Being | • Other – Natural Environment |

There have also been a variety of projects initiated as part of these actions groups such as the Grow Your Own Fuel project. TDI sponsored the Summer Sustainability Festival in 2012 and the Texpo event held in 2011.

Denman Island Old School Committee is a self-supporting committee under the Denman Island Residents Association. This committee is responsible for the administration, coordination and management of the Marcus Isbister Old School Centre and has been instrumental in the development of the Saturday Farmers Market. After initial unsuccessful attempts by local farmers to establish a farmers market near the New School, the Old School Committee supported, encouraged and enabled a market to be established at the Old School where a captive audience was already in existence for the recycling centre. The market at this site has grown and flourished and become THE place to be on Saturday mornings.

Denman Island SPUDS (Sowing Potatoes Underground for Denman Sustainability) is a local organic food sustainability initiative providing islanders affordable access to land for communal potato growing. Founded in 2007, it is located on land at the Hermitage on Denman Road. Initially inspired by the Linnaea Farm potato co-op on Cortes Island, SPUDS members care for the soil collectively- sharing learning experiences along with the harvest, and building community. SPUDS models stock-free growing techniques, incorporates consensus decision making, and encourages an intergenerational membership always open to new participants.

Denman Island Veganiculture Association (DIVA) is a grassroots educational initiative (both online, and in the field) advocating for stock-free organic gardening and farming practises. Goals include, but are not limited to, 1) fostering recognition of the global need to reduce dependency on animal husbandry in recognition of the role animal agribusiness plays in exacerbating global warming, as well as resource depletion (ie, heavy water use), and 2) to promote stock-free growing methods for building/maintaining soil fertility and increasing the production of plant foods on agricultural lands for people, as opposed to livestock.

Denman Island Community Vegan Potluck Series began in the mid 90's, hosting inclusive, once monthly 100% plant-based meals for food lovers of every persuasion. The series currently operates quarterly, continuing to feature after dinner guest speakers, films, slide shows or meetings on a wide variety of topics pertaining to social justice and environmental issues including food security, animal ethics, and other agricultural matters.

The **Denman Island Garden Society** is made up of 40 members that grow vegetables and engage in horticulture. They meet once per month.

The **Denman Island Pesticide-Free Committee** is a subcommittee of the Denman Island Residents Association (DIRA). Their mandate is to "...seek information, explore options and develop a plan of action for encouraging Denman Island to be pesticide free, and promote toxic free living to the greatest extent possible. The committee shall develop a plan to provide information about pesticides and alternatives to pesticide use in the community."

The **Denman Island Seed Sanctuary** began in 2010 following a workshop with Dan Jason from Salt Spring Seeds on successful seed banks and sanctuaries. Denman focused on the term Sanctuary, as opposed to a seed bank, because the word "bank" suggests some sort of vault in which the seeds are stored for the unfortunate event in which the seed supply would need to be replenished. Members involved in the Seed Sanctuary commit to growing out various species of seeds on an annual basis to keep the seeds viable, fresh and acclimatized to a changing climate. It is made up of a group of people who have studied seed-saving together and are taking their job seriously when they promise to have enough seed of each type they save for themselves, others and future years as well.

The **Hermitage** is a small meditation centre run by the Dharma Fellowship, a Buddhist non-profit and charitable society based on Denman Island. The 60 acre property of the Hermitage was managed as a farm for many years by two of the Greenpeace founders: Jim and Marie Bohlen. The property is located within the ALR and the Society is dedicated to maintaining and increasing the farming capabilities of the land. The field nearest the road already has several partnership projects underway including SPUDS, a potato collective, and the Seniors Garden, which has accessible community garden plots available to Denman Islanders. There is also an endangered species present on the property, the Checkerspot Butterfly, which has warranted a separate small plot in the community garden to be managed for butterfly needs. The Hermitage is committed to supporting community food and farming sustainability on the island and mindful caretaking of the forests and wetlands on the property.

All of these groups have played a strong role in promoting and supporting agriculture on Denman Island and have been important sources of information for those in the community looking to learn more.

APPENDIX D – LAND USE INVENTORY MAPS

The maps on the following pages indicate location on Denman Island of farms in each category and level of production and are based solely on the LUI and survey completed by Uitto (2011), and not on Statistics Canada Agriculture Census data. Figure 5 shows the boundaries of the ALR on Denman Island. The majority of the farms on Denman are located within the ALR, but some are also found outside of this boundary in the Rural Residential zone.

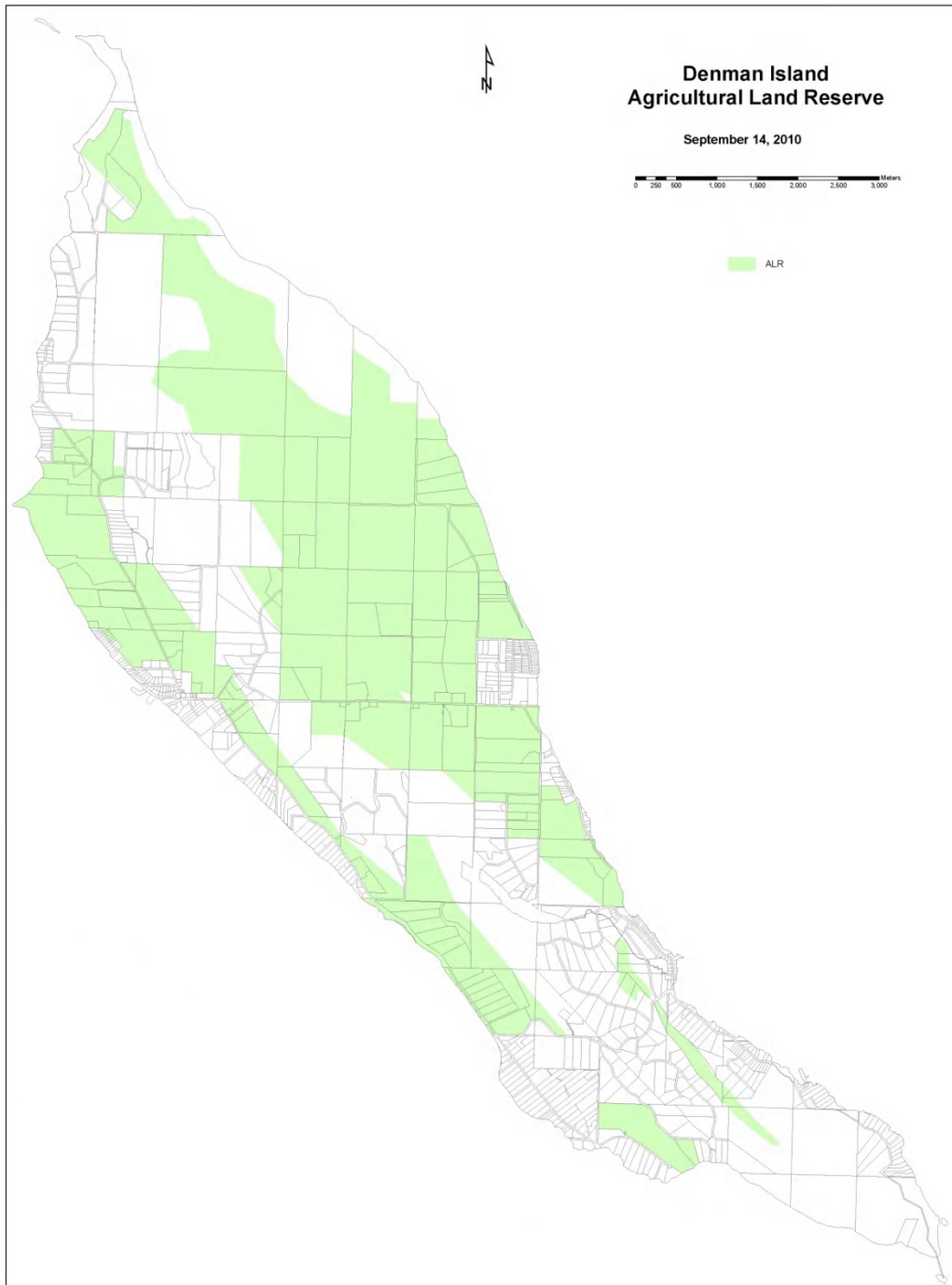


FIGURE 5. AGRICULTURAL LAND RESERVE (ALR) BOUNDARY

The largest level of production on Denman Island was in the fruit, nut, berry and grape category (Figure 6). Production of these crops is largely located on the coastal sections of the island with some production occurring outside of the ALR boundaries.

