



Gabriola Island Local Trust Committee Regular Meeting Agenda

Date: November 26, 2015
Time: 10:15 am
Location: Gabriola Women's Institute Hall
476 South Road, Gabriola Island, BC

	Pages
1. CALL TO ORDER	10:15 AM - 10:20 AM
2. APPROVAL OF AGENDA	
3. TOWN HALL AND QUESTIONS	10:20 AM - 10:30 AM
4. COMMUNITY INFORMATION MEETING - none	
5. PUBLIC HEARING - none	
6. MINUTES	10:30 AM - 10:35 AM
6.1 Local Trust Committee Minutes dated October 22, 2015 – for adoption	4 - 13
6.2 Section 26 Resolutions-Without-Meeting - none	
6.3 Advisory Planning Commission Minutes - none	
6.4 Mudge Island Advisory Planning Commission Minutes - none	
6.5 Agricultural Advisory Commission Minutes - none	
6.6 Transportation Advisory Planning Commission Draft Minutes dated October 28, 2015	14 - 16
7. BUSINESS ARISING FROM MINUTES	10:35 AM - 10:45 AM
7.1 Follow-up Action List dated November 17, 2015	17 - 18
7.2 Meeting with Regional District of Nanaimo - for discussion	
8. DELEGATIONS	
9. CORRESPONDENCE	
<i>(Correspondence received concerning current applications or projects is posted to the LTC webpage)</i>	

10.	APPLICATIONS AND REFERRALS	10:45 AM - 11:15 AM	
10.1	GB-DVP-2015.1 (Da Fonseca - Mudge Island)		
10.1.1	Staff Report dated November 26, 2015		19 - 40
10.2	GB-LCB-2015.1 (Gabriola Golf and Country Club)		
10.2.1	Staff Report dated November 3, 2015		41 - 52
11.	LOCAL TRUST COMMITTEE PROJECTS	11:15 AM - 11:45 AM	
11.1	Dog Sitting Regulations		
11.1.1	Staff Report dated November 6, 2015		53 - 58
12.	BREAK	11:45 AM - 12:10 PM	
13.	REPORTS	12:10 PM - 12:20 PM	
13.1	Work Program Reports		
13.1.1	Top Priorities Report dated November 17, 2015		59 - 59
13.1.2	Projects List Report dated November 17, 2015		60 - 62
13.2	Applications Report dated November 17, 2015		63 - 66
13.3	Trustee and Local Expense Report dated October, 2015		67 - 67
13.4	Adopted Policies and Standing Resolutions		68 - 68
13.5	Local Trust Committee Webpage		
13.6	Chair's Report		
13.7	Trustee Reports		
13.8	Electoral Area Director's Report		
13.9	Trust Fund Board Report dated October, 2015		69 - 69
14.	NEW BUSINESS	12:20 PM - 12:40 PM	
14.1	Coastal Douglas-Fir Conservation Strategy		
14.1.1	Briefing Report - November 10, 2015		70 - 95
15.	UPCOMING MEETINGS		
15.1	Next Regular Meeting Scheduled for Thursday, January 14, 2015 at The Gabriola Women's Institute Hall, 476 South Road, Gabriola Island, BC		
16.	TOWN HALL		

17. CLOSED MEETING

12:40 PM - 12:45 PM

17.1 Motion to Close the Meeting

That the meeting be closed to the public in accordance with the Community Charter, Part 4, Division 3, s.90(1)(d) for the purpose of considering adoption of In-Camera Meeting Minutes dated June 11, 2015 and that the recorder and staff attend the meeting.

17.2 Recall to Order

17.3 Rise and Report

18. ADJOURNMENT

12:45 PM - 12:45 PM

AT 1:00 PM

GABRIOLA ELEMENTARY'S GRADE 5/6 CLASS WILL PRESENT THEIR PLANNING PROJECTS TO THE LOCAL TRUST COMMITTEE, STAFF AND PUBLIC.



Gabriola Island Local Trust Committee Minutes of Regular Meeting

Date:	October 22, 2015
Location:	Gabriola Women's Institute Hall 476 South Road, Gabriola Island, BC
Members Present	Laura Busheikin, Chair Melanie Mamoser, Local Trustee Heather Nicholas, Local Trustee
Staff Present	Aleksandra Brzozowski, Island Planner Ann Kjerulf, Regional Planning Manager Teresa Rittemann, Planner 1 Rob Milne, Island Planner Jessie Sherk, Recorder
Media and Others Present	1 member of the local media Approximately 10 members of the public

1. CALL TO ORDER

Chair Busheikin called the meeting to order at 10:17 am. Members of the public were welcomed and staff and trustees were introduced. She acknowledged that the meeting was being held in the traditional territory of the Coast Salish First Nations. Chair Busheikin also extended a special welcome and congratulations to Sheila Malcolmson on her election success. Sheila gave thanks to islanders who supported her.

2. APPROVAL OF AGENDA

The following additions to the agenda were presented for consideration:

14.4 Circulation of Motions – for discussion

By general consent, the agenda was approved as amended.

3. TOWN HALL AND QUESTIONS

Penny Sidor stated that she was there in support of a dog sitting bylaw amendment that would allow in home dog sitting.

Julie Olson stated that she was in support of in home dog sitting. She wondered if anything had been decided. She also noted that the bylaw should be more in tune with noise rather than the number of dogs.

Susan Whitton stated that she was in support of dog sitting on the island. She noted that it is wonderful to have Penny Sidor to look after dogs.

4. COMMUNITY INFORMATION MEETING - None

5. PUBLIC HEARING - None

6. MINUTES

6.1 Local Trust Committee Minutes dated September 10, 2015 – for adoption

The following amendments to the minutes were presented for consideration:

Page 3, Item 7.1 Correct spelling of **Easthom** Road in the third bullet
Page 4, Item 8.1.1 Correct spelling of Steven **Earle**

By general consent the minutes were adopted as amended.

6.2 Section 26 Resolutions-without-meeting Report dated October 8, 2015

Reviewed.

6.3 Advisory Planning Commission Minutes - none

6.4 Mudge Island Advisory Planning Commission Minutes - none

6.5 Agricultural Advisory Commission Minutes - none

6.6 Transportation Advisory Planning Commission Minutes - none

7. BUSINESS ARISING FROM MINUTES

7.1 Follow-up Action List dated October 14, 2015

Island Planner Brzozowski updated the LTC on the items marked as ongoing. She also noted that the item under September 10, 2015 regarding the revision of the project charter for the roadside signage project should have been marked as complete. Discussion ensued.

7.2 Pacific Pilotage Authority Anchorage Proposal

7.2.1 Memorandum dated October 13, 2015

Staff and trustees reviewed the memorandum. Discussion ensued regarding the motion that was tabled at the last meeting and what action should be taken next.

GB-2015-107

It was MOVED and SECONDED,
that the Gabriola Island Local Trust Committee defer the motion requesting the Chair to write a letter in response to the Pacific Pilotage Authority anchorage proposal until the November meeting, after the November 4, 2015 Pacific Pilotage Authority meeting.

CARRIED

Advocacy and the role of Islands Trust with the anchorage proposal issue was discussed.

GB-2015-108

It was MOVED and SECONDED,
that the Gabriola Island Local Trust Committee coordinate its advocacy actions towards freighter anchorages with the Executive Committee as per Trust Council's advocacy policy.

CARRIED

7.3 Correspondences and Public Comment

7.3.1 Memorandum dated October 13, 2015

Island Planner Brzozowski summarized the memorandum. Discussion ensued.

7.4 Response from Executive Committee Regarding Fire Protection Services

7.4.1 Memorandum dated October 13, 2015

The memorandum was reviewed. Trustees expressed their appreciation that this was shared with the Local Trust Committee (LTC) but also their disappointment that the Executive Committee (EC) did not decide to write a letter. Discussion ensued. Chair Busheikin noted that the discussion at EC was thorough and the decision was made based on respecting the decisions of the BC Wildfire Service and trusting that their decisions are based on evidence.

8. DELEGATIONS - None

9. CORRESPONDENCE

(Correspondence received concerning current applications or projects is posted to the LTC webpage)

9.1 Letter dated September 29, 2015 to Joan Calderhead, Manager, Environment & Natural Resources, Lands and Economic Development regarding Hardy Island Granite Quarries Ltd. Operation on Valdes Island

Chair Busheikin summarized the rationale behind including the letter in the agenda. Discussion ensued. Island Planner Brzozowski noted that there was a meeting with the Lyackson First Nation yesterday and that they would be writing a response letter in support of the Hardy Granite application.

9.2 Letters regarding airplane traffic over Gabriola Island

9.2.1 Letter from Trustee Nicholas to Transport Canada dated August 31, 2015

9.2.2 Email response from Robert Dick, Regional Director of Transport Canada

9.2.3 Email from Donna Kydd to Trustee Nicholas dated September 27, 2015

The letters were reviewed. Trustee Nicholas updated the committee with the information she has received regarding air traffic over Gabriola. Discussion ensued regarding what action should be taken.

GB-2015-109

It was MOVED and SECONDED,

that the Gabriola Island Local Trust Committee request the Chair to write a letter to the Nanaimo Airport Commission regarding air traffic noise over Gabriola Island and add the documents: "Gulf Island BC Noise Sensitive Areas", "A.I.P Canada Supplement" and "Welcome to Gulf Islands Information for Pilots and Aircraft Operators", to the letter.

CARRIED

10. APPLICATIONS AND REFERRALS

10.1 GB-DP-2014.3 Madrone Marketplace Phase 2

10.1.1 Staff Report dated September 29, 2015

Island Planner Milne summarized the staff report. Discussion ensued.

By general consent, the LTC accepted the report for information.

11. BREAK

Chair Busheikin recessed the meeting at 11:30 am for a break, and reconvened at 12:00 pm.

12. LOCAL TRUST COMMITTEE PROJECTS

12.1 Roadside Signage on Gabriola Island

12.1.1 Staff Report dated October 1, 2015

Planner Ritemann summarized the staff report. Discussion ensued. It was noted that Islands Trust and the Ministry of Transportation and Infrastructure (MoTI) should be having bi-annual meetings as per their letter of understanding. The different forms of community consultation were discussed. It was noted that the original goals for this project were to address the following issues:

- signs outside the jurisdiction
- signs that exceed maximum size
- signs that have become obsolete

GB-2015-110

It was MOVED and SECONDED,

that the Gabriola Island Local Trust Committee request staff to add the implementation of an online and physical survey to collect public feedback on the roadside signage issue.

CARRIED

GB-2015-111

It was MOVED and SECONDED,

that the Gabriola Island Local Trust Committee request staff to draft a Terms of Reference for the roadside signage strategy.

CARRIED

GB-2015-112

It was MOVED and SECONDED,

that the Gabriola Island Local Trust Committee endorse the Draft Project Charter, Version 2.0, for the Roadside Signage Project as amended.

CARRIED

12.2 Dog Sitting Regulations

12.2.1 Staff Report dated October 8, 2015

Island Planner Brzozowski summarized the staff report. She noted that she would not be reading any threads on Facebook pertaining to this issue as that may complicate the process. Staff and trustees reviewed the recommended options. Discussion ensued.

By general consent, another town hall was opened for 5 minutes.

Peter Phillips stated that he had concerns about the direction of the bylaw and that the neighbourhood would not have any input if dog sitting is allowed as a home occupation. He stated that home occupations are not allowed to make any noise; however, dogs bark and it would be hard to tell which dog is barking – the owner's dog or the client's dog? Size of dogs may also be a consideration. He strongly advised this be dealt with by way of temporary use permits designed to deal with specific issues and areas.

Susan Yates stated that she has been following this issue since it began and has considered many of the variables. She would like to see the LTC consider this matter as a temporary use permit matter. If it works well, then the bylaw could be changed. She stated that she feels this would be a good compromise.

Ken Morrison stated that he has submitted a comment and that he appreciates all the hard work put into this. He noted that this occupation is already allowed on lots larger than 5 acres so he does not see the need for a bylaw change as it could affect the business of other individuals.

Penny Sidor stated that she highly suggests regulating the amount of noise allowed. She believes that there would be no difficulty in documenting the amount of barking happening and stopping it. She suggested that thirty minutes a day could be a maximum amount of barking. She also suggested making fencing mandatory. She also stated that she has done everything she can to minimize the affect of her dog sitting activities on the neighbourhood. She then stated that she would be happier if six dogs were allowed on the property at a time rather than five. Lastly, she noted that there are a number of dog owners on the island who allow their dogs to bark excessively and that there should be barking regulation for all dogs on the island.

Discussion ensued regarding noise from home occupations as well as other impacts on the environment and neighbourhoods that dog sitting as a home occupation could generate. How dog sitting is dealt with in other municipalities was also discussed.

GB-2015-113

It was MOVED and SECONDED,

that the Gabriola Island Local Trust Committee request staff amend the project charter and draft a bylaw that allows dog-sitting through a temporary use permit.

CARRIED

GB-2015-114

It was MOVED and SECONDED,

that the Gabriola Island Local Trust Committee request staff to consult with Island Health on potential impacts of dog waste on neighbouring properties.

CARRIED

13. REPORTS

13.1 Work Program Reports

13.1.1 Top Priorities Report dated October 14, 2015

Received.

13.1.2 Projects List Report dated October 14, 2015

GB-2015-115

It was MOVED and SECONDED,

that the Gabriola Island Local Trust Committee add "Explore use of soil relocation bylaws" to the Project List

CARRIED

Trustee Mamoser spoke to the motion noting that a Soil Relocation Bylaw can be enacted locally, which would provide local governments some

powers over the relocation of soil, which would include quarrying activities. She stated that in light of the activities happening in the Local Trust Area, specifically on Valdez Island, it would be beneficial to look into the possibility of having those powers in order to preserve and protect the area.

13.2 Applications Report dated October 14, 2015

Reviewed.

13.3 Trustee and Local Expense Report dated September, 2015

Regional Planning Manager Kjerulf summarized the updated expense report that she received from Finance today noting that there is very little money remaining in the Gabriola Official Community Plan/Land Use Bylaw budget. She stated that there is not enough money for the roadside signage project and the dog-sitting project, noting a shortfall of \$1500. Discussion ensued.

GB-2015-116

It was MOVED and SECONDED,

that the Gabriola Island Local Trust Committee request an allocation of \$1,500 to add to our special projects budget.

CARRIED

13.4 Adopted Policies and Standing Resolutions

Received for Information.

13.5 Local Trust Committee Webpage

Staff and trustees discussed implementing a way to direct the public to the appropriate place when wanting to comment on a particular issue or idea.

13.6 Chair's Report

Chair Busheikin reported on the Union of BC Municipalities (UBCM) convention in Vancouver. She noted that it was very interesting and made her realize yet again how unique we are. She also noted that in speaking with others it was apparent to her that the Islands Trust has a good reputation.

There were two separate meetings with Minister Todd Stone at the convention; one with an ad hoc group of regional district chairs that did not go as well as hoped, and the other with Islands Trust, where the Minister was much more receptive. In the meeting it was conveyed that the hope for savings is being achieved on the ferries and it may lead to lowered fares in the next performance term. He did not sound open to the 25% fare reduction although he was very collaborative and respectful.

Chair Busheikin also reported on the Comox Valley Regional District (CVRD) resolution to encourage the province to extend the Natural Area Protection Tax Exemption Program (NAPTEP) to the rest of the Province. Other highlights of the

convention included an address by Marie Wilson, a Commissioner with the Truth and Reconciliation Commission, who talked about what reconciliation really means.

There was a keynote address by Astronaut, Roberta Bondar, who was very inspiring.

Chair Busheikin commented on an interesting debate regarding an inquiry into the proliferation and causes of rape culture.

She then reported on the Executive Committee (EC) meeting with the Agriculture Land Commission Chair and also that the EC made a decision that they would be sending the agendas to each trustee before each meeting.

Lastly she noted that she was excited about the upcoming Anchorage meeting on November 4, 2015 in Victoria.

13.7 Trustee Reports

Trustee Nicholas reported on highlights from the Trust Council on Bowen Island:

- Reviewed terms of reference for the Victoria office location
- Adopted the draft Strategic Plan
- Expansion of NAPTEP to Bowen Island, and
- Advocacy about Canada's role in the United Nations (UN) Climate Change Conference.

One of the notable motions that arose from delegations was that the Islands Trust Council encouraged the EC to identify and act upon appropriate opportunities for advocacy in respect to increased freighter anchorages in the trust area. She noted that she is proud of the position and the movement that Trust Council and EC have made and that she is very hopeful for the Anchorage meeting on November 4, 2015.

Trustee Nicholas reported on the other activities she participated in this month including the Terry Fox Run and the Bash for Democracy.

Lastly she noted the upcoming meetings with EMCON next week, the Ferry Advisory Committee (FAC) and the Anchorage meeting in Victoria.

Trustee Mamoser noted that it was a lot of hard work preparing for the LTC meeting back to back with the Trust Council meeting.

She reported on the development of the strategic plan and stated that it was amazing to see so many people around the table agreeing on things.

She also participated in the Village Vision workshop that focused on sewer and water.

In closing, she stated that it is great to have a Gabriolan elected as a Member of Parliament.

13.8 Electoral Area Director's Report

None.

13.9 Trust Fund Board Report

October, 2015 report was received for information.

14. NEW BUSINESS

14.1 Remembrance Day Ceremony - for discussion

14.1.1 Letter from Gabriola Island Veterans' Association dated October 5, 2015

The letter was reviewed. It was agreed that Trustee Nicholas would place the wreath at the Remembrance Day ceremony.

14.2 Gabriola Island Telephone Directory Ad Renewal for 2016

14.2.1 Memorandum dated October 7, 2015

The memorandum was discussed.

GB-2015-117

It was MOVED and SECONDED,

that the Gabriola Island Local Trust Committee spend \$378 from the LTC Local Expense Communications budget to renew advertising in the 2016 Gabriola directory.

CARRIED

14.3 Tentative Meeting Schedule for 2016 - to be distributed at meeting

The meeting schedule was discussed.

GB-2015-118

It was MOVED and SECONDED,

that the Gabriola Island Local Trust Committee schedule its 2016 regular business meetings at the Gabriola Women's Institute Hall, 476 South Road, Gabriola Island, beginning at 10:15 am on the following dates with the exception of the the July 14, 2016 regular meeting, which will be held on Mudge Island:

Thursday, **January 14**, 2016
Thursday, **February 11**, 2016
Thursday, **March 10**, 2016
Thursday, **April 14**, 2016
Thursday, **May 26**, 2016
Thursday, **July 14**, 2016
Thursday, **September 8**, 2016
Thursday, **October 13**, 2016
Thursday, **November 10**, 2016

CARRIED

14.4 Circulation of Resolutions

Discussion ensued regarding the earliest that the resolutions could be distributed to trustees.

15. UPCOMING MEETINGS

**15.1 Next Regular Meeting Scheduled for Thursday, November 26, 2015
at 10:15 am at the Women's Institute, 476 South Road, Gabriola Island, BC**

16. TOWN HALL - None

17. CLOSED MEETING - None

18. ADJOURNMENT

Chair Busheikin adjourned the meeting at 2:35pm.

Laura Busheikin, Chair

Certified Correct:

Jessie Sherk, Recorder

DRAFT

MINUTES OF THE GABRIOLA ISLAND TRANSPORTATION ADVISORY COMMISSION MEETING Held on October 28, 2015

PRESENT:

TAC Members: Steven Earle
Deborah Ferens
Rick Jackson
Jim Ramsay
Trustees: nil
Guest: Howard Houle – Regional Director, RDN
Other: Derek Kilbourn – The Sounder
One member of the public
Recorder: Jim Ramsay

REGRETS: TAC member John Hodgkins was unable to attend

1. Call to Order/Approval of Agenda/Election of Chair

Steven Earle called the meeting to order at 1:30 p.m. The agenda was approved.

It was moved, seconded and carried that Steven Earle be appointed Chair of the TAC.

2. Referral – Widening of Easthom Road

Given that Steven Earle and Jim Ramsay are members of GERTIE management that proposed the initiative, Steven vacated the Chair, which was assumed by Deborah.

At its June 18, 2015 regular business meeting, the Gabriola Island Local Trust Committee (LTC) passed a resolution to refer a request made by Island Futures (GERTIE) to support a request to the Ministry of Transportation and Infrastructure to widen the section of Easthom Road that is between 100 and 150 m southwest of the intersection with North Road.

The LTC would like the Transportation Advisory Commission to provide comment on the below request:

“On behalf of GERTIE, I am requesting that you refer the issue of widening a section of Easthom Road between 100 and 150 m southwest of the intersection with North Road to the Transportation Advisory Commission. We believe that the current situation is dangerous for all pedestrians, cyclists, and motorists, and our bus drivers have experienced dangerous situations on several occasions while driving that section. We recommend that the issue be examined by the Transportation Advisory Commission with a view to making some recommendations for improvements.”

DRAFT

In discussion, the following points were made:

- The road section in question is on adjacent private land, because the right of way at that point runs through a bedrock bluff.
- Rick Jackson noted that, from the Fire Department's perspective, the road at this point is a "pinch spot" that is very dangerous and should be widened as much as possible, and brought up to MoTI standards. He noted that elimination of parking spots along Easthom would likely be involved in any widening.
- Steve Earle reported that the GERTIE Community Bus organization recommended widening of this section of road which is used regularly by GERTIE buses and near misses with vehicles speeding around this blind corner are a frequent occurrence.
- In addition to vehicle safety, it was noted that pedestrians and cyclists are also negatively impacted by that narrow road section which is particularly busy with cars, trucks, the bus, cyclists and pedestrians during ferry loading and unloading times. The Cycle Paths Report of March 29, 2010, adopted by the LTC, indicates this section is "vulture level 3" indicating extremely dangerous to cyclists.
- It was suggested that MoTI should put a vehicle counter on that road to determine the volume of traffic.
- One member of the public stated he likes this road the way it is, being part of our "rural character".

Following discussion, it was moved and seconded:

THAT the Transportation Advisory Committee recommends that the Local Trust Committee request the Ministry of Transportation and Infrastructure to rebuild the portion of Easthom Road between 100 and 150 m southwest of the intersection with North Road along the existing right of way to make it wide enough for two-way traffic and to eliminate a dangerous traffic hazard (see map below).

CARRIED

DRAFT



(Base map from rdn.bc.ca)

Steven Earle then resumed the chair.

3. **Adjournment**

The meeting was adjourned at 1:47 p.m.

Chair (Steven Earle)

Secretary (Jim Ramsay)

Follow Up Action Report

Gabriola Island

26-Feb-2015

No.	Activity	Responsibility	Target Date	Status
1	LTC requests staff to advertise for membership in a Board of Variance appointed jointly with other LTC's in the Northern Region.	Lisa Webster-Gibson	30-Jun-2015	On Going

07-May-2015

No.	Activity	Responsibility	Target Date	Status
1	Staff to further discussion regarding zoning of Coats Marsh Regional Park with The Nature Trust of BC and the Regional District of Nanaimo, encouraging them to request approval from the Ecological Gifts Program for the change in zoning from Resource to Parks 1, that was removed from bylaws 271 and 272 prior to their adoption.	Aleksandra Brzozowski	11-Jun-2015	On Going
1	Staff to schedule a meeting with Snuneymuxw First Nation as per our protocol agreement. Update: staffing changes at SFN as of early July.	Aleksandra Brzozowski	11-Jun-2015	On Going

11-Jun-2015

No.	Activity	Responsibility	Target Date	Status
1	Respond to the media's request to attend the RDN - Islands Trust annual meeting in the fall.	Aleksandra Brzozowski	24-Jul-2015	On Going

23-Jul-2015

No.	Activity	Responsibility	Target Date	Status
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**Follow Up Action Report**

1	LTC to review on Sept 10 topic list for RDN-IT annual meeting. Update: LTC to review topics list over email. To add "Attainable Housing" and "Eagle nest inventory to building inspectors" to list.	Aleksandra Brzozowski	10-Sep-2015	Done
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22-Oct-2015