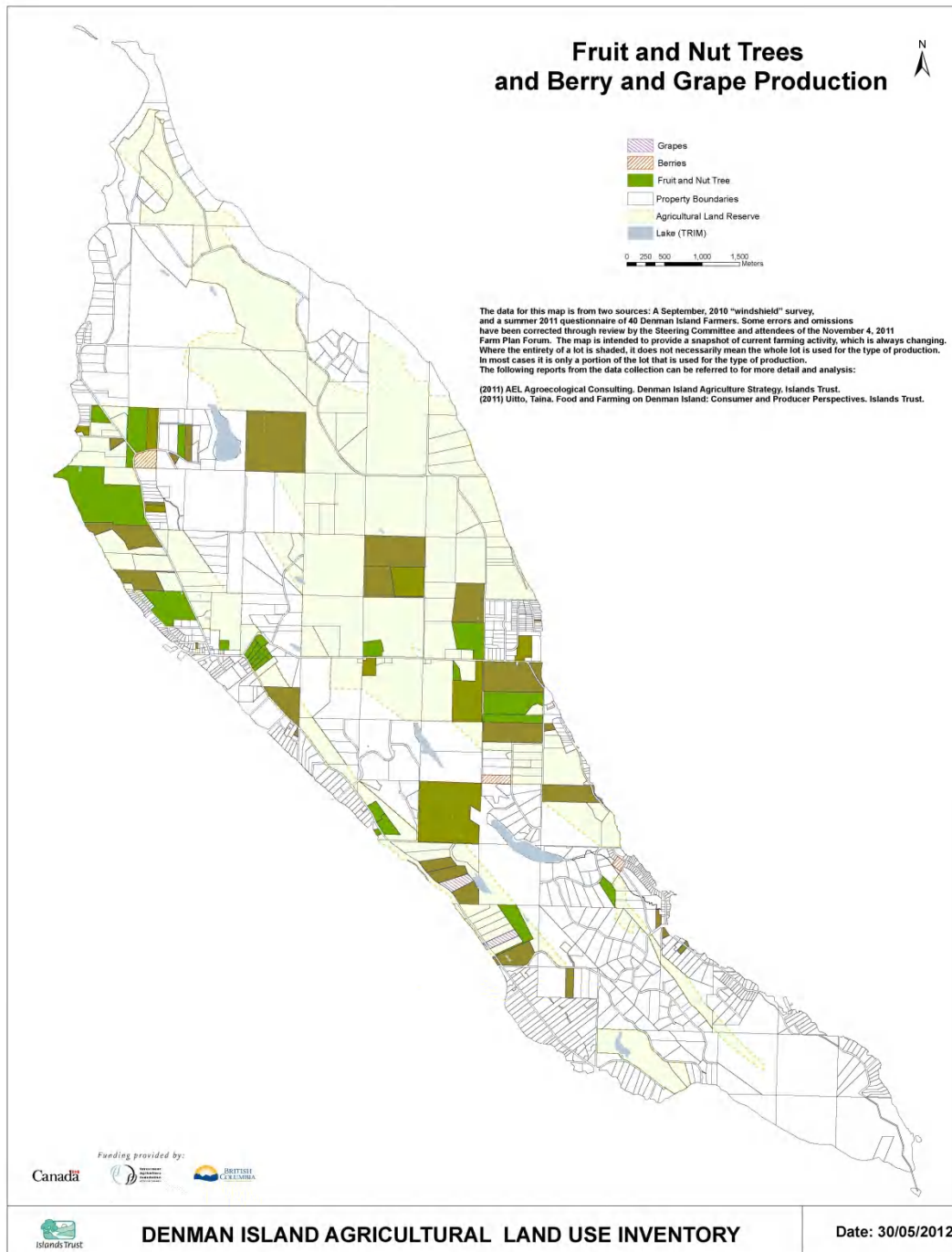


FIGURE 6. DISTRIBUTION OF FRUIT, BERRY AND NUT PRODUCTION ON DENMAN ISLAND

Vegetable, forage and grain production is significant on Denman Island. Production of these crops was largely located along the coastal sections of the island within the ALR (Figure 7).

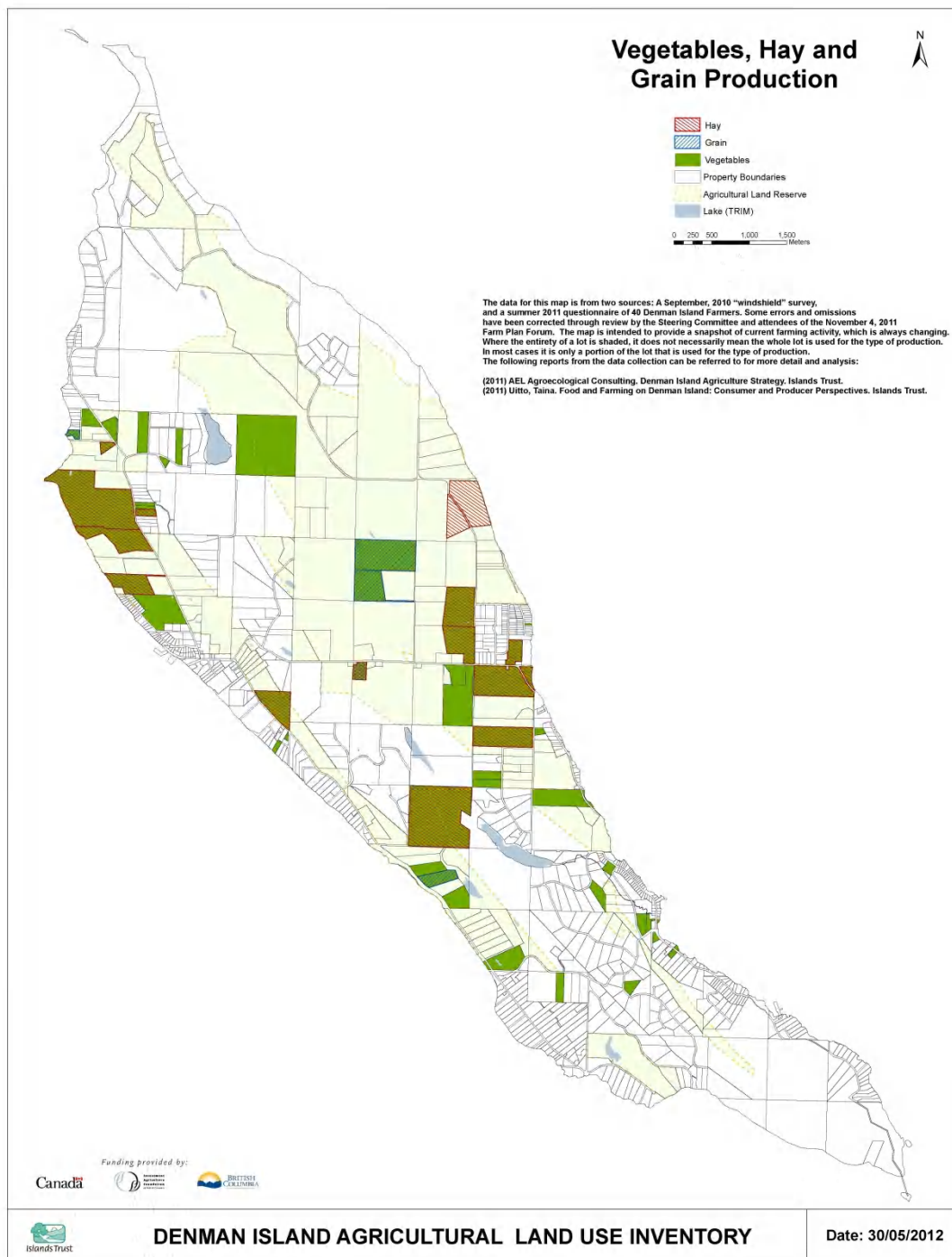


FIGURE 7. DISTRIBUTION OF FIELD CROP PRODUCTION ON DENMAN ISLAND

Livestock and poultry production is largely located within the ALR on the East and West sides of the island (Figure 8).

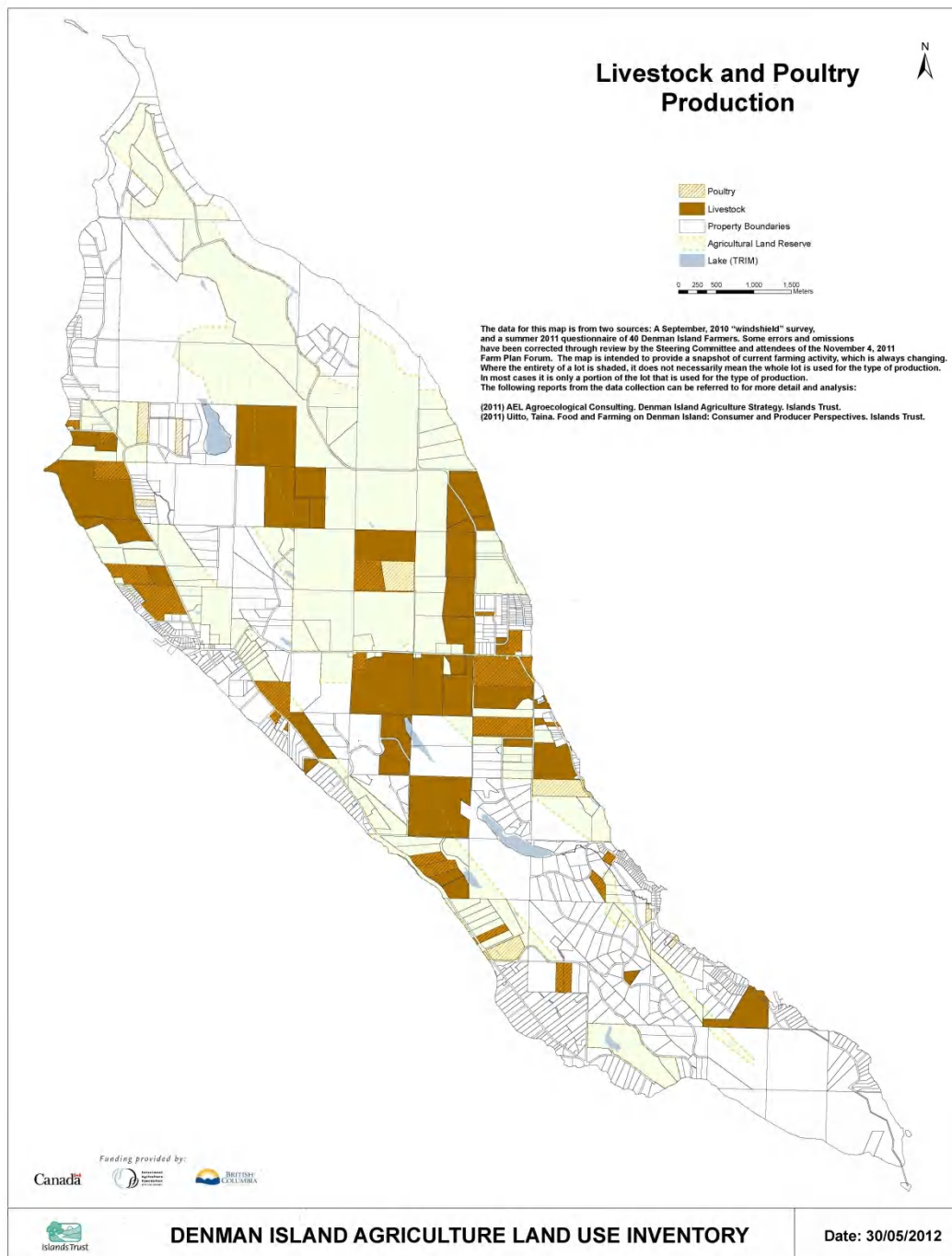


FIGURE 8. DISTRIBUTION OF LIVESTOCK AND POULTRY PRODUCTION ON DENMAN ISLAND

Some of the farms surveyed also indicated growing specialty agricultural products, such as specialty nursery crops, kiwi fruit, honeybees, tea, bamboo, fig and hop production (Figure 9).

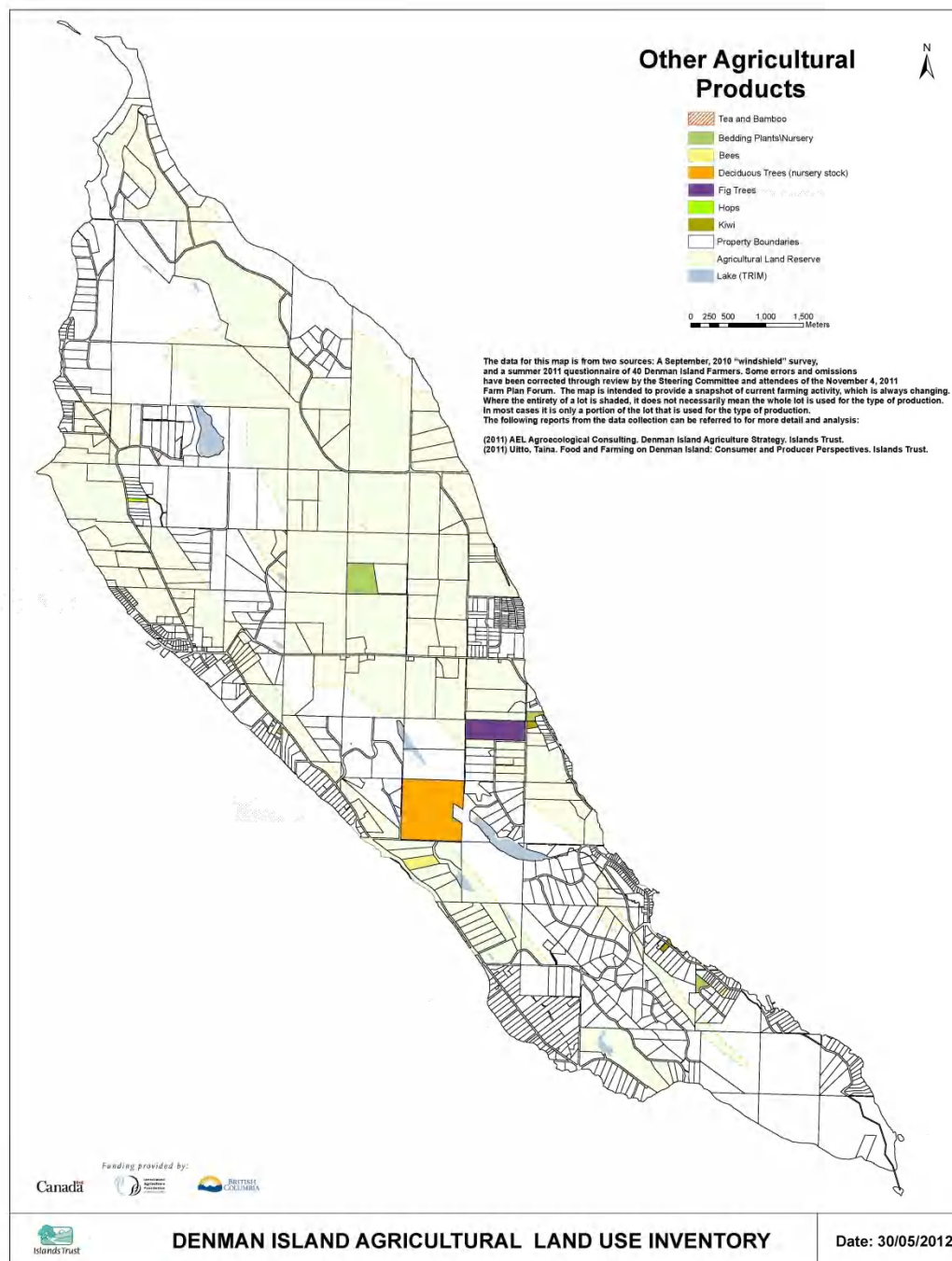


FIGURE 9. DISTRIBUTION OF OTHER AGRICULTURAL PRODUCTION ON DENMAN ISLAND

During the LUI and the survey (Uitto, 2011) a number of farms were identified that offered roadside or onsite farm gate sales (Figure 10). Sometimes these were in the form of small market store, but the majority of the sales were completed through a small stand offering produce or eggs on an honour system and no one present to accept payment. This system has been functioning very well on Denman Island and is highly appreciated by the community.

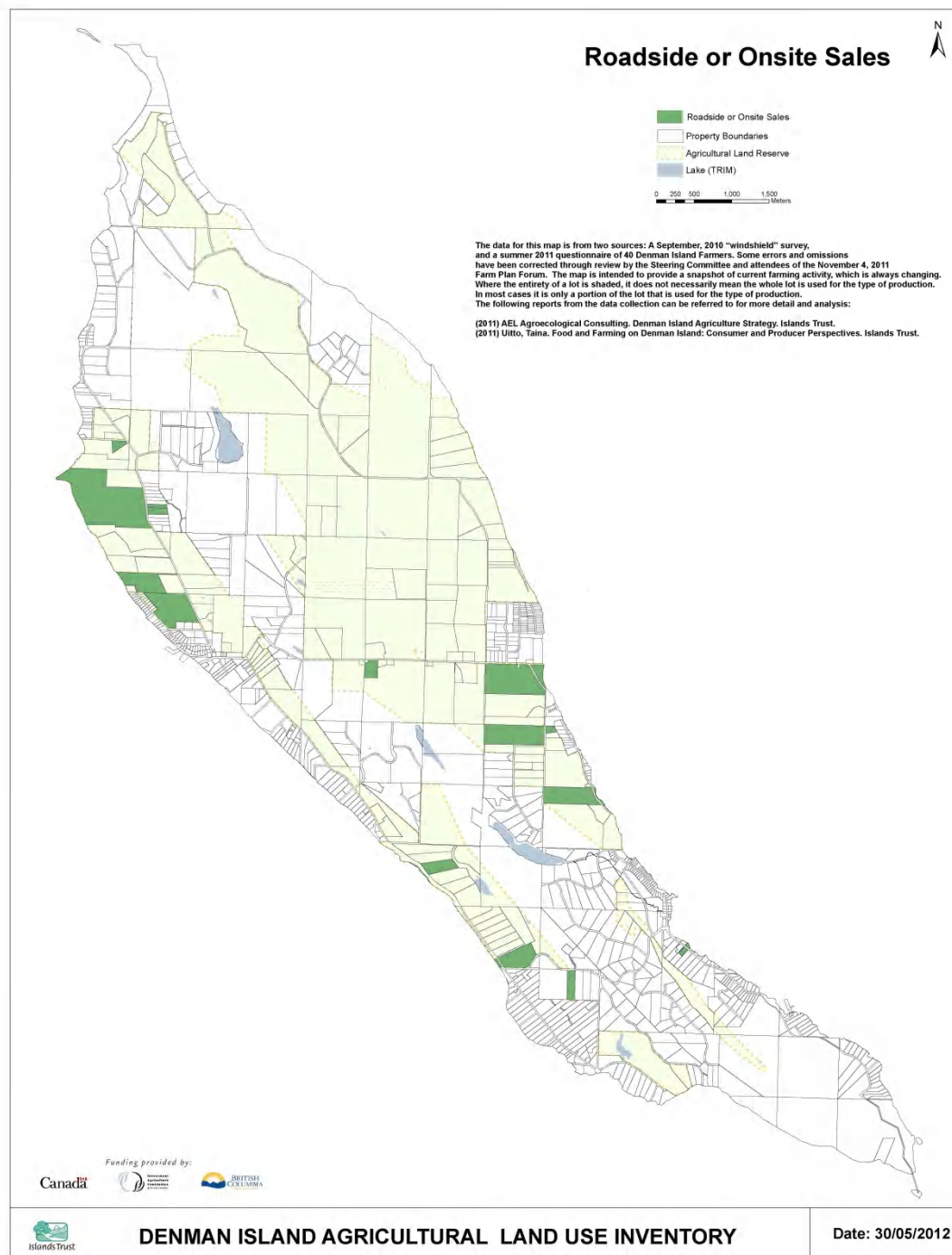


FIGURE 10. DISTRIBUTION OF ROADSIDE OR ONSITE SALES ON DENMAN ISLAND

Top Priorities

Denman Island

No.	Description	Activity	R/Initiated	Responsibility	Target Date
1	Relationship building with Komoks First Nation				
1	Implementation of Denman Island Farm Plan	Include consideration of limiting commercial agriculture and horticulture in high density small lot neighbourhoods.		Rob Milne	
2	Review of visitor accommodations regulations	Proposed focus of review is on allowing the provision of cooking facilities for guests.		Rob Milne	
4	Marine Issues		03-Mar-2015	Laura Busheikin David Critchley	

Projects

Denman Island

No.	Description	Activity	R/Initiated
1	A Protected Area Network on Denman Island		15-Mar-2011
1	Housekeeping project	1. Land Use Bylaw definition of intensive agriculture; remove "and excluding feedlots". 2. Formatting of Agriculture definition	15-Aug-2011
1	Regulations governing wind towers and Ocean Loop Geo-Exchange Systems.	Monitor recommendation from Trust Council.	15-Aug-2011
1	Regulation limiting the gross floor area of a dwelling		25-Oct-2011
1	Regulations to promote greenhouse gas emissions reduction.		25-Oct-2011
1	Review and Update of Development Procedures Bylaw No. 71		11-Dec-2012
1	Review of OCP/LUB regarding implementation of Denman Island Farm Plan and ensuring food security.	Include consideration of Exploring Food Security in the Islands Trust Area in the final report	02-Apr-2013
1	DCLTA Rural Affordable Housing Project Final Report dated June 20, 2013	Consideration of recommendations	22-Oct-2013
1	Review of LUB in consideration of the new Federal Marihuana for Medical Purposes Regulation	Review the Staff Report dated April 28, 2014.	15-Jul-2014
1	Alternative Dispute Resolution	To be considered as part of the enforcement tool kit, possibly in cooperation with the Hornby Island Local Trust Committee	26-May-2015
1	Downtown Village Neighbourhood Planning	The plan might include reduction in greenhouse gas emissions; encouragement of a healthy, sustainable economy; and addressing of water and septic concerns.	26-May-2015
1	Implementing Riparian Area Regulation		01-Dec-2015



Projects

Denman Island

No.	Description	Activity	R/Initiated
1	Review effectiveness of Secondary Suites and Cottages bylaw.		12-Jan-2016

Applications

Agricultural Land Reserve

File Number	Applicant Name	Date Received	Purpose
DE-ALR-2015.1	Denman Community Land Trust Association Planner: Rob Milne	17-Dec-2015	PID: 009-708-537 Severn - 3730 Denman Road Exclusion of 1.6ha in the ALR
Planning Status			
<u>Status Date:</u>			

Development Permit

File Number	Applicant Name	Date Received	Purpose
DE-DP-2006.2	Stoneman, Daniel/Debra Planner: Courtney Simpson	31-Aug-2006	The use of presently cleared areas within the Komas Bluff permit area for agricultural use.
Planning Status			
<u>Status Date:</u> 04-Apr-2011 No change: waiting for info from applicant.			
<u>Status Date:</u> 04-Feb-2010 No change			
<u>Status Date:</u> 01-May-2009 No change			

File Number	Applicant Name	Date Received	Purpose
DE-DP-2011.2	Day, Ella Planner: Marnie Eggen	21-Mar-2011	For barn sited within DP #1: Komas Bluff
Planning Status			
<u>Status Date:</u> 29-Jul-2013 File passed on to Bylaw enforcement			

Applications

Status Date: 05-Oct-2012

Letter sent to applicant re: further info required

Status Date: 01-Nov-2011

Awaiting info from applicant

File Number	Applicant Name	Date Received	Purpose
DE-DP-2013.1	Stoneman, Daniel & Debra	17-Jun-2013	
Planner: Courtney Simpson			

Planning Status

Status Date: 16-Jul-2013

Staff report to July 16 LTC meeting. LTC resolved to not issue permit but to amend 1999 development permit.