No.	Activity	Responsibility	Target Date	Status
1	Send to Trustees: Sec 90 of Community Charter (considering matters in-camera) and details on FOIPPA in relation to in-camera minutes.	Aleksandra Brzozowski	26-Nov-2015	Done
1	Update appropriate sections of website to provide information on public input options for Gabriola LTC.	Aleksandra Brzozowski	26-Nov-2015	On Going
1	Prepare a letter, for the Chair's signature, to the Nanaimo Airport Commission re: air traffic noise. Letter to include attachments re: recent TAS/Saltspring work.	Aleksandra Brzozowski Penny Hawley Heather Nicholas	26-Nov-2015	On Going
1	Amend the dog sitting regulations Project Charter and draft an OCP amendment bylaw enabling LTC to regulate dog sitting through the Temporary Use Permit process. Guidelines should include, in addition to the regulations noted in Draft Bylaw 281, criteria for fencing and avoiding impact of waste on wells.	Aleksandra Brzozowski	26-Nov-2015	Done
1	Follow up on whether resolutions can be distributed in advance of the next agenda.	Aleksandra Brzozowski	26-Nov-2015	Done

File No.: GB-DVP-2015.1 (Da Fonseca)

To: Gabriola Island Local Trust Committee
For meeting of November 26, 2015

From: Teresa Ritemann, Planner 1

CC: Ann Kjerulf, Regional Planning Manager
Aleksandra Brzozowski, Island Planner

Re: **Development Variance Permit – PID 004-097-637; Lot 11, Section 26, Mudge Island, Nanaimo District, Plan 16872**

Owner: Joaquim and Olinda Da Fonseca
Applicant: Same as above.
Location: 874 Driftwood Drive, Mudge Island

THE PROPOSAL:

This Development Variance Permit application is a result of a Bylaw Enforcement file. The applicant is requesting to vary the following sections of the Mudge Island Land Use Bylaw No. 228 (**emphasis added**):

1. Siting and setback regulation 3.3(4): **“Despite all other provisions in this Bylaw, buildings and structures must be sited a minimum of 30 metres (98.4 feet) from and 1.5 metres (4.9 feet) above the natural boundary** of a wetland, watercourse, the sea or other body of water, except for barge/boat ramps, stairs and walkways with an average maximum elevated floor height of 0.3 metres (0.9 feet).”

In order to permit the following existing structures: a wooden deck, two concrete retaining walls, a concrete BBQ slab, and fencing **where they currently exist within 30 metres from the natural boundary of the sea**, as shown on the site plan detail in Figure 1;

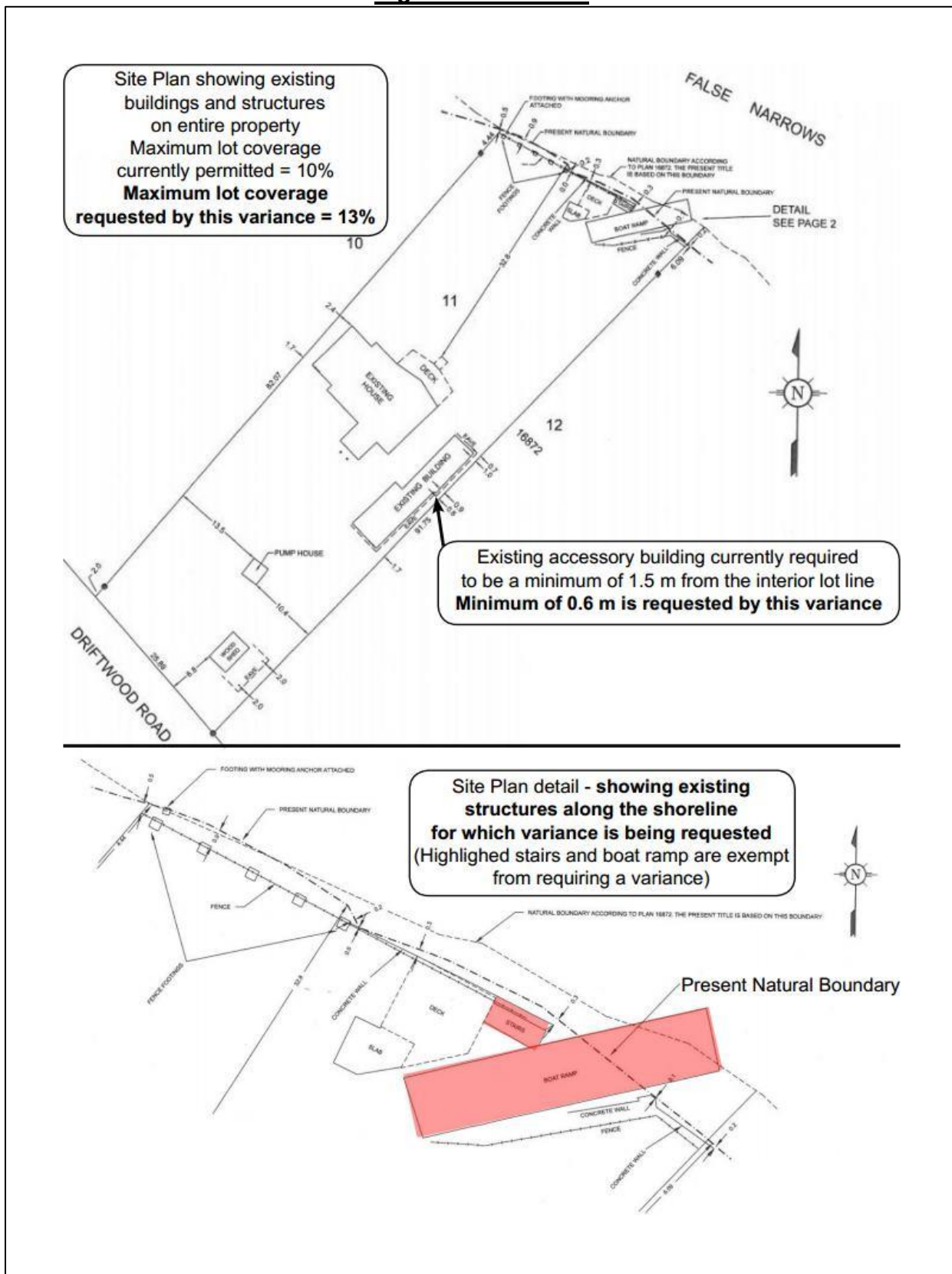
2. Rural residential siting and size regulation 5.1(6)(b): “On lots 0.4 hectares (1 acre) or less the minimum setback of buildings and structures, except for a sign, fence or pump/utility house, is...(b) **1.5 metres (4.9 feet) from any interior side lot line**”;

In order to permit the existing siting of an accessory building shown on the site plan in Figure 1 below to be located within a **minimum of 0.6 metres from the interior side lot line**; and

3. Rural residential lot coverage regulation 5.1(4): “The maximum lot coverage is **10%**”

In order to permit a **maximum lot coverage of 13%** for the existing buildings and structures shown on the site plan in Figure 1 below.

Figure 1: Site Plan



BACKGROUND:

The **applicant provided the following reasons** for the proposed variance and why the current bylaw requirements cannot be met:

Regarding the structures within the setback of the natural boundary:

Originally the fence was on top of flat land, but the deer were climbing the bank and were creating an erosion problem. To make the fence straight, he levelled it in 2009 by adding some cement footings for support. The deck was added for access to a future dock (float), but the dock was not completed at the time because there was not enough water at low tide; False Narrows is filled up with soil from erosion from Gabriola and Mudge Islands. He believes his lot is 99.99% erosion free with the additions and protections he has done himself. A concrete slab was also installed to accommodate a barbecue.

Regarding the accessory building located too near the interior lot line setback:

At the time the applicants owned both Lot #11 and Lot #12, but sold Lot #12 in 2003 or 2004. The accessory building was constructed in 2001 and the shop/garage addition was built in 2006. At the time of construction (and still today), Building Permits were not required on Mudge Island, and there are no inspections except for power. The applicant notes that there was also a lack of information on his part, because of the freedom to build that existed during that time.

SITE CONTEXT:

The subject property (shown in Figure 2 below) is a northeast-facing, rectangular-shaped, waterfront property at 874 Driftwood Drive on Mudge Island. The property is approximately 0.26 hectares (0.65 acres) in size, and is bordered by the natural boundary of the sea to the northeast, Lot 12 to the southeast, Lot 10 to the northwest, and access to the property is via the waterfront, or along Driftwood Drive to the southwest.

Figure 2: Subject Property Map

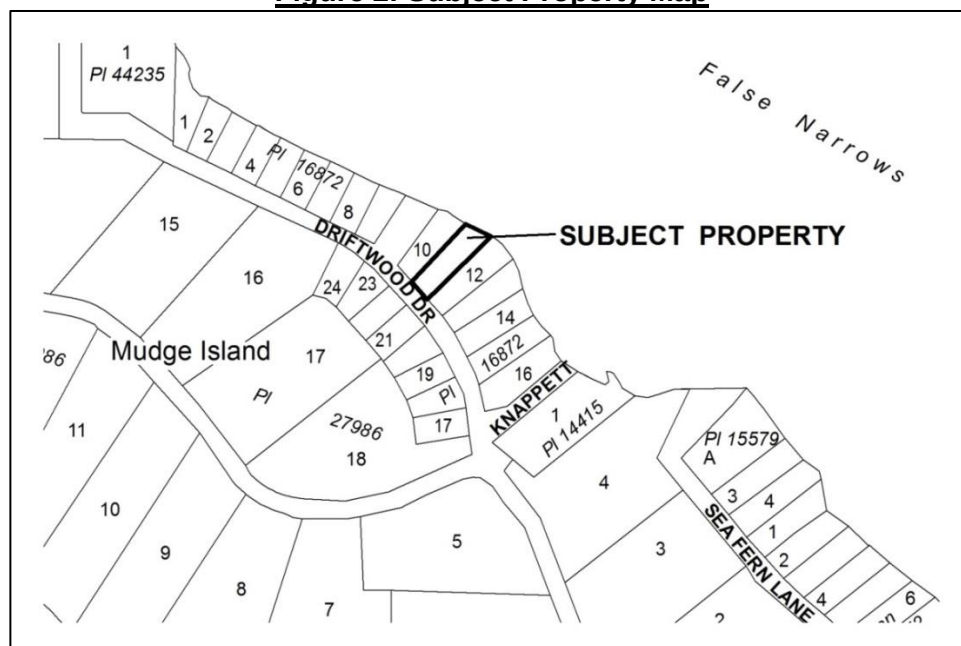


Table 1 of existing buildings and structures. Confirmed by the applicant

Existing Building / Structure	Lot Coverage (square meters)	Maximum height (meters)	Construction Date
Pump house	5.8	2.5 m	2002
Boat ramp	27.0	n/a	2003
Woodshed	13.0	2.44 m	Built in 2004 Relocated in 2012
Accessory building	77.0	3 m (2001) 4 m (2006)	2001 Addition built in 2006
House	153.6	Crawlspace = 0.66 – 0.8 m To roof = 3 – 4.5 m	2003 – 2006 (took 3 years to finish)
Deck on the house	25.2	1 m	2004
Concrete slab (for barbecue)	6.5	n/a (Ground level)	2009
Waterfront deck	18.0	2.13 m	2009
Fence footings / fences (given in metres)	Footing = 0.0625 each x 4 posts = 0.25	n/a Fence = 1.6 m high	2009
Concrete wall below waterfront deck	11.3m long	0.46 – 0.7 m	2009
Concrete wall near Lot 12	1.35	0.42 – 0.47 high x 3 m long on front Lot 11	2009
Stairs to waterfront deck	3.0	2.85 m long x 2.13 m high	2015
Total	342 sq. m (3,681 sq. ft)		

Note:

Lot size = 0.65 acres (2,630.55 sq. m)

Max. lot coverage permitted is 10% = 263.055 sq. m

Current coverage = 342 sq. m = 13% of total lot size

Photos of the buildings and structures taken for Bylaw Enforcement file GB-BE-2012.16, as well as those submitted by the applicant as part of their application are shown in Figures 3 – 6 below.

Figure 3

Accessory Building



Minimum setback requested:
0.6 m from interior side lot line
(minimum 1.5 m in current bylaw)



Figure 4

Structures Within the Setback from the Natural Boundary of the Sea



Figure 5



**The Two Concrete Retaining Walls
Within the Setback from the
Natural Boundary of the Sea**



Figure 6

Boat Ramp / Stairs



Pre-



During
Construction of Stairs (2012 - 2015)



and Post-

Current view of Boat Ramp and Stairs



PLANNING CONTEXT:

In order to evaluate the application, staff has reviewed the relevant policies, regulations and other information applicable to the subject property in relation to the requested variances, as follows:

Islands Trust Policy Statement

The most relevant section of the Islands Trust Policy Statement is:

Growth and Development Directive Policy 5.2.6:

“Local trust committees and island municipalities shall, in their official community plans and regulatory bylaws, address the identification of areas hazardous to development, including areas subject to flooding, erosion or slope instability, and strategies to direct development away from such hazards.