Status Date: 16-Jul-2013

Staff preparing development permit amendment

Status Date: 24-Jun-2013

Planner Reviewing File

File Number	Applicant Name	Date Received	Purpose
DE-DP-2015.3	Etienne Design	30-Nov-2015	PID: 028-879-465 8330 Owl Crescent Road. Proposed 2650 square foot residence.

Planner: Teresa Ritemann

Planning Status

Status Date: 06-Jan-2016

Staff conducted site visit on 5-Jan. Staff Report to be written and aim to appear on 15-Mar LTC agenda.

Status Date: 30-Nov-2015

Application received. Assigned to Planner.

File Number	Applicant Name	Date Received	Purpose
DE-DP-2015.4	DeVilliers, Etienne	17-Dec-2015	PID: 023-005-025 DPA 4 for steams, lakes and wetlands

Planner: Teresa Ritemann

Planning Status

Applications

Status Date: 06-Jan-2016

Staff conducted site visit on 5-Jan. Staff Report to be written and aim to appear on 15-Mar LTC agenda.

Status Date: 17-Dec-2015

Application received and assigned to Planner TR.

Development Variance Permit

File Number	Applicant Name	Date Received	Purpose
DE-DVP-2011.1	Day, Ella	13-May-2011	Barn on property line
Planner: Marnie Eggen			
Planning Status			
Status Date: 29-Jul-2013			
no change; file passed on to bylaw enforcement			
Status Date: 09-Nov-2012			
BCLS survey confirms barn sited on lot line; Applicant intends to apply for lot line adjustment			
Status Date: 05-Oct-2012			
Letter sent to applicant requesting further information otherwise issue will be transfered over to bylaw enforcement			

Rezoning

File Number	Applicant Name	Date Received	Purpose
DE-RZ-2015.1	Neilsen, Henning	12-Jan-1900	To change Land Use Designation of a portion of the subject property from Residential to Conservation/recreation and that portion to be transferred to Islands Trust Fund - remainder to be used for residential
Planner: Rob Milne			
Planning Status			
Status Date: 21-Apr-2015			
LTC consideration of staff report. Resolution for staff to prepare draft bylaws for May 26, 2015 LTC meeting.			

Siting and use Permit

File Number	Applicant Name	Date Received	Purpose
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**Applications**

DE-SUP-2006.7 Stoneman, 31-Aug-2006 Agricultural (including buildings consistent with ALR legislation)
Daniel/Debra
Planner: Courtney Simpson

Planning Status

Status Date: 08-Jan-2009
On hold pending outcome of court case

File Number	Applicant Name	Date Received	Purpose
DE-SUP-2009.14	Day, Jean Ella	02-Nov-2009	2900 SWAN RD

One 26 foot high barn.

Planner: Marnie Eggen

Planning Status

Status Date: 30-Jun-2011
On hold until outcome of DP and DVP.

Status Date: 03-Mar-2011
New info submitted by applicant indicates bld sited on lot line; options provided to applicant

Status Date: 20-Jan-2011
Applicant submitted partial application

File Number	Applicant Name	Date Received	Purpose
DE-SUP-2014.10	Stoneman, Daniel & Debra	29-Sep-2014	Residence, Garage, Chicken House, Beach Stairs, Woodshed

Planner: Rob Milne

Planning Status

Status Date: 03-Nov-2014
On hold pending confirmation of compliance with condtions of approval for DE-DP-2014.2

File Number	Applicant Name	Date Received	Purpose
DE-SUP-2015.9	Etienne Design	22-Oct-2015	PID: 028-879-4658330 Owl Crescent Road. Proposed 2650 square foot residence.

Planner: Teresa Rittemann

Planning Status

Applications

Status Date: 06-Jan-2016

Applicant has submitted a DP application. Staff conducted site visit on 5-Jan. Staff Report to be written and aim to appear on 15-Mar LTC agenda.

Status Date: 06-Nov-2015

Planner reviewed application and noted that a Development Permit would need to be applied for, for DPA 2 Steep Slopes. Applicant currently pursuing the DP application.

Status Date: 29-Oct-2015

File assigned to Planner TR

File Number	Applicant Name	Date Received	Purpose
DE-SUP-2016.1	Pandesign Inc.	03-Feb-2016	PID: 000-379-697 Build a 70 square metre single family residence.
Planner: Lisa Webster-Gibson			
Planning Status			
Status Date:			

Subdivision

File Number	Applicant Name	Date Received	Purpose
DE-SUB-2015.1	De Villiers & Fraser, Etienne & Louise	24-Dec-2014	2201 Tristone Road S.946 (2 lot subdivision)
Planner: Teresa Rittemann			
Planning Status			

Status Date: 06-Jan-2016

Applicant has submitted a DP application. Staff conducted site visit on 5-Jan. Staff Report to be written and aim to appear on 15-Mar LTC agenda.

Status Date: 17-Nov-2015

No change in status.

Status Date: 27-Aug-2015

No change in status. Planner TR emailed applicant on Aug 4 to check in on progress and to see if applicant had questions. No response from applicant.

File Number	Applicant Name	Date Received	Purpose
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Applications

DE-SUB-2016.1 MCKEACHIE, 01-Feb-2016 PID: 005-850-771 Proposed four lot Subdivision application

MORLEY

Planner: Rob Milne

Planning Status

Status Date:

Islands Trust
 LTC EXP SUMMARY REPORT F2016
 Invoices posted to Month ending February 2016

615 Denman	Invoices posted to Month ending February 2016	<u>Budget</u>	<u>Spent</u>	<u>Balance</u>
65000-615	LTC "Trustee Expenses"	750.00	1,176.00	-426.00
LTC Local				
65200-615	LTC - Local Exp - LTC Meeting Expenses	2,500.00	3,408.61	-908.61
65210-615	LTC - Local Exp - APC Meeting Expenses	750.00	688.29	61.71
65220-615	LTC - Local Exp - Communications	300.00	75.00	225.00
65230-615	LTC - Local Exp - Special Projects	750.00	1,420.02	-670.02
TOTAL LTC Local Expense		<u>4,300.00</u>	<u>5,591.92</u>	<u>-1,291.92</u>
Projects				
73001-615-3001	Denman RAR	2,500.00	769.10	1,730.90
73001-615-4048	Denman Memo of Understanding with K'omoks FN	2,000.00	0.00	2,000.00
TOTAL Project Expenses		<u>4,500.00</u>	<u>769.10</u>	<u>3,730.90</u>



Memorandum

700 North Road Gabriola Island, BC BC V0R 1X3

Telephone (250) 247-2063 FAX: (250) 247-7514

Toll Free via Enquiry BC in Vancouver 660-2421. Elsewhere in BC 1.800.663.7867

northinfo@islandstrust.bc.ca www.islandstrust.bc.ca

Date January 25, 2016 File Number 3030-01

To Denman Island Local Trust Committee
Gabriola Island Local Trust Committee
Gambier Island Local Trust Committee
Hornby Island Local Trust Committee
Lasqueti Island Local Trust Committee
Thetis Island Local Trust Committee
Ballenas Winchelsea Islands (Executive Committee) Local Trust Committee

From Sonja Zupanec
Island Planner
Local Planning Services

Re Land Use Consultation for Radio Communication Utilities

The Executive Committee is asking LTC's to consider the attached letter from Innovation, Science and Economic Development Canada indicating they are giving notice of rescinding the 1996 Letter of Understanding (LOU) "Land Use Consultation for Radio Communication Utilities". The LOU is included in the attachment.

As indicated in the letter, the Federal Government (Canada) has developed an antenna siting policy and a guide to assist local governments in developing antenna system siting protocols. In addition, the Federation of Canadian Municipalities has developed an Antenna system siting protocol template.

In the absence of a LOU, Canada will expect local trust committees to either develop their own consultation policy or use the consultation guidelines provided by Canada. The Gabriola LTC is the only northern LTC with a standing resolution (GB-025-2010) stipulating consultation policies for radio communication utilities.

If a local trust committee would like to have a Trust-wide consultation policy, or model policy and procedures developed by Trust Council, a resolution indicating your LTC's preference is requested. This resolution will be forwarded to the Executive Committee for consideration as a Trust Council agenda topic.

Option 1: Request Trust Council develop a Trust-wide consultation policy

THAT the XX Island Local Trust Committee requests Trust Council explore the option of a Trust-wide policy on land use consultation for radio communication utilities.

Option 2: Request Trust Council develop model policy and procedures for each LTC to consider

THAT the XX Island Local Trust Committee requests Trust Council explore the option of a model policy and procedures on land use consultation for radio communication utilities.

R:\LTC\Multi-LTC Projects\Radio Communications Utilities\LTC memo Jan 2016 Radio communication utilities.docx

copy Ann Kjerulf, Manager

Attachment:

1. Letter from Innovation, Science and Economic Development Canada



Linda Adams
Chief Administrative Officer, Islands Trust
Suite 200, 1627 Fort St.
Victoria, BC
V8R 1H8

Date: December 1st, 2015

Subject: Rescinding the 1996 Letter of Understanding (LOU) "*Land use Consultation for Radio Communication Utilities*"

Dear Ms. Adams,

As per our telephone discussion today, please accept this letter as our formal notification to provide a three month notice to rescind the above LOU. I have attached a copy for your reference. It is our belief that this document is outdated.

Going forward, Islands Trust may wish to consider an "islands wide" tower siting consultation policy of their own. There are many good examples of these being used by various local governments. If drafted well, clearly outlining the requirements and obligations of both the proponent and the land use authority, such a policy can save both parties time and result in a more streamlined, timely and assured process.

Most jurisdictions either have their own tower siting consultation policy or use the Innovation, Science and Economic Development Canada policy:

CPC 2-0-03 Radiocommunication and Broadcasting Antenna Systems: <http://www.ic.gc.ca/eic/site/smt-gst.nsf/eng/sf08777.html>

If this is of interest, our department provides a guide that can be used to help develop a policy. It is called the *Guide to Assist Land-use Authorities in Developing Antenna System Siting Protocols*:

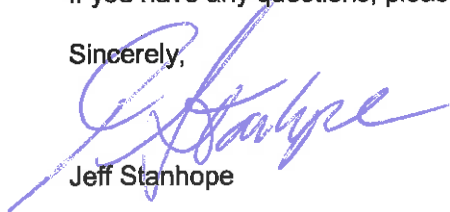
<http://www.ic.gc.ca/eic/site/smt-gst.nsf/eng/sf10860.html>

Also, the Federation of Canadian Municipalities, in partnership with the Canadian Wireless Telecommunications Association, have developed a policy template: *Antenna System Siting Protocol Template*:

http://www.fcm.ca/documents/tools/fcm/Antenna_System_Siting_Protocol_EN.pdf

If you have any questions, please do not hesitate to call me at the number below.

Sincerely,



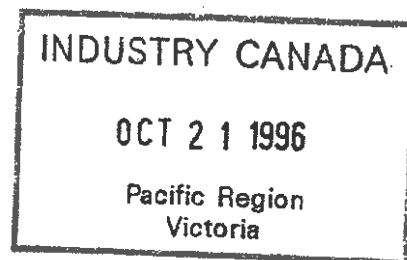
Jeff Stanhope

Spectrum Operations Manager, Spectrum Management Operations Branch
Innovation, Science and Economic Development / Government of Canada
Jeff.Stanhope@canada.ca / Tel: 250-363-3597 / TTY: 1-866-694-8389

Letter of Understanding

between

INDUSTRY CANADA
Vancouver Island District
Spectrum Program
("Industry Canada")



and the

ISLANDS TRUST COUNCIL on behalf
of Trust Area Local Trust Committees
("Islands Trust")

regarding

LAND-USE CONSULTATION FOR RADIO COMMUNICATION UTILITIES
within the Islands Trust Area

WHEREAS, section 8.1 of the *Islands Trust Act* authorizes the Islands Trust Council to enter into agreements with the Government of Canada on behalf of one or more local trust committees to coordinate activities within the Islands Trust Area to achieve the legislated object of the *Islands Trust Act* ... "to preserve and protect the Trust Area and its unique amenities and environment for the benefit of the residents of the Trust Area and of the Province generally, in cooperation with municipalities, regional districts, improvement districts, other persons and organizations and the government of the Province";

WHEREAS, a local trust committee is responsible for regulating the development and use of land within a local trust area;

WHEREAS, Section 5 of the *Radiocommunications Act* defines the Minister's powers, the Minister may, (i) approve each site on which radio apparatus, including antenna systems, may be located and approve the erection of all masts, towers and other antenna-supporting structures;

WHEREAS, Industry Canada recognizes that land-use authorities may have an interest in the location of significant antenna structures proposed within their jurisdiction and may have concerns that should be considered in the exercise of authority under the *Radiocommunications Act*;

AND WHEREAS, the Islands Trust consider significant antenna structures as being any structure over 25 metres measured from the ground level.

NOW THEREFORE, both parties agree to implement the following interagency consultation procedures regarding applications to Industry Canada for the site-specific authorization of significant antenna structures within the Islands Trust Area:

1.0 NOTIFICATION

- 1.1 Either party will use best efforts to notify the other party of an applicant's expression of interest to build or modify a significant antenna structure.
- 1.2 Industry Canada will use best efforts to advise applicants that they are required to notify and consult with the appropriate local trust committee to address local land-use concerns as explained in Client procedure Circular, CPC-2-0-03.

2.0 APPLICANT / LOCAL TRUST COMMITTEE CONSULTATION

- 2.1 Local trust committees will make their views known to both the applicant and Industry Canada within 60 days of receiving an application unless otherwise mutually agreed by the local trust committee and the applicant.
- 2.2 The local trust committee will use its best efforts to consult with the applicant and to consider requirements of the applicant.
- 2.3 When Industry Canada becomes aware of a local trust committee's objection to a site-specific significant antenna structure, consideration to issue a license will be delayed for up to 60 days or longer if otherwise mutually agreed by the local trust committees and the applicant so consultations can occur between the applicant and the local trust committee.

3.0 APPLICATION APPROVAL

- 3.1 Industry Canada does not play a direct role in land-use consultations. This responsibility remains with the applicant and the local trust committee to work toward a mutually acceptable agreement.
- 3.2 Industry Canada will use best efforts to notify a local trust committee of its intent to process an application indicating the content of the applicant's signed land-use consultation attestation.
- 3.3 Industry Canada, upon the request of a local trust committee, will meet with that local trust committee to hear its concerns before final approval of a license.

4.0 CONDITIONS

- 4.1 Nothing in this agreement shall be construed to fetter the legislative or administrative discretion of either of the parties within their respective areas of jurisdiction.
- 4.2 Any party to this Agreement may terminate this Agreement at any time by delivering three months written notice to the other party.
- 4.3 The officials of each party who shall be responsible for notices and the administration of this Agreement are:

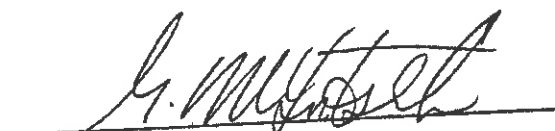
Executive Director
Islands Trust
2nd Floor, 1627 Fort Street
Victoria, British Columbia
V8R 1H8

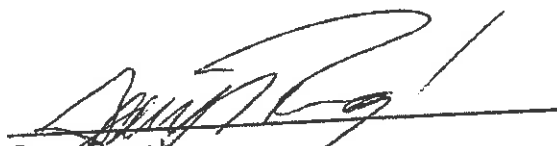
Phone #: (604) 952-4182
Fax #: (604) 952-4193

Director, Vancouver Island District
Pacific Region
Industry Canada
#318 - 816 Government Street
Victoria, British Columbia
V8W 1W9

Phone #: (604) 363-3800
Fax #: (604) 363-0208

Both parties commit to respect the terms of this agreement dated this 30 day of October, 1996.


Gordon A. McIntosh
Executive Director
Islands Trust


Gary Paugh
Director, Vancouver Island District
Industry Canada



Linda Adams
Chief Administrative Officer, Islands Trust
Suite 200, 1627 Fort St.
Victoria, BC
V8R 1H8

Date: December 1st, 2015

Subject: Rescinding the 1996 Letter of Understanding (LOU) "*Land use Consultation for Radio Communication Utilities*"

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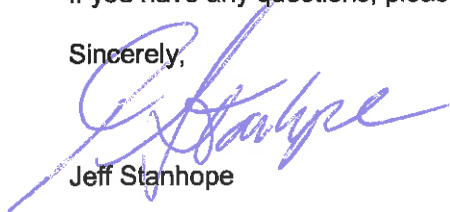
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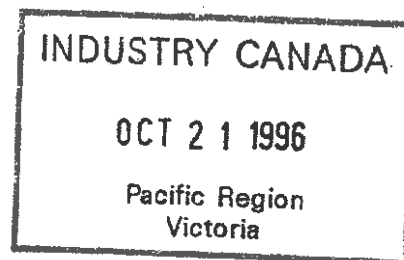

Jeff Stanhope

Spectrum Operations Manager, Spectrum Management Operations Branch
Innovation, Science and Economic Development / Government of Canada
Jeff.Stanhope@canada.ca / Tel: 250-363-3597 / TTY: 1-866-694-8389

3
Letter of Understanding

between

INDUSTRY CANADA
Vancouver Island District
Spectrum Program
("Industry Canada")



and the

ISLANDS TRUST COUNCIL on behalf
of Trust Area Local Trust Committees
("Islands Trust")

regarding

LAND-USE CONSULTATION FOR RADIO COMMUNICATION UTILITIES
within the Islands Trust Area

WHEREAS, section 8.1 of the *Islands Trust Act* authorizes the Islands Trust Council to enter into agreements with the Government of Canada on behalf of one or more local trust committees to coordinate activities within the Islands Trust Area to achieve the legislated object of the *Islands Trust Act* ... "to preserve and protect the Trust Area and its unique amenities and environment for the benefit of the residents of the Trust Area and of the Province generally, in cooperation with municipalities, regional districts, improvement districts, other persons and organizations and the government of the Province";

WHEREAS, a local trust committee is responsible for regulating the development and use of land within a local trust area;

WHEREAS, Section 5 of the *Radiocommunications Act* defines the Minister's powers, the Minister may, (i) approve each site on which radio apparatus, including antenna systems, may be located and approve the erection of all masts, towers and other antenna-supporting structures;

WHEREAS, Industry Canada recognizes that land-use authorities may have an interest in the location of significant antenna structures proposed within their jurisdiction and may have concerns that should be considered in the exercise of authority under the *Radiocommunications Act*;

AND WHEREAS, the Islands Trust consider significant antenna structures as being any structure over 25 metres measured from the ground level.

NOW THEREFORE, both parties agree to implement the following interagency consultation procedures regarding applications to Industry Canada for the site-specific authorization of significant antenna structures within the Islands Trust Area:

1.0 NOTIFICATION

- 1.1 Either party will use best efforts to notify the other party of an applicant's expression of interest to build or modify a significant antenna structure.
- 1.2 Industry Canada will use best efforts to advise applicants that they are required to notify and consult with the appropriate local trust committee to address local land-use concerns as explained in Client procedure Circular, CPC-2-0-03.