Official Community Plan

The most relevant sections from the Mudge Island Official Community Plan No. 227 include **(emphasis added)**:

Rural Residential Objectives and Policies:

Objective 1: To support a diverse population and community of lifestyles through residential uses that are **compatible with the environmental carrying capacity and rural character**.

Objective 2: To support residential development and activities, stewardship practices and initiatives that **minimizes impact on rural character and resources**.

Objective 3: To support creative proposals that provide community benefit, **enhance rural island character** and preserve and protect the environment.

Policy 3:

Lot coverage should be limited, unless **measures are taken that prove an increase** in site development **will not reasonably increase environmental or social impacts**.

Advocacy Policy 3:

Site development should include maximum retention of trees and indigenous vegetation, **particularly around the periphery of the property** in order to:

- **minimize land erosion**, retain moisture and slow down run off which in turn increases water infiltration into groundwater resources

Coastline and Foreshore Policies:

Policy 3: Coastal and foreshore zoning shall be designed to **protect against disruption of natural beach systems and limit development**.

Land Use Bylaw

Land Use Bylaw regulations are intended to implement guiding policies found in the Islands Trust Policy Statement and Official Community Plan:

The most relevant sections from the Mudge Island Land Use Bylaw No. 228 include:

- Definition (**emphasis added**): “STRUCTURE means any construction and human made land alteration fixed to, supported by, or sunk into land or water; for clarity septic fields, septic tanks, absorption fields and related appurtenances, concrete and asphalt paving or similar surfacing of the land, and **retaining structures are considered structures.**”
- 3.3(4) “Despite all other provisions in this Bylaw, buildings and structures must be sited a minimum of 30 metres (98.4 feet) from and 1.5 metres (4.9 feet) above the natural boundary of a wetland, watercourse, the sea or other body of water, except for barge/boat ramps, stairs and walkways with an average maximum elevated floor height of 0.3 metres (0.9 feet)”
- 5.1(4) “The maximum lot coverage is 10%”
- 5.1(6) “On lots 0.4 hectares (1 acre) or less the minimum setback of buildings and structures, except for a sign, fence or pump/utility house, is: ...
(b) 1.5 metres (4.9 feet) from any interior side lot line”

Islands Trust Fund:

As per the Islands Trust Fund and Local Planning Services Coordination Policy Manual, this application does not directly affect Islands Trust Fund Board (TFB) interests as it does not directly affect a TFB owned property or conservation covenant or a property adjacent to a TFB owned property or conservation covenant.

Regional Conservation Plan:

Map 8 of the Islands Trust Fund Regional Conservation Plan indicates that the estimated importance of habitat composition is medium to low for this property.

Sensitive Ecosystems and Hazard Areas:

No Sensitive Ecosystems, Species at Risk, steep slopes, or hazard areas are mapped on the property, though mapping indicates that the Groundwater Vulnerability is moderately high for much of this property (see Figure 7 below).

Archaeological Sites:

There are known and/or potential archaeological sites located on a portion of the property where construction has already occurred (see Figure 8 below). An owner of land is obliged to contact the Archaeology Branch before undertaking any land development/alteration where known and/or potential archaeological sites exist.

Figure 7: Moderately High Groundwater Vulnerability



Figure 8: Known and Potential Archaeological Sites (Red)



Covenants

Restrictive Covenant 333852G (see D.D. 3867251) was registered on title in 1966 for the purpose of specifying the septic tank location and requiring construction to be completed within one year of commencement. The covenant does not affect this Development Variance Permit.

Bylaw Enforcement

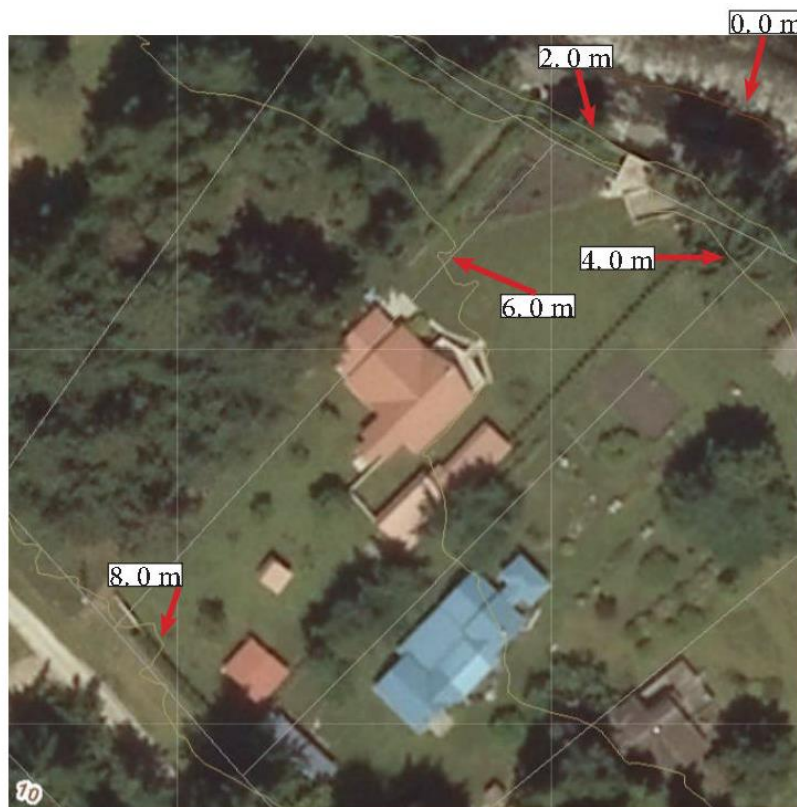
This application is a result of Bylaw Enforcement file GB-BE-2012.16.

Climate Change Mitigation and Adaption

According to the 2008 document “*Projected Sea Level Changes for British Columbia in the 21st Century*”¹, the relative sea level rise by 2100 for the Nanaimo area ranges between -0.04 m to a rise of 0.8 m. Based on this number and looking at the contour map in Figure 9 below, the maximum projection of a 0.8 m sea level rise would be below the 2.0 m elevation of the property, for which the property line, building and structures are above.

¹ Source: <http://www2.gov.bc.ca/assets/gov/environment/climate-change/policy-legislation-and-responses/adaptation/sea-level-rise/sea-level-changes-08.pdf>

Figure 9: Contour Map



Shoreline

Although the shorelines of Mudge Island have not yet been mapped or classified, it can be seen in Figures 5 & 6 that the shoreline type for this property is low rock/boulder over a medium-height bank. Figure 10 below shows there is also a flat, continuous eelgrass bed a little more than 50 metres from this property.

The variance would permit existing concrete retaining walls, which the applicant notes he constructed near the natural boundary of the sea for protection against possible erosion from the sea. The Islands Trust's "*Sharing Our Shorelines*"² booklet, advocating for a green shores approach to shoreline management, notes that building seawalls "...disrupts natural shoreline processes and harms marine ecosystems. Seawalls can increase beach erosion rates and block sediment transport to the beach. Deflected waves scour away fine sediment and reflected energy creates more waves potentially causing seawalls to fail" (page 5). Permitting the existing walls would also have an aesthetic impact that may further encourage additional seawall construction both on the subject property and on neighbouring properties on Mudge Island, potentially impacting the rural character along the island's coast.

The applicant also submitted with their application a survey showing improvements on the property, which was signed and sealed by Andre McNicoll, BCLS (Attachment 3). The survey indicates a very slight change in the current natural boundary (2015) from the natural boundary according to Plan 16872 (1964) half a century ago.

² <http://www.islandstrust.bc.ca/media/202983/SharingOurShorelines.pdf>

Additionally, when the applicants owned Lot 11 and Lot 12 to the east, they applied for and were granted a crown lease for private moorage on each lot. A lease permitting two boat ramps (one for each lot) was originally issued in May 2003 for a length of 10 years. In October 2013, permission was issued for one boat ramp on Lot 11, for an “indefinite term commencing June 20, 2013” for the private moorage purposes of Lot 11. Boat ramps are currently permitted under the Mudge Island Land Use Bylaw to be within the setback to the natural boundary of the sea.

Figure 10: Eelgrass Mapping



COMMUNITY INFORMATION MEETING(S):

None held.

RESULTS OF CIRCULATION:

Statutory requirements of the *Local Government Act* requires notice to be mailed or otherwise delivered at least 10 days before adoption of the resolution to issue the permit. In accordance with the *Local Government Act* as well as Gabriola Island Development Procedures Bylaw No. 114, statutory notice of the proposed variances will be provided to all owners and tenants in occupation of properties as shown on the assessment roll within 100 metres of the subject property's boundaries on November 16, 2015. At the time of writing this report, staff had received no comments or submissions regarding the application.

ANALYSIS:

Staff have interpreted the intent of the regulations, to which variances are requested, in relation to the overarching policy context described by the Islands Trust Policy Statement and Mudge Island Official Community Plan as follows:

- There is no policy support within the Islands Trust Policy Statement or Mudge Island Official Community Plan for the requested variances;
- The setback from the natural boundary of the sea is intended to reduce the impact of possible flooding and erosion, and evaluate the environmental and aesthetic impacts of development on the rural character of Mudge Island.
- Interior lot line setbacks are typically intended to provide a buffer to reduce potential conflicts between adjacent land owners, and setbacks in general are typically oriented to serve as a visual buffer and provide adequate space for vegetation between neighbours.
- Maximum lot coverage is intended to limit development, minimize environmental and social impacts, and maintain the rural character of Mudge Island.

Staff note that the proposed variance to allow structures within the required setback to the natural boundary is contrary to the Green Shores approach, which the Islands Trust has promoted through *Sharing our Shorelines*.

It should be noted that granting a variance does not set a precedent, and the Gabriola Island Local Trust Committee is unfettered in its ability to grant or deny variances. However, the approval of variances regarding setbacks and lot coverage may create expectations in the community on Mudge Island with regard to future applications.

REASONS FOR REFUSAL:

Staff do not recommend issuance of this development variance permit for the following reasons:

- A. The Islands Trust Policy Statement and Mudge Island Official Community Plan do not support the requested variances;
- B. The Land Use Bylaw setback for buildings and structures from the natural boundary of the sea is intended to limit development of and maintain the rural character of the coast of Mudge Island, and protect against disruption of natural shoreline processes;
- C. The dimensions and contours of the property are not so constrained as to limit the location of the accessory building or to require a reduction to the interior side lot setback; and
- D. The Land Use Bylaw maximum lot coverage is intended to maintain the rural character of Mudge Island.

RECOMMENDATION:

1. **THAT** the Gabriola Island Local Trust Committee deny the request to issue a Development Variance Permit for GB-DVP-2015.1 (Da Fonseca) in accordance with the reasons for refusal noted on Page 14 of the Staff Report.

Prepared and Submitted by:



November 3, 2015

Teresa Rittemann
Planner 1

Date

Concurred in by:



November 3, 2015

Ann Kjerulf
Regional Planning Manager

Date

Attachments:

1. Public Notice
2. Proposed Permit (Including "Schedule A" - Site Plan)
3. Survey of improvements which was submitted with the application (2 pages)



NOTICE
GB-DVP-2015.1
GABRIOLA ISLAND LOCAL TRUST COMMITTEE

NOTICE is hereby given that the Gabriola Island Local Trust Committee will be considering a resolution allowing for the issuance of a Development Variance Permit, pursuant to Section 922 of the *Local Government Act*, varying the following subsections of the Mudge Island Land Use Bylaw No. 228 as follows:

1. Siting and setback regulation 3.3(4): “Despite all other provisions in this Bylaw, buildings and structures must be sited a minimum of 30 metres (98.4 feet) from and 1.5 metres (4.9 feet) above the natural boundary of a wetland, watercourse, the sea or other body of water, except for barge/boat ramps, stairs and walkways with an average maximum elevated floor height of 0.3 metres (0.9 feet).”

Is varied in order to permit the following existing structures: a wooden deck, two concrete retaining walls, a concrete BBQ slab, and fencing where they currently exist within 30 metres from the natural boundary of the sea;

2. Rural residential siting and size regulation 5.1(6)(b): “On lots 0.4 hectares (1 acre) or less the minimum setback of buildings and structures, except for a sign, fence or pump/utility house, is:
(b) 1.5 metres (4.9 feet) from any interior side lot line”;

Is varied in order to permit the existing siting of an accessory building to be located within a minimum of 0.6 metres from the interior side lot line; and

3. Rural residential lot coverage regulation 5.1(4): “The maximum lot coverage is 10%”

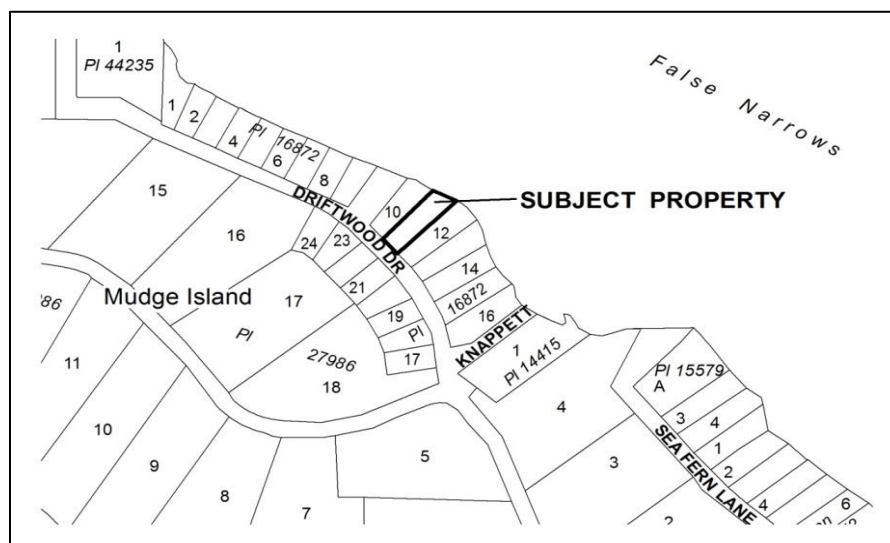
Is varied in order to permit a maximum lot coverage of 13% for the existing buildings and structures.

The property is legally described as:

PID 004-097-637

Lot 11, Section 26, Mudge Island, Nanaimo District, Plan 16872;

The general location of the subject area is shown in the following sketch:



A copy of the proposed Permit may be inspected at the Islands Trust Northern Office, 700 North Road, Gabriola Island, BC, V0R 1X3, between the hours of 8:30 am and 4:30 pm, Monday to Friday inclusive, excluding Statutory Holidays, commencing November 16, 2015 and continuing up to and including November 25, 2015. Also, attached for your convenience, is a copy of the proposed Permit.

If you have any questions or comments regarding the proposed Permit, please contact Teresa Rittemann, Planner 1, at 250-247-2200; for Toll Free Access, request a transfer via Enquiry BC: in Vancouver 604-660-2421 and elsewhere in BC at 1-800-663-7867.

Written submissions should be sent to:

Mail: Islands Trust
700 North Road
Gabriola Island, BC
V0R 1X3
Fax: (250) 247-7514
Email: trittermann@islandstrust.bc.ca

Following the end of the notice period, the Gabriola Island Local Trust Committee may consider issuance of the proposed Permit at its regular business meeting to be held at 10:15 am, Thursday, November 26, 2015, at the Women's Institute at 476 South Road, Gabriola Island, BC.

All applications are available for review by the public. Written comments made in response to this notice will also be available for public review.

Lisa Webster-Gibson
Deputy Secretary

PROPOSED

 Islands Trust	GABRIOLA ISLAND LOCAL TRUST COMMITTEE DEVELOPMENT VARIANCE PERMIT GB-DVP-2015.1 (DA FONSECA)
--	---

TO: Joaquim and Olinda Da Fonseca

1. This Development Variance Permit applies to the land described below:

PID 004-097-637

Lot 11, Section 26, Mudge Island, Nanaimo District, Plan 16872

2. Pursuant to Section 922 of the *Local Government Act*, Subsection 3.3(4) of the *Mudge Island Land Use Bylaw No. 228*:

“Despite all other provisions in this Bylaw, buildings and structures must be sited a minimum of 30 metres (98.4 feet) from and 1.5 metres (4.9 feet) above the natural boundary of a wetland, watercourse, the sea or other body of water, except for barge/boat ramps, stairs and walkways with an average maximum elevated floor height of 0.3 metres (0.9 feet)”

is varied to permit the following existing structures: a wooden deck, two concrete retaining walls, a concrete BBQ slab, and fencing where they currently exist within 30 metres from the natural boundary of the sea, as shown on the site plan detail in Schedule “A” attached.

3. Pursuant to Section 922 of the *Local Government Act*, Subsection 5.1(6)(b) of the *Mudge Island Land Use Bylaw No. 228*:

“On lots 0.4 hectares (1 acre) or less the minimum setback of buildings and structures, except for a sign, fence or pump/utility house, is:
(b) 1.5 metres (4.9 feet) from any interior side lot line”

is varied to permit the existing siting of an accessory building shown on the site plan in attached Schedule “A” to be located within a minimum of 0.6 metres from the interior side lot line.

4. Pursuant to Section 922 of the *Local Government Act*, Subsection 5.1(4) of the *Mudge Island Land Use Bylaw No. 228*:

“The maximum lot coverage is 10%”

is varied to permit a maximum lot coverage of 13% for the existing buildings and structures shown on the site plan in Schedule “A” attached.

5. All buildings and structures shall be consistent with Schedule “A” which is attached to and forms part of this permit. This permit is not a building permit and does not remove any obligation on the part of the permittee to comply with all other requirements of the Mudge Island Land Use Bylaw No. 228, including use and density, and to obtain other appropriate approvals necessary for completion of the proposed development.

**AUTHORIZING RESOLUTION PASSED BY THE GABRIOLA ISLAND LOCAL TRUST COMMITTEE
THIS ____ DAY OF ____.**

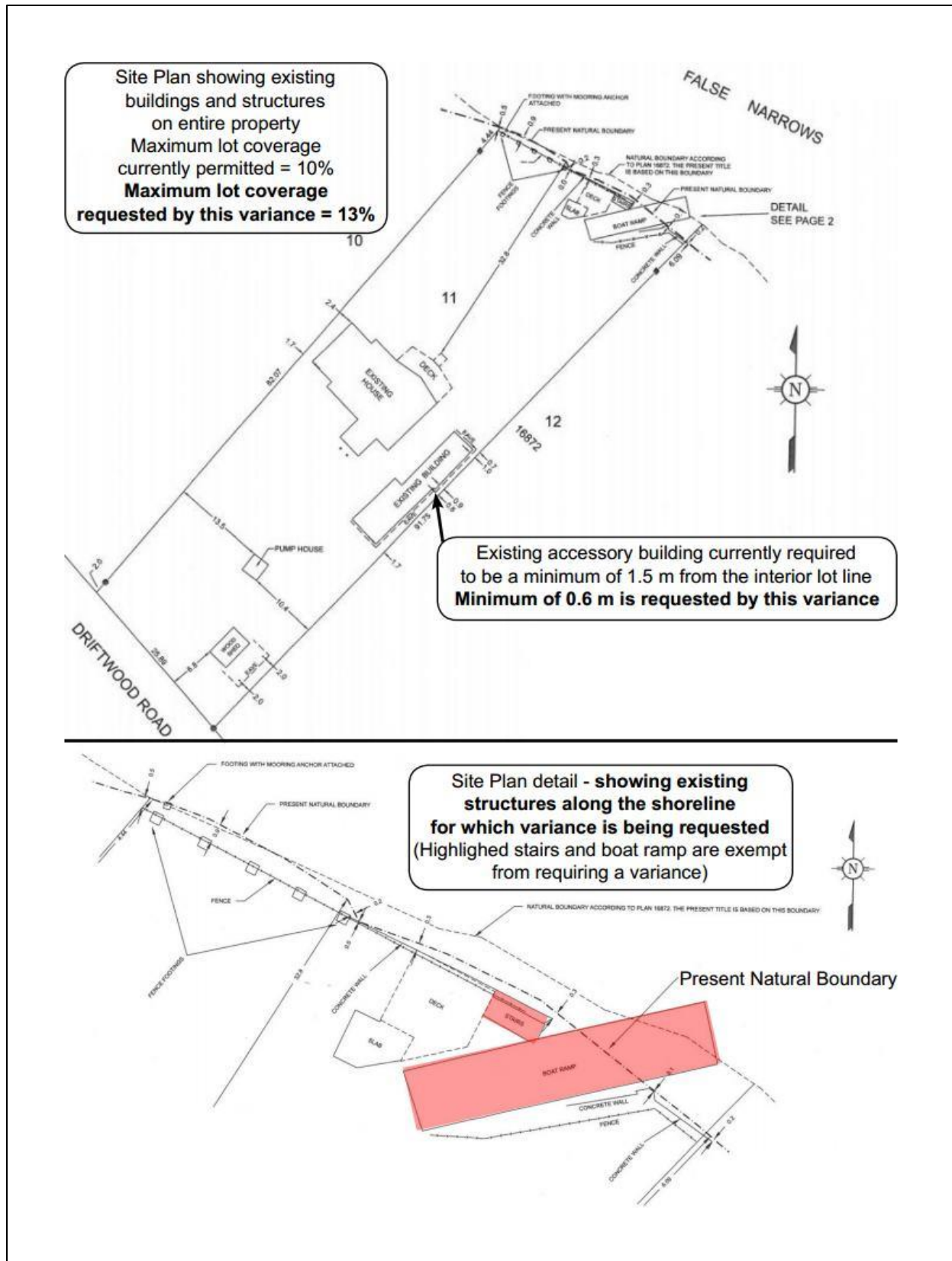
Deputy Secretary, Islands Trust

Date of Issuance

**IF THE DEVELOPMENT DESCRIBED HEREIN IS NOT COMMENCED BY THE ____ DAY OF 2017,
THIS PERMIT AUTOMATICALLY LAPSES.**

GABRIOLA ISLAND LOCAL TRUST COMMITTEE
GB-DVP-2015.1 (DA FONSECA)

Schedule A – Site Plan



Scale 1:400



ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF, UNLESS OTHERWISE NOTED.

PARCEL DIMENSIONS AND SETBACKS SHOWN HEREON ARE DERIVED FROM LAND TITLE OFFICE RECORDS AND A FIELD SURVEY CONDUCTED ON MAY 26, 2015.

THIS PARCEL MAY BE SUBJECT TO REGISTERED CHARGES, INTERESTS AND LEGAL NOTATIONS AS SHOWN ON TITLE NO. EN3298.

THIS PLAN DOES NOT PURPORT TO VERIFY COMPLIANCE WITH THE RESTRICTIONS THEREIN.

THE SIGNATORY ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR ANY DAMAGES THAT MAY BE SUFFERED BY A THIRD PARTY AS A RESULT OF ANY DECISIONS MADE, OR ACTIONS TAKEN BASED ON THIS DOCUMENT.

THE CIVIC ADDRESS OF THE BUILDING IS:
874 DRIFTWOOD DRIVE, MUDGE ISLAND.