2.0 APPLICANT / LOCAL TRUST COMMITTEE CONSULTATION

- 2.1 Local trust committees will make their views known to both the applicant and Industry Canada within 60 days of receiving an application unless otherwise mutually agreed by the local trust committee and the applicant.
- 2.2 The local trust committee will use its best efforts to consult with the applicant and to consider requirements of the applicant.
- 2.3 When Industry Canada becomes aware of a local trust committee's objection to a site-specific significant antenna structure, consideration to issue a license will be delayed for up to 60 days or longer if otherwise mutually agreed by the local trust committees and the applicant so consultations can occur between the applicant and the local trust committee.

3.0 APPLICATION APPROVAL

- 3.1 Industry Canada does not play a direct role in land-use consultations. This responsibility remains with the applicant and the local trust committee to work toward a mutually acceptable agreement.
- 3.2 Industry Canada will use best efforts to notify a local trust committee of its intent to process an application indicating the content of the applicant's signed land-use consultation attestation.
- 3.3 Industry Canada, upon the request of a local trust committee, will meet with that local trust committee to hear its concerns before final approval of a license.

4.0 CONDITIONS

- 4.1 Nothing in this agreement shall be construed to fetter the legislative or administrative discretion of either of the parties within their respective areas of jurisdiction.
- 4.2 Any party to this Agreement may terminate this Agreement at any time by delivering three months written notice to the other party.
- 4.3 The officials of each party who shall be responsible for notices and the administration of this Agreement are:

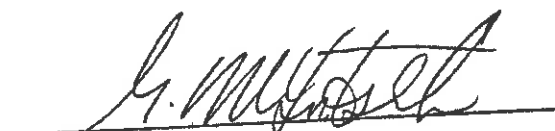
Executive Director
Islands Trust
2nd Floor, 1627 Fort Street
Victoria, British Columbia
V8R 1H8

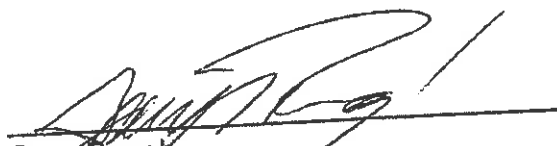
Phone #: (604) 952-4182
Fax #: (604) 952-4193

Director, Vancouver Island District
Pacific Region
Industry Canada
#318 - 816 Government Street
Victoria, British Columbia
V8W 1W9

Phone #: (604) 363-3800
Fax #: (604) 363-0208

Both parties commit to respect the terms of this agreement dated this 30 day of October, 1996.


Gordon A. McIntosh
Executive Director
Islands Trust


Gary Paugh
Director, Vancouver Island District
Industry Canada

Office of the Chief Administrative Officer

600 Comox Road, Courtenay, BC V9N 3P6
Tel: 250-334-6000 Fax: 250-334-4358
Toll free: 1-800-331-6007
www.comoxvalleyrd.ca



File: 470.20/IT

January 6, 2016

Sent via email only: rhotsenpiller@islandstrust.bc.ca

Russ Hotsenpiller
Chief Administrative Officer
Islands Trust
2nd Floor, 1627 Fort Street
Victoria, BC V8R 1H8

Dear Russ:

Re: Annual Comox Valley Regional District/Islands Trust meeting

In 2011 the Comox Valley Regional District and Islands Trust signed a protocol agreement (attached) to foster and improve relations. Section 3(a) requires at least one meeting annually between the Electoral Area A director and your Hornby and Denman trust committees, along with staff that the chief administrative officers identify. The aim of the meeting is to review the implementation of the protocol agreement, discuss topics of common interest and further our positive relationships.

I would like to propose October 20, 2016 at 10 am as a possible date and time, which can be hosted at the regional district offices. Please advise if this arrangement suits you. Agenda items can be finalized closer to the time.

I'm looking forward to hearing from you.

Sincerely,

D. Oakman

Debra Oakman, CPA, CMA
Chief Administrative Officer

Enclosure: Protocol agreement

cc: James Warren, general manager of corporate services branch

REGIONAL DISTRICT/LOCAL TRUST COMMITTEE PROTOCOL AGREEMENT

This protocol agreement ("Agreement") dated for reference Sept. 8, 2011 is

BETWEEN:

**DENMAN ISLAND LOCAL TRUST COMMITTEE and
HORNBY ISLAND LOCAL TRUST COMMITTEE**
(“local trust committees”)

AND:

COMOX VALLEY REGIONAL DISTRICT BOARD
(“regional district”)

(referred to as the (“Parties”))

WHEREAS:

- A. Under Section 24 (2)(c) of the *Islands Trust Act*, a local trust committee may enter into an agreement with a regional district respecting the coordination of activities in a local area;
- B. The Denman Island local trust committee and the Hornby Island local trust committee are established under Section 23 of the *Islands Trust Act* for the purpose of preserving and protecting the unique amenities and environment of the Denman Island local trust area and the Hornby Island local trust area and has the authority to regulate the development and use of land in this local area;
- C. The Comox Valley Regional District is a regional district established by letters patent on the 15th day of February 2008 and has the authority to provide services in the Denman Island local trust area and the Hornby Island local trust area; and
- D. The parties consider it in the interest of the residents of the Denman Island local trust area and the Hornby Island local trust area that the parties cooperate in the coordination of their activities.

NOW THEREFORE the Denman Island local trust committee and the Hornby Island local trust committee and the Comox Valley Regional District agree as follows:

PRINCIPLES

- 1. The local trust committees and the regional district agree to the following principles regarding interagency relations:
 - (a) recognition of each others’ jurisdictions and capabilities with a commitment to promoting a spirit of partnership through joint legislative, policy, program and communication initiatives;

- (b) coordination of planning, servicing and growth management activities that is responsive to the needs of the local trust areas and the electoral area of which it is a part;
- (c) commitment by the regional district to consider the purpose of the Islands Trust, which is to preserve and protect the area and its environment for the benefit of residents and the province, in matters involving the local trust areas;
- (d) commitment by the local trust committees to take the servicing functions of the regional district into consideration in matters involving the local trust areas;
- (e) cooperation through liaison, sharing of information, and notification of significant initiatives that may impact the other party.

COOPERATION

2. (1) The parties agree to cooperate with respect to the implementation, coordination and administration of each party's legislative authority that may impact the other party.
- (2) The parties agree to coordinate activities within the local trust areas / electoral areas including but not limited to such matters as:
 - (a) community planning;
 - (b) park planning and parkland acquisition;
 - (c) servicing arrangements; and
 - (d) bylaw enforcement where both parties participate in joint enforcement processes to effectively control situations where one or both parties' bylaws are being contravened, including consideration of cost sharing undertakings.
- (3) Each party agrees to notify the other party on legislative, municipal incorporation and boundary restructure initiatives that may affect the other party.

COMMUNICATIONS

3. (1) The parties agree to schedule meetings at least once per calendar year of the regional director, the local trust committees and staff as determined by the CAOs to review the implementation of the protocol.
- (2) Neither party is obligated to convey information to the other party that is protected for disclosure under the *Freedom of Information and Protection of Privacy Act*, any other legislation protecting information from disclosure, or that is subject to solicitor-client privilege.

- (3) Each party agrees to pursue alternate methods of dispute resolution before initiating legal proceedings directed at the other party.

CONDITIONS

4. (1) Nothing in this agreement shall be construed so as to fetter the legislative discretion of either of the parties within their respective areas of jurisdiction or, without limiting the generality of the foregoing, to oblige either of the parties to adopt or prevent either of the parties from adopting any bylaw or resolution.
- (2) The interpretation of terms used in this agreement shall be governed by the interpretation provisions of the *Islands Trust Act* and the *Local Government Act*.
- (3) This agreement may be amended by agreement in writing between the regional district and the local trust committees.
- (4) Any party to this agreement may terminate this agreement at any time by delivering three months' written notice to the other party.
- (5) Information and notification pertinent to this agreement shall be delivered to:

Denman Island local trust committee and the Hornby Island local trust committee	Islands Trust 2 nd Floor, 1627 Fort Street Victoria, B.C. V8R 1H8
--	--

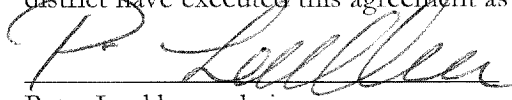
Comox Valley Regional District	600 Comox Rd Courtenay BC V3N 3P6
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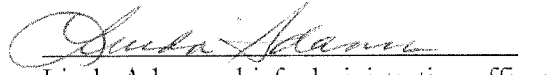
- (6) The officials of each party who shall be responsible for the notices and the administration of this agreement are:

Denman Island local trust committee the chief administrative officer
and the Hornby Island local trust committee of the Islands Trust

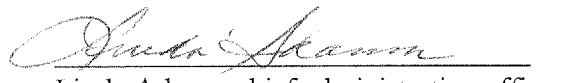
Comox Valley Regional District the corporate legislative officer of the regional
district

As evidence of their agreement to the above terms, the local trust committees and the regional
district have executed this agreement as set out below:

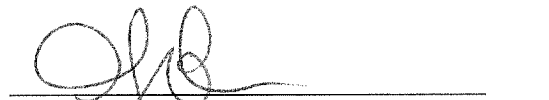

Peter Luckham, chair
Denman Island local trust committee


Linda Adams, chief administrative officer
Islands Trust


Louise Bell, chair
Hornby Island local trust committee


Linda Adams, chief administrative officer
Islands Trust


Edwin Grieve, chair
Comox Valley Regional District


Debra Oakman, chief administrative officer
Comox Valley Regional District

From: Annette & Hartmut Schmidt-Schweda [REDACTED]
Sent: Wednesday, September 24, 2014 10:19 PM
To: northinfo; David Marlor; Robert Kojima; Rob Milne
Subject: request for correction of Schedule E Map 2 Denman Island

Denman Island, 24. September 2014

To whom it may concern:

We are writing to you in regards of a mapping error, visible on Schedule E Map 2 of the Official Community Plan, Bylaw 185.

We had recognized this error before and addressed it, assuming it would be corrected. Due to recent road development on the southern extension of Swan Road (south of Denman Road) we looked up the above mentioned map and found, that the error is not yet corrected.

To explain the situation in full, we would like to describe a bit of the history of this process:

In 2000 or 2001 we recognized that above mentioned map shows a major wetland on properties 24827 (now known as the Hermitage) and 41861 (Street address 1461 Corrigan Rd.) with a brook flowing out towards the east coast of Denman Island. Both, the wetland and the brook, aren't marked in the right places.