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LEGEND:

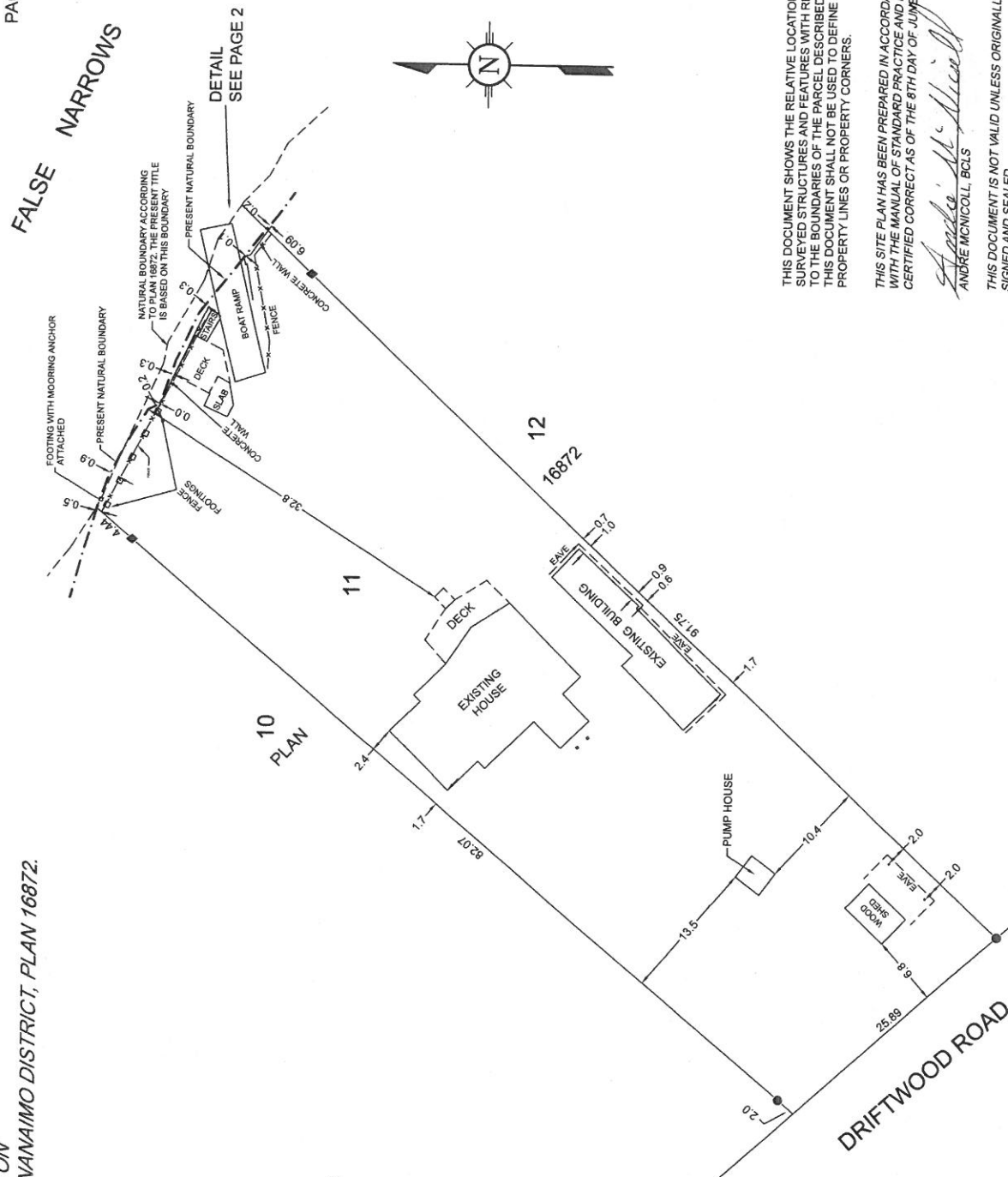
- DENOTES IRON POST FOUND.
- ◆ DENOTES ALUMINIUM POST FOUND.

THIS PLAN LIES WITHIN THE REGIONAL DISTRICT OF NANAIMO.

Harbour City Land Surveying Ltd.

1825 LATIMER ROAD
NANAIMO BC V9S 5H2
PHONE: 250-758-4180

DRAWING: 15043-SITE-PLAN.DWG
LAYOUT: 1



THIS DOCUMENT SHOWS THE RELATIVE LOCATION OF THE SURVEYED STRUCTURES AND FEATURES WITH RESPECT TO THE BOUNDARIES OF THE PARCEL DESCRIBED HEREON. THIS DOCUMENT SHALL NOT BE USED TO DEFINE PROPERTY LINES OR PROPERTY CORNERS.

THIS SITE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE AND IT IS CERTIFIED CORRECT AS OF THE 8TH DAY OF JUNE, 2015.

Andre McNicoll
ANDRE MCNICOLL BCLS

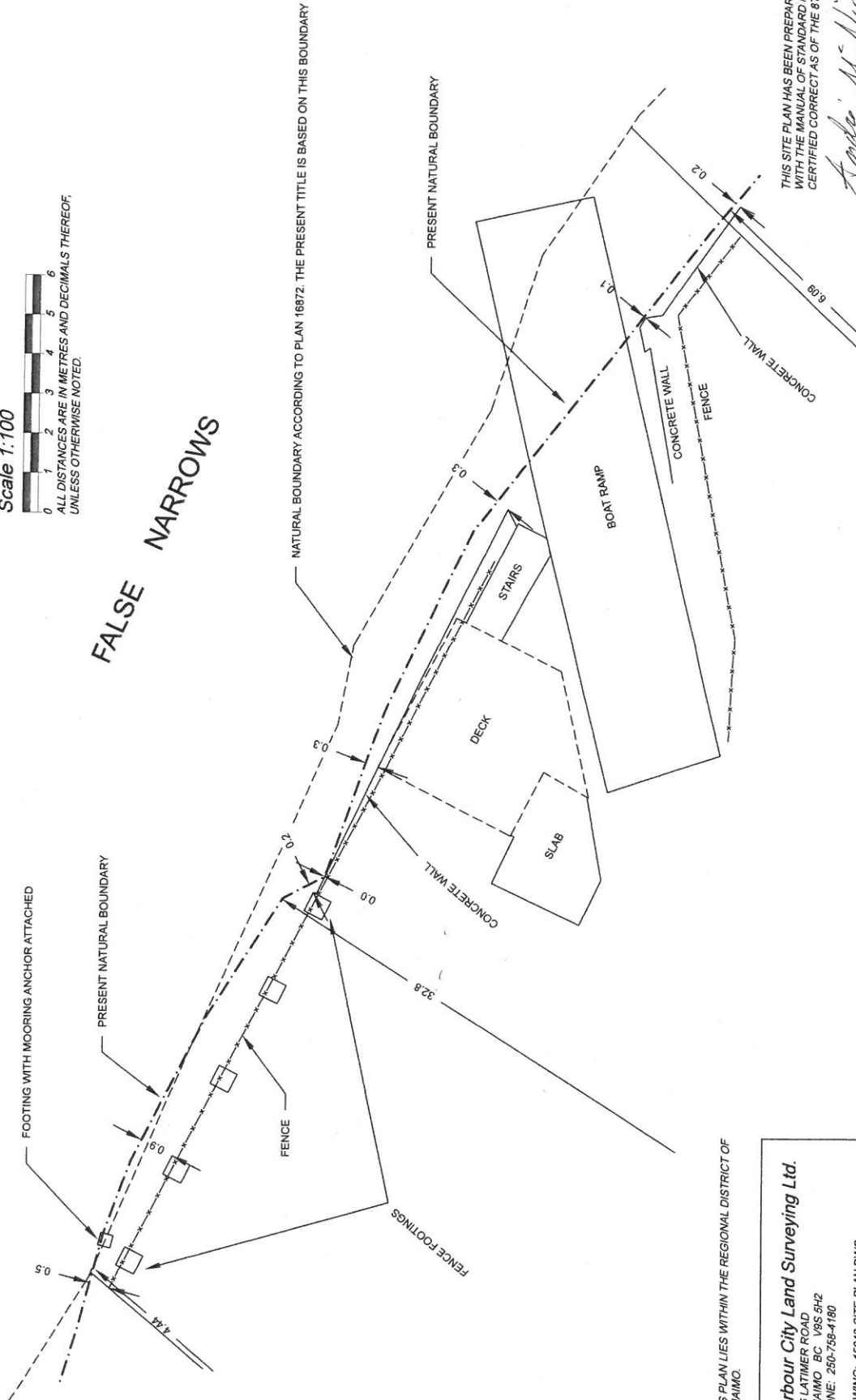
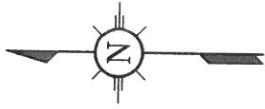
THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY SIGNED AND SEALED.

DETAIL

Scale 1:100



ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF, UNLESS OTHERWISE NOTED.



THIS PLAN LIES WITHIN THE REGIONAL DISTRICT OF NANAIMO.

Harbour City Land Surveying Ltd.

1825 LATIMER ROAD
NANAIMO BC V9S 5H2
PHONE: 250-758-4180

DRAWING: 15043-SITE-PLAN.DWG
LAYOUT: 2

THIS SITE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE AND IT IS CERTIFIED CORRECT AS OF THE 8TH DAY OF JUNE, 2015.

Andre McNicoll
ANDRE MCNICOLL, BCLS
THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY SIGNED AND SEALED.

STAFF REPORT

Date: November 3, 2015

File No: GB-LCB-2015.1 (Gabriola Golf & Country Club)

To: Gabriola Island Local Trust Committee
For the regular business meeting November 26, 2015

From: Teresa Ritemann, Planner 1

CC: Ann Kjerulf, Regional Planning Manager
Aleksandra Brzozowski, Island Planner

Re: Application to amend an existing license
(structural change to increase total occupant load)

Establishment Name: Gabriola Golf & Country Club
Applicant: Richard (Dick) Sharples
Establishment Location: 825 South Road, Gabriola Island

THE PROPOSAL:

As per Section 11.1 of the *Liquor Control and Licensing Act*, local governments - including the Gabriola Island Local Trust Committee (LTC) – are notified of and requested to provide comments on liquor license applications (including amendments to existing liquor licenses). This “*Liquor Primary and Liquor Primary Club - Structural Change Application*” proposes to expand the Gabriola Golf & Country Club’s current bar area in their clubhouse building located at 825 South Road. This proposed expansion would increase the licensed occupant load from 50 occupants to 83 occupants. The interior structural changes have already occurred; the interior layout of the kitchen and bar area allowed for an alteration from 970 square feet to 1,070 square feet – an increase of 10.3 percent in licensed floor area. The Gabriola Golf & Country Club feels that their current license meets their day-to-day operations, but they would like a larger licensed area to host activities such as “Celebrations of Life” and other events.

SUMMARY OF RECOMMENDATION:

When provided liquor license referrals such as this, the Gabriola Island Local Trust Committee has 3 options:

1. Choose to opt out of comment;
2. Provide comment if proposed establishment is anticipated to affect nearby residents; or
3. Provide comment if proposed establishment is not anticipated to affect nearby residents

For this specific application, Option 3 is recommended by Staff.

BACKGROUND:

Local governments, including the Gabriola Island Local Trust Committee, are notified (under Section 11.1 of the *Liquor Control and Licensing Act*) and requested to provide comments and recommendations with respect to liquor license applications (including amendments to existing liquor licenses). The document “*Local Governments and First Nations Roles and Responsibilities in the Provincial Liquor Licensing Process: Guide for Local Governments and First Nations*”¹ (“*The Guide*”) characterizes the role of local government in the application process as follows (**emphasis added**):

Local governments are responsible for addressing issues at the local or community level and often regulate areas such as **noise, parking and fire safety surrounding licensed establishments**. As they address issues at the local level, local governments ... are best situated to understand the potential impact of a licensed establishment on a community. Accordingly, the local government ...role in the licensing process is designed to allow local governments ... to **consider the impact of the licence application on their community** and to **provide comments in the form of a resolution**..

Despite the wide breadth of regulatory criteria that may be considered for new liquor license applications, this application is required to consider a select few regulatory criteria since it is an **amendment to an existing license**.

In evaluating liquor-primary licensing, “*The Guide*” requires local governments to provide a resolution within 90 days after receiving notification. The local government must provide a resolution that includes:

- Comments on both points in the regulatory criteria (potential for noise if the application is approved, and the impact on the community if the application is approved);
- Indication of whether or not the views of residents were gathered (and why if not gathered);
- The views of residents, if they were gathered;
- The method used to gather the views of residents;
- Comments and recommendations with respect to the views of residents;
- Recommendations as to whether the application should be approved; and
- The reasons for its recommendations.

The regulatory criteria for amendments to existing liquor licenses require only two considerations: the potential for noise and the impact on the community. These two matters are discussed in further detail in the Staff Comments section below.

¹ “*The Guide*”: <http://www.pssg.gov.bc.ca/lclb/docs-forms/PSSG-LocalGovt-Fst-Nation.pdf>

SITE CONTEXT:

The Gabriola Golf & Country Club clubhouse is located at 825 South Road on Gabriola Island. The subject property is split-zoned, with the southwest portion being Agriculture (where the clubhouse is located) and the northeast portion being Resource (where the parking is located) – see Figures 3 and 4. The agricultural portion is also within the Agricultural Land Reserve.

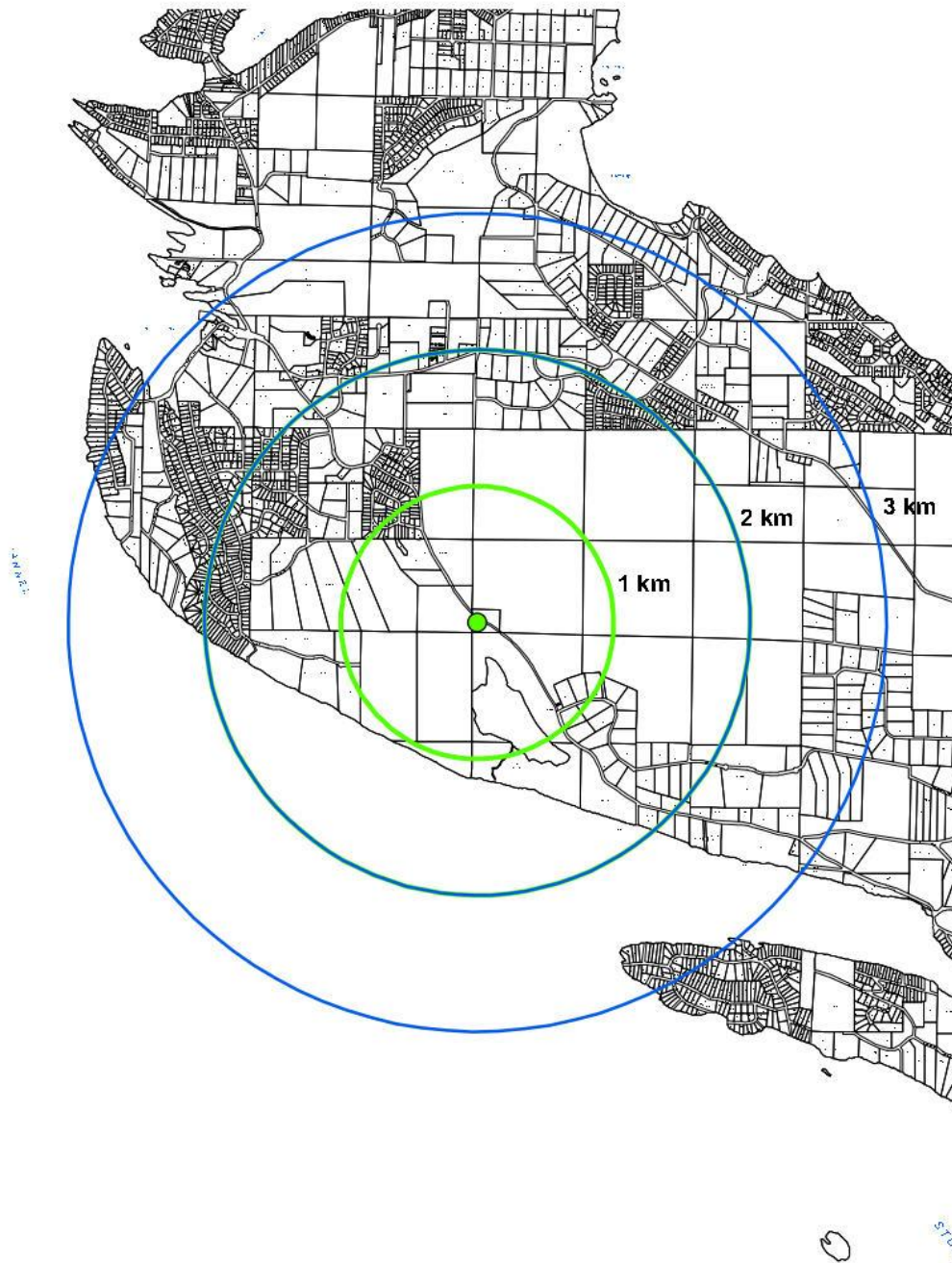
As shown in Figure 1 below, the property is subsected by South Road, with the clubhouse on the southwest portion of the property and the associated parking for the Golf & Country Club on the northeast portion. The property is surrounded by other properties that are resource-zoned: Forest (F), and Resource (R) land to the north and east, the golf course itself (Agricultural (AG)) and Hoggan Lake (Water Protection (WP3)) to the south, and additional Resource (R) land to the west.

The nearest residential-zoned property is more than 500 metres away, and a map of showing specified radii can be seen in Figure 2.

Figure 1: Subject Property



Figure 2



CURRENT PLANNING STATUS OF SUBJECT LANDS:

Official Community Plan

The Gabriola Island Official Community Plan Bylaw No. 166 designates the southwest portion of the property as Agriculture (AG), and the northeast portion as Resource (R).

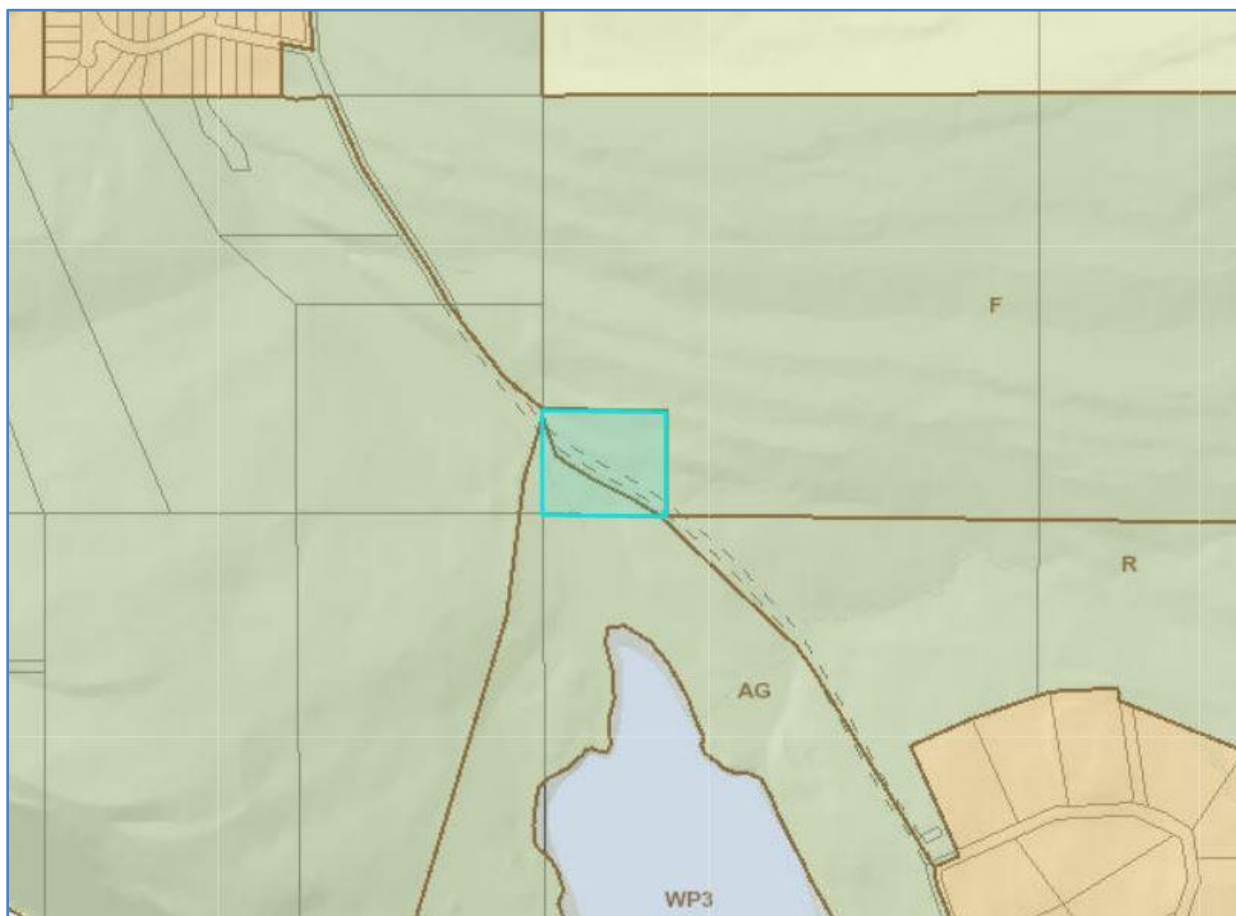
Land Use Bylaw

The Gabriola Island Land Use Bylaw No. 177 also split-zones the subject property, with the northeast portion of the property being Resource (R) and the southwest portion of the property as AG – Agriculture, as seen in the zoning map below.

Agricultural Land Reserve

The AG-zoned portion of the property is located within the Agricultural Land Reserve.

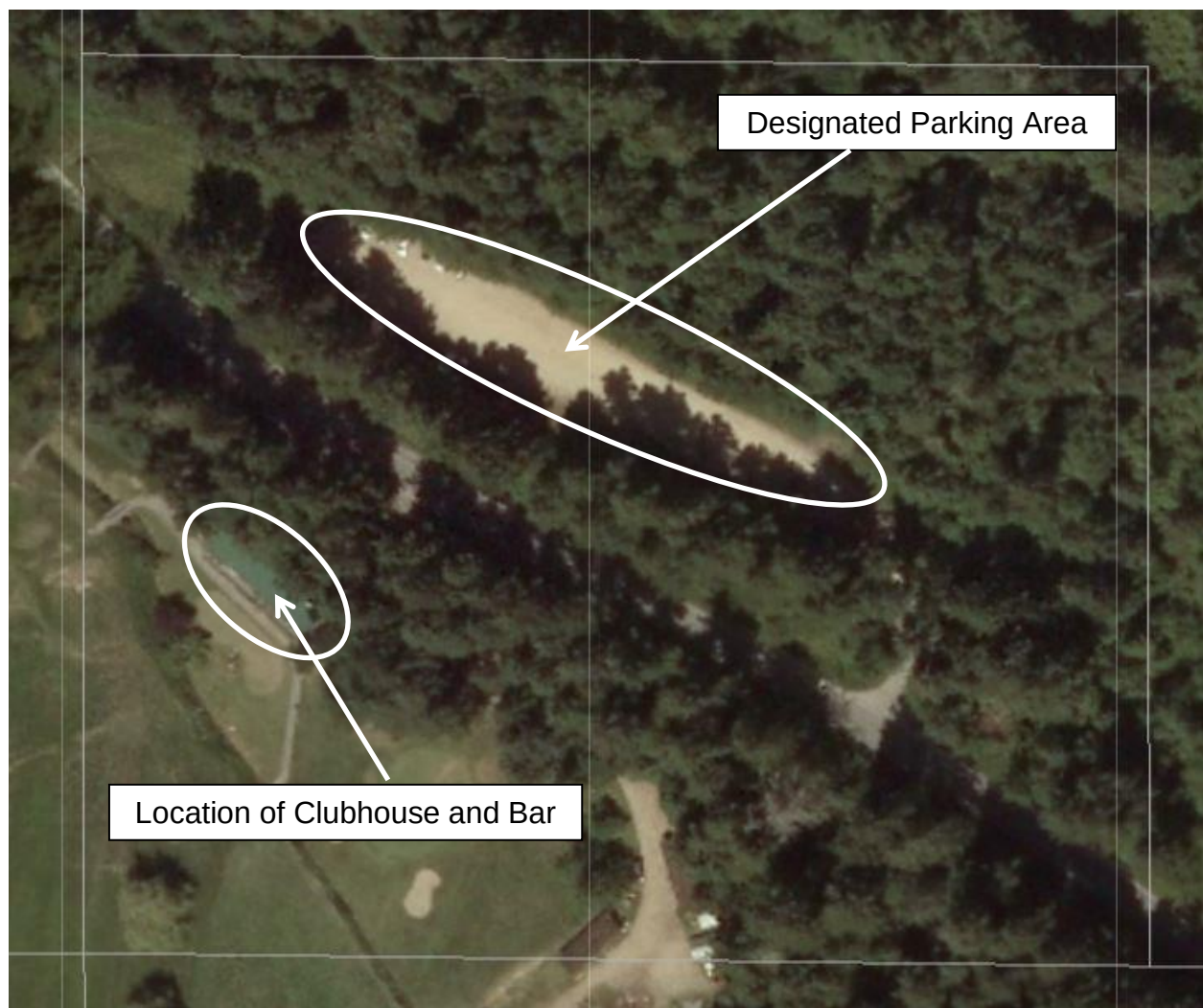
Figure 3: Zoning Map



Parking

Section B.5 of the Gabriola Island Land Use Bylaw No. 177 has a **standard parking requirement for golf course use of 50 stalls per nine holes, plus 1 stall per employee**. The application proposes to increase the occupant load from currently 50 persons to a maximum capacity of 83 persons (see Figures 5 and 6). However, the parking requirement is based on the number of holes the golf course has, as well as the number of employees, and although this application does not indicate whether or not the increase in occupant load will result in an increase in employees, the proposal would likely not affect the parking requirement, as the existing parking space capacity would likely exceed the parking need that would arise from this proposed liquor license amendment (see Figure 4 below).