We addressed this to Tom Babb, local trustee at the time and he arranged for a meeting after about two weeks with himself, Jill Hatfield of the ALC, a gentleman of the ALC and a gentleman from the Islands Trust Office in Victoria (Mr. Watson or Wilson, if we remember correctly). We walked the land and everybody recognized that the map is indeed wrong and needs to be rectified. Several months later a gentleman from the Islands Trust office in Victoria called to announce, that he is on Denman Island and would like to go and assess the situation. At the time we were unable to walk along with him due to urgent farm work, but gave him permission and directions to the said area.

We assumed that the issue was hereby taken care of and that necessary changes would follow.

After forest clearing work had been done on the right of way (extension of Swan Road towards south) which runs along the back of our two properties (1461 and 1745 Corrigan Road), we looked up the map again and found, that the error is still there.

As the (uncorrected) map stands now, major clearing and road development work is being done right through a major wetland.

We hereby request the area to be assessed properly, the non-existent wetland be removed and the course of the stream be corrected in the official maps of Denman Island.

Please feel free to contact us with any questions per e-mail or phone 250-703-3090.

We would like to be part of the process and be kept informed about the happenings.

Thank you and kind regards,

Annette and Hartmut Schmidt-Schweda

**SUBDIVISION PLAN OF PART
OF THE SOUTH 1/2 OF THE SOUTH EAST
1/4 SECTION 16, NANAIMO, DISTRICT,
DENMAN ISLAND.**

SCALE = 1:2500.



BEARINGS FROM PLAN 41251

- OIP - OLD IRON PIN FOUND.
- IP - 1/2" x 1/2" x 30" GALV. IRON BAR SET.

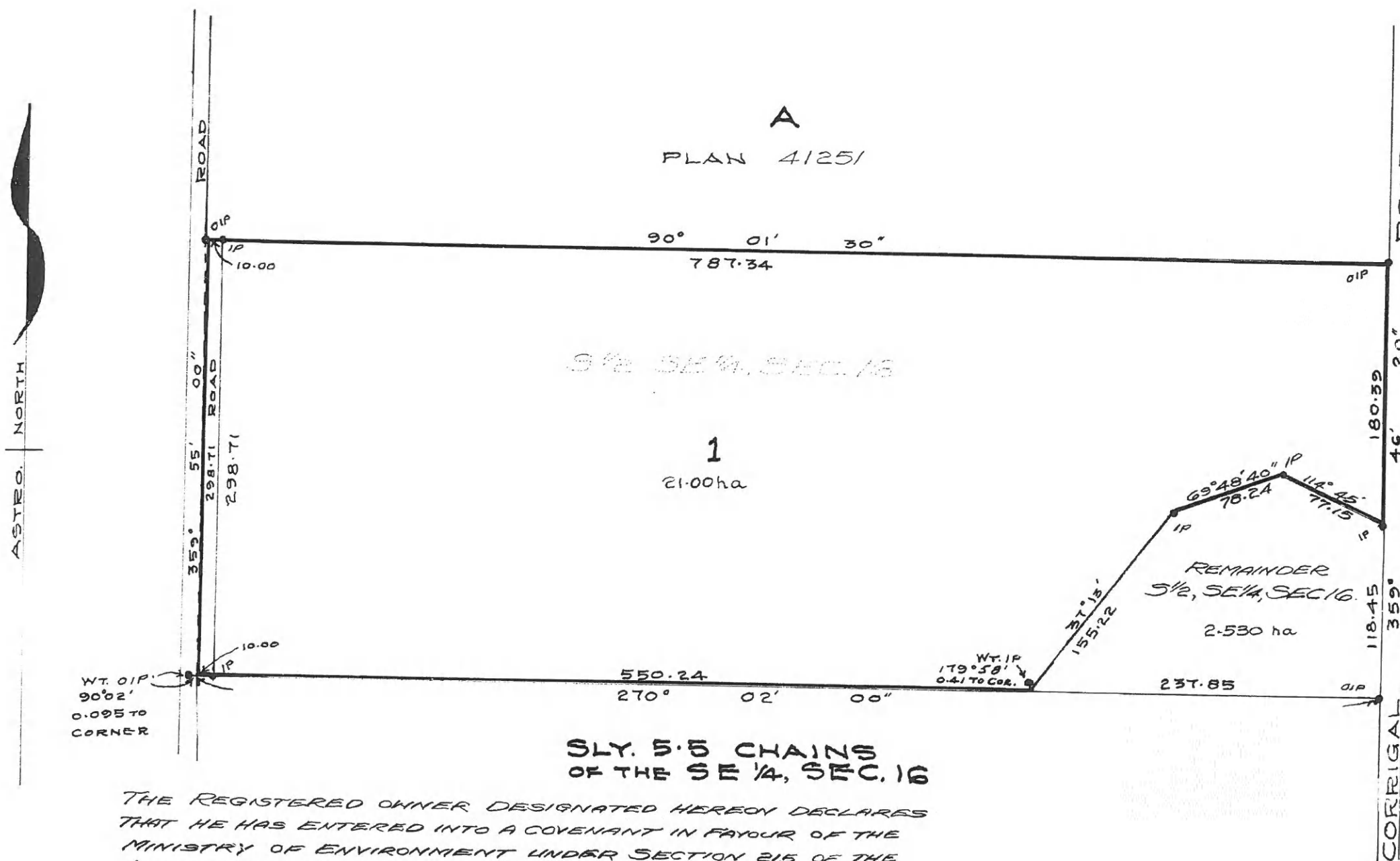
ALL DISTANCES ARE IN METRES.

WT DENOTES WITNESS

NB4008
JP

DEPOSITED IN THE LAND
TITLE OFFICE AT
VICTORIA, B.C. THIS 29th
DAY OF November 1984.

ASSISTANT DEPUTY REGISTRAR.



APPROVED UNDER THE "LAND
TITLE ACT" THIS 16 DAY
OF July, 1984.

APPROVING OFFICER FOR THE
MINISTRY TRANSPORTATION AND
AND HIGHWAYS.

RE-APPROVED THIS 29th DAY
OF OCTOBER 1984.

I, ROBERT WILLIAMS, A BRITISH
COLUMBIA LAND SURVEYOR, OF
COMOX, IN BRITISH COLUMBIA,
CERTIFY THAT I WAS PRESENT AT
AND PERSONALLY SUPERINTENDED
THE SURVEY REPRESENTED BY
THIS PLAN, AND THAT THE SURVEY

DATED AT Denman Island
B.C. THIS 1st DAY OF
June 1984.

OWNER: *Robert Williams*

WITNESS: *Robert Williams*

ADDRESS: *422 220*

"THIS PLAN LIES WITHIN THE
REGIONAL DISTRICT OF
COMOX-STRAATHCONA."

Rob Milne

From: Annette & Hartmut Schmidt-Schweda [REDACTED]
Sent: October-13-14 5:25 PM
To: northinfo; David Marlor; Robert Kojima; Rob Milne
Subject: Re: request for correction of Schedule E Map 2 Denman Island

Dear Madams and Sirs,

on Sept. 24th we had sent you an e-mail regarding a mapping error on Denman Island.

As none of you have responded so far, we have attached it again below.
Please read and confirm receipt.

We also kindly ask you to look into the mentioned problem and respond asap.
If this topic does not fall into your range of control, may we please be directed to the responsible person or institute.

Thank you very much,
kindly,
Annette and Hartmut Schmidt-Schweda

On Sep 24, 2014, at 10:18 PM, Annette & Hartmut Schmidt-Schweda <[REDACTED]> wrote:

Denman Island, 24. September 2014

To whom it may concern:

We are writing to you in regards of a mapping error, visible on Schedule E Map 2 of the Official Community Plan, Bylaw 185.

We had recognized this error before and addressed it, assuming it would be corrected. Due to recent road development on the southern extension of Swan Road (south of Denman Road) we looked up the above mentioned map and found, that the error is not yet corrected.

To explain the situation in full, we would like to describe a bit of the history of this process:

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We addressed this to Tom Babb, local trustee at the time and he arranged for a meeting after about two weeks with himself, Jill Hatfield of the ALC, a gentleman of the ALC and a gentleman from the Islands Trust Office in Victoria (Mr. Watson or Wilson, if we remember correctly). We walked the land and everybody recognized that the map is indeed wrong and needs to be rectified. Several months later a gentleman from the Islands Trust office in Victoria called to announce, that he is on Denman Island and would like to go and assess the situation. At the time we were unable to walk along with him due to urgent farm work, but gave him permission and directions to the said area.

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We hereby request the area to be assessed properly, the non-existent wetland be removed and the course of the stream be corrected in the official maps of Denman Island.

Please feel free to contact us with any questions per e-mail or phone 250-703-3090.

We would like to be part of the process and be kept informed about the happenings.

Thank you and kind regards,

Plan 41861

Annette and Hartmut Schmidt-Schweda

Rob Milne

From: Rob Milne
Sent: October-14-14 12:08 PM
To: 'Annette & Hartmut Schmidt-Schweda'
Cc: David Marlor
Subject: RE: request for correction of Schedule E Map 2 Denman Island

Good morning, please accept my apologies for not having responded sooner. Unfortunately, circumstances did not allow for an earlier response.

At this point in time I am in the process of looking for any surveys or other relevant information which might help to inform my understanding of the circumstances surrounding your inquiry. As well I need to determine what the Islands Trust protocol is for addressing mapping amendments such as you have requested. As you may appreciate such requests will require some degree of technical information in support of the requested amendment.

If you have any information of this nature, or any further information, I would appreciate it if you could send it to my attention. The draft Riparian Areas Regulations bylaws are some months away from a possible formal approval so please be assured that there is time to fully consider your request.

Regards,

Rob Milne, M.A., RPP, MCIP
Island Planner



Tel: (250) 247.2203

Toll Free through Enquiry BC
1.800.663.7867

Email: rmilne@Islandstrust.bc.ca

Islands Trust Northern Office
700 North Road
Gabriola Island, BC
V0R 1X3

Rob Milne

From: Annette & Hartmut Schmidt-Schweda <[REDACTED]>
Sent: Monday, October 20, 2014 10:19 AM
To: Rob Milne
Subject: Re: request for correction of Schedule E Map 2 Denman Island

Good morning,

thank you for your reply.

We do not have any additional material (maps, areal photos, documentation) to support our request.

The materials you used to produce the existing mapping are obviously not sufficient to provide a correct result.
It is inevitable to collect evidence on the land itself to get the necessary materials to correct the existing maps.

Presently, according to the existing mapping, there is an actual violation against the wetland bylaw.

Worse than that, the true riparian area and about 3000' of a minor stream, where they really are, are completely unprotected and development in that area is intended and has started.

We will be happy to walk with you and assist with the location of boundaries, streams and wet land.

Regards,
Annette and Hartmut Schmidt-Schweda

Rob Milne

From: Mark Van Bakel
Sent: Monday, November 03, 2014 3:58 PM
To: Rob Milne
Cc: Barb Dashwood
Subject: DP Question Denman....
Attachments: Global Positioning System Specifications.docx

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Rob,

As discussed on the phone today we have little in the way of archival metadata relating to this bylaw map and the associated data. What we do know is OCP bylaw 60, schedule E was amended in 1999 by bylaw 110 which introduced the DP areas No. 4 Schedule e map 2. In 2009, bylaw 60 was repealed and replaced by bylaw 185. Schedule E map 2. This is the current bylaw. The property in question has a minor stream and a major wetlands DP area on it. From what we understand these DP's have remained the same throughout the life of the bylaw map.

From a GIS/Mapping perspective, any decisions regarding updating the maps will be driven by LPS and the LTC. Our input will focus on data quality and standards. We would assume a Qualified Environmental Professional (QEP) would be employed to identify and collect (GPS) the water features in question, according to the guidelines described in our "Global Positioning System Specifications" document. Once the features are delivered we would rely on LPS to provide appropriate setbacks.

Hope this helps!

mark

Mark van Bakel
GIS Coordinator
Islands Trust
Suite 200 - 1627 Fort Street, Victoria, BC, V8R 1H8
office: 250.405.5181
cell: 250.920-6280
fax: 250.405.5155
email: mvanbakel@islandstrust.bc.ca
website: <http://www.islandstrust.bc.ca/maps/mapit.aspx>

Preserving Island communities, culture and environment



Please consider the environment before printing this email

Rob Milne

From: Rob Milne
Sent: Wednesday, November 05, 2014 2:36 PM
To: 'Annette & Hartmut Schmidt-Schweda'
Subject: RE: request for correction of Schedule E Map 2 Denman Island

Good afternoon-

I have had the opportunity to discuss the matter in your email below with the mapping and GIS Coordinator. He advised that:

What we do know is OCP bylaw 60, schedule E was amended in 1999 by bylaw 110 which introduced the DP areas No. 4 Schedule e map 2. In 2009, bylaw 60 was repealed and replaced by bylaw 185. Schedule E map 2. This is the current bylaw. The property in question has a minor stream and a major wetlands DP area on it. From what we understand these DP's have remained the same throughout the life of the bylaw map.

From a GIS/Mapping perspective, any decisions regarding updating the maps will be driven by LPS and the LTC. Our input will focus on data quality and standards. We would assume a Qualified Environmental Professional (QEP) would be employed to identify and collect (GPS) the water features in question, according to the guidelines described in our "Global Positioning System Specifications" document. Once the features are delivered we would rely on LPS to provide appropriate setbacks.

Essentially what that response is telling us is that the features in question have been identified in their current positions since the development permit areas was first instituted in 1999. It also tells us that the Islands Trust is not in possession of information that would allow us to confirm your concern that the features are incorrectly sited. It also indicates that a QEP would have to be employed to provide us with that information to both confirm the environmental values of the features in question as well as to ensure that the data/information is produced in accordance with the Global Positioning System Specifications.

If it is your wish for the Islands Trust to pay for the necessary data collection you will need to persuade the Denman Island Local Trust Committee (LTC) to include the costs in their upcoming budgeting process for the approval by the Islands Trust Council. The Trust Council may or may not support the request. The GIS coordinator was not aware of any cases where this has been done.

Please feel free to contact me should you wish to further discuss this matter.

Regards,

Rob Milne, M.A., RPP, MCIP
Island Planner



Islands Trust

Tel: (250) 247.2203

Toll Free through Enquiry BC
1.800.663.7867

Islands Trust Northern Office
700 North Road
Gabriola Island, BC

From: Annette & Hartmut Schmidt-Schweda [REDACTED]
Sent: Wednesday, September 24, 2014 10:19 PM
To: northinfo; David Marlor; Robert Kojima; Rob Milne
Subject: request for correction of Schedule E Map 2 Denman Island

Denman Island, 24. September 2014

To whom it may concern:

We are writing to you in regards of a mapping error, visible on Schedule E Map 2 of the Official Community Plan, Bylaw 185.

We had recognized this error before and addressed it, assuming it would be corrected. Due to recent road development on the southern extension of Swan Road (south of Denman Road) we looked up the above mentioned map and found, that the error is not yet corrected.

To explain the situation in full, we would like to describe a bit of the history of this process:

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We hereby request the area to be assessed properly, the non-existent wetland be removed and the course of the stream be corrected in the official maps of Denman Island.

Please feel free to contact us with any questions per e-mail or phone 250-703-3090.

We would like to be part of the process and be kept informed about the happenings.

Thank you and kind regards,

Annette and Hartmut Schmidt-Schweda

From: Annette & Hartmut Schmidt-Schweda [REDACTED]
Sent: Tuesday, November 11, 2014 3:34 PM
To: Rob Milne
Cc: Laura Busheikin; David Graham
Subject: Re: request for correction of Schedule E Map 2 Denman Island

Dear Mr. Milne,

thank you for your reply.

Unfortunately we couldn't understand all of it, as we are not familiar with all your abbreviations.

In any event, though, we know, that neither the wetland, nor the minor stream coming out of it as the map OCP Bylaw 185, schedule E map 2 indicate on parcel P1 41861 do exist.

Therefore there is no reason for us to consider any restrictions that come along with the presence of a wetland and stream.

As the two newer maps (Denman Island South Sensitive Ecosystem Airphoto 2001 and RAR Designated Watersheds of Denman Island) indicate, the wetland and stream have been taken out. This shows that the older map (Bylaw 185, schedule E, map 2) is wrong.

We are very surprised, that, when it comes to your attention, that ca. 3000' of minor stream are unprotected, you don't spring into action to fulfill your mandate to protect the natural environment of the Islands.

No one knows this land better than we as the inhabitants of more than 15 years.

As we recognized this alarming error we reported it back to you and it goes beyond our understanding and acceptance, that a first step to rectify the problem shall be, that we try to convince the local trust that a biologist be hired to write an expensive report, rather than to come and look at the easy-to-see obvious, especially as developmental activities are planned in an unprotected area.

The minor stream as it really exists flows out of the south end of marsh #4213 (South Sensitive Ecosystem Map, Airphoto 2001) then through wetland #4262 (South Sensitive Ecosystem Map, Airphoto 2001) from there towards the east and into the ocean.

It does not require a QEP or an areal photo to find this stream.

The easiest and most accurate way to find the true location of this stream is to just walk upstream.

You and all involved in the process are invited to come and meet with us to walk from our property up the stream.

Regards,
Annette and Hartmut Schmidt-Schweda

Rob Milne

From: Rob Milne
Sent: Monday, November 17, 2014 1:11 PM
To: 'Annette & Hartmut Schmidt-Schweda'
Cc: Laura Busheikin; David Graham
Subject: RE: request for correction of Schedule E Map 2 Denman Island

Good morning, thank you for your email below.

My apologies if some of the acronyms were unfamiliar. I forwarded the response from our GIS (Geographic Information Systems) manager without providing a translation for some of the terms that were used in that response.

I understand that you are of the understanding that the minor stream and wetland are not present upon your property. As I understand the situation you currently own two properties which share a long common border. It is not clear from your email correspondence which of the properties you are referring to in the context of your messages, possibly it is both.

I have overlaid the 2007 aerial photography over the property boundary mapping of your parcels and it appears to clearly show a watercourse flowing along the common boundary of your northern property with the property owned by Anne Herler in the southeast corner of that northern property. This watercourse appears to then run in a southwesterly direction into your southern property. The same photography also seems to suggest the presence of a wetland in the southwest corner of your northern property. Some additional information regarding which of the properties you are referring to in your correspondence vis a vis these features would help to clarify the discussion.

In your email message below you suggest that the new, proposed RAR mapping shows the features as having been taken out. This is not correct. As may be seen on the link shown below the proposed amendments to Schedule E2 "Development Permit Areas" shows the features in questions. The proposed amendments to Development Permit Area 4 does differentiate between those riparian areas and features which have been assessed as "RAR applicable" versus those areas which are not. However, all areas which were represented on the current Development Permit Area (DPA) mapping for DPA No. 4 are still present although some are now categorized as being RAR applicable, therefore having more stringent approval requirements than the non-RAR applicable features.

Link to proposed Development Permit Areas map: <http://www.new.islandstrust.bc.ca/media/290447/RAR-DPAs-South.pdf>

With respect to your comments about "springing into action", which I appreciate, in instances such as this where you are dealing with an information set which has regulations tied to it through a document adopted by resolution of your Trust Committee through the authority of the *Local Government Act*, things are, sadly, seldom that simple. There are a number of issues at play here. The first is the verification of your belief that the features in question either don't exist or are located incorrectly. A significant second issue is funding any necessary professional assistance necessary for that verification.

As I noted in my previous email the verification process is likely not as simple as a walk through the property. As you may appreciate not all wetlands, or even streams for that matter, contain water all year around. As such some assessments do require the input from a qualified environmental professional (QEP). If a walkabout of the property leaves any questions it would be necessary to have input from a QEP and if confirmation is provided as to the environmental values of any stream/wetland/marsh area their location would have to be mapped in compliance with the information standards identified by the GIS manager. (It should also be noted that any changes to areas on map schedules which have been adopted by a resolution of the LTC would require a bylaw amendment to be approved.)

As you may appreciate the Islands Trust has a budgeting process through which funds are allocated for various project work within the Islands Trust area. Any funding required for the Islands Trust to take on this responsibility of mapping/re-mapping the features in question would have to go through this process and be approved by the Islands Trust Board, likely in March of 2015. There is, of course, no guarantee the request would be approved.

As a beginning step I do feel that there would be value in my walking the property with you so as to orient myself with the property and the absence/location of the features in question. I would like to do that before the Christmas break so if you could provide some indication of our availability I will see where that can be fit into my work/meeting schedule.

Regards

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