Figure 4: Current Parking Area



COMMUNITY INFORMATION MEETING(S):

None held.

RESULTS OF CIRCULATION:

As Liquor Control and Licensing Branch applications are received on an infrequent basis (i.e. no more than once every few years), the Gabriola Island LTC considers these types of applications on a case by case basis and has no policies requiring consultation with the public or referral to other agencies.

The most recent LCB application received on Gabriola was for a temporary change to the Gabriola Golf & Country Club's liquor license in 2011 (GB/26) to extend the licensed area for a special event. For that application, staff sent a zoning confirmation letter to the Liquor Control and Licensing Branch.

STAFF COMMENTS:

The Liquor Control and Licensing Branch requests local governments consider and comment on two regulatory criteria for liquor license amendments:

1. The potential for noise; and
2. The impact on the community.

In consideration of these criteria, the following comments are provided:

The Potential for Noise

Nuisance noise from a licensed establishment most typically arises from conflict with nearby residents. The closest residentially-zoned properties are more than 700 metres away from the golf course clubhouse (see Figure 3: Zoning Map above). Due to the remoteness of the area, and that the increase in occupancy load is limited to indoor space inside the golf course clubhouse, **staff do not expect the proposal to have a considerable impact on noise levels**. Staff also contacted the Regional District of Nanaimo (RDN)'s Bylaw Enforcement Department – the authority with jurisdiction for noise nuisances under their Objectionable Noise Bylaw No. 1082). Bylaw Enforcement Staff at the RDN confirmed that they have no noise or other complaints on record for 825 South Road.

Community Impact

As mentioned above, the golf course clubhouse is sited in an area of very low residential density and the closest residential-zoned property is more than 500 metres away. Thus, **staff do not expect the proposal to have a significant community impact**.

Figure 5: Original Licensed Indoor Area = 970 sq. ft Total

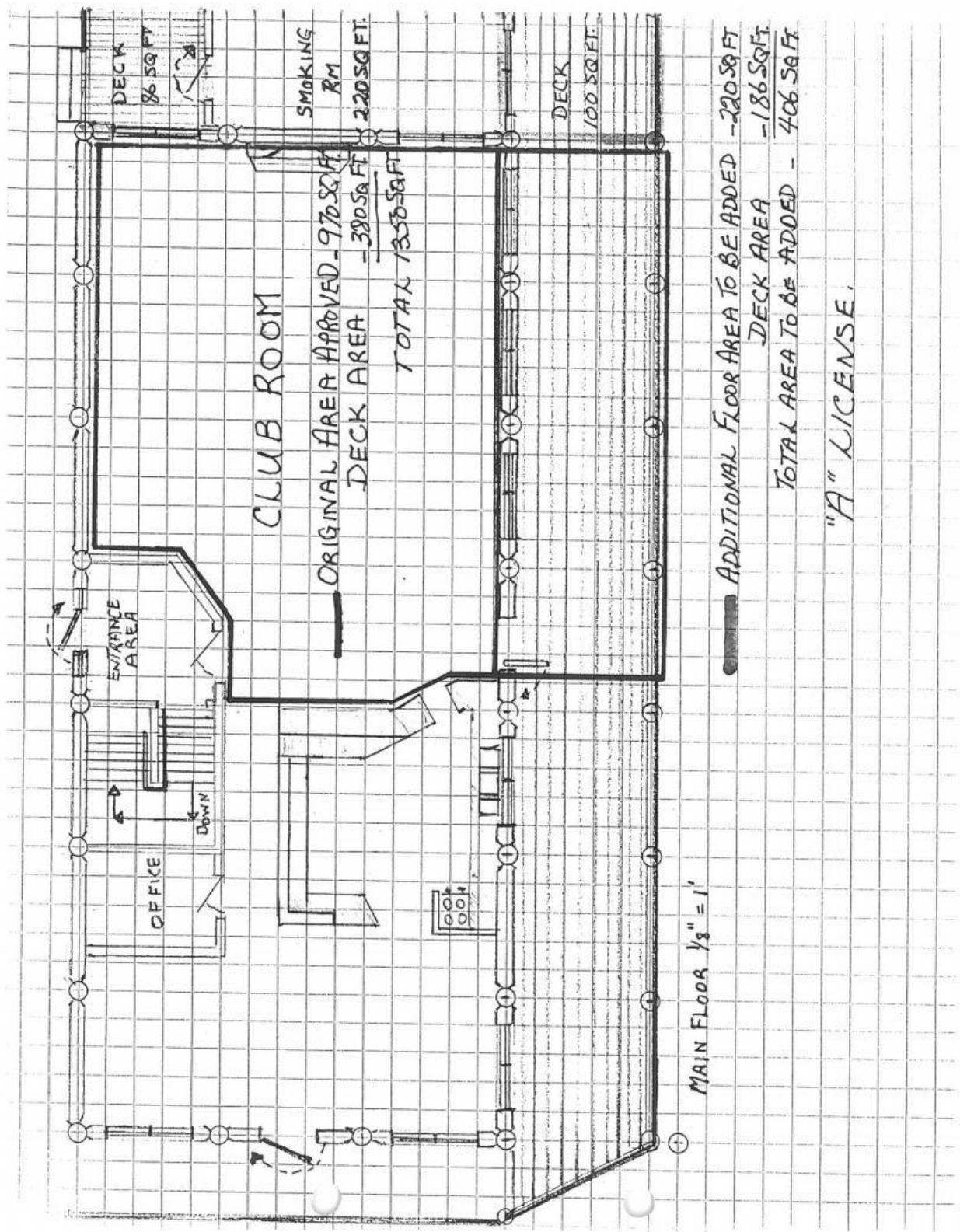
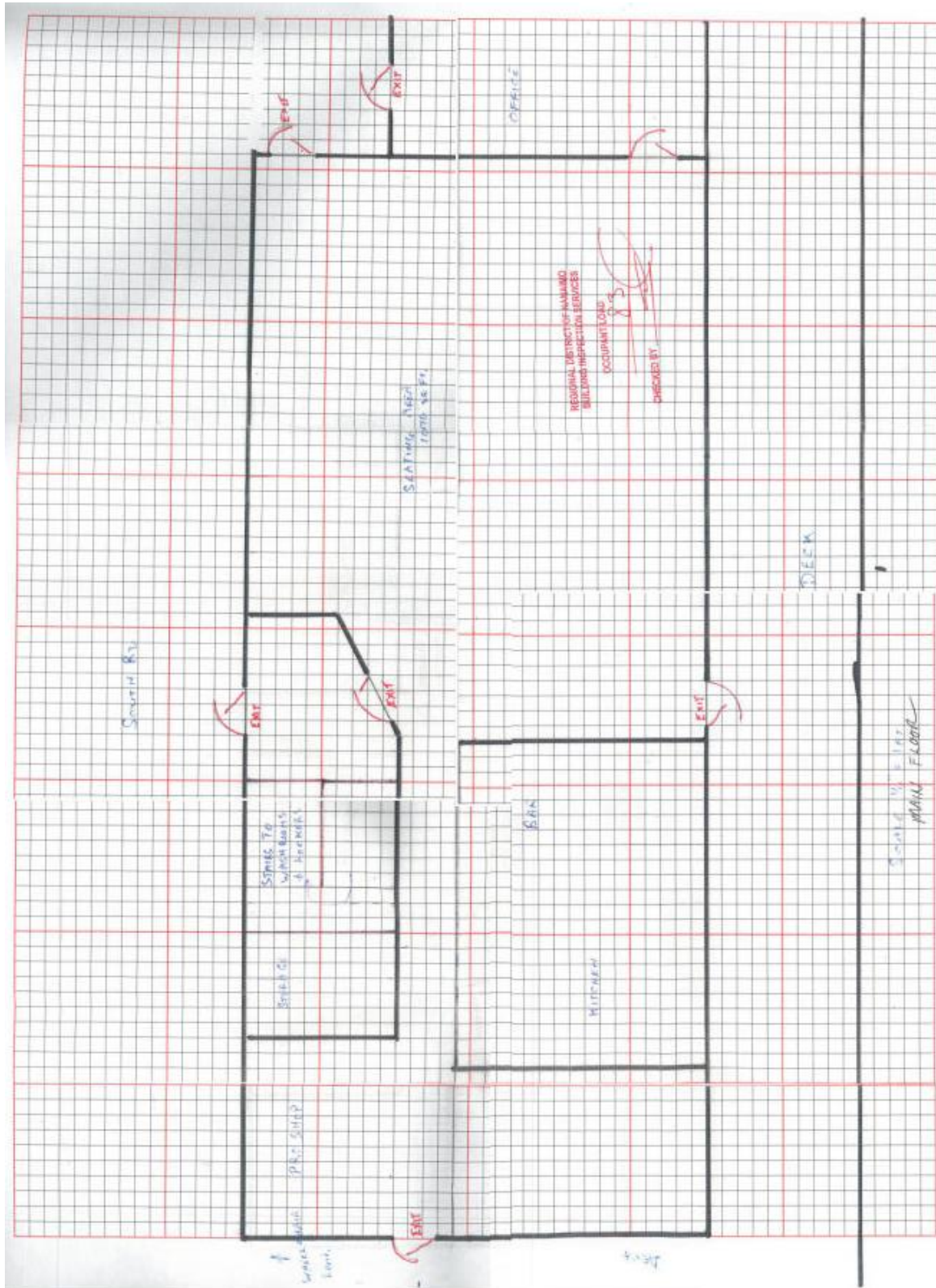


Figure 6: Amendment to Licensed Indoor Area = 1,070 sq. ft Total



Other Considerations:

Consultation

The Guide for Local Government and First Nations requests comment on a broad range of topics, including whether the views of residents were gathered and, if they weren't gathered, why not. Staff do not find a substantive reason for such consultation in light of the following factors:

- There are few residents in the immediate vicinity of the establishment; and
- There are no OCP policies encouraging consultation on such an application.

Despite the above, the LTC may still wish to undertake some consultation with nearby residents and may exercise discretion in determining the desired method of gathering the views of such residents.

Occupancy Loads – Are not issued by the Islands Trust or regulated in the Gabriola Island Official Community Plan or Land Use Bylaw. Occupancy loads for this application were inspected and stamped by the Regional District of Nanaimo Building Inspection Services (see Figure 6 above)

Agricultural Land Reserve – As this property is within the ALR, the applicant will also need to contact the Agricultural Land Commission to ensure that their proposed amendment meets the land use requirements within the ALR.

Parking – as considered under the Land Use Bylaw section above.

When provided liquor license referrals such as these, the Gabriola Island Local Trust Committee has 3 options:

1. Choose to opt out of comment;
2. Provide comment if proposed establishment is anticipated to affect nearby residents; or
3. Provide comment if proposed establishment is not anticipated to affect nearby residents

OPTION 1: Opt out of comment on this individual application

The LTC may choose to opt out of providing comment altogether for this application, but **must still provide a resolution stating such**. The Liquor Control and Licensing Branch will then:

- Gather the views of residents if issuing or amending a licence may affect them; and
- Consider the regulatory criteria by requesting additional information from the local government or First Nation

If this option is chosen, the Local Trust Committee would then pass a resolution such as:

“Be it resolved that the Gabriola Island Local Trust Committee does not wish to provide comments or recommendations to the Liquor Control and Licensing Branch with regard to Richard Sharples’ application (GB-LCB-2015.1) for the Gabriola Golf & Country Club’s request to amend their existing liquor primary license and increase their total occupant load from 50 to 83 occupants.”

OPTION 2: Provide comment if the proposed establishment is anticipated to affect nearby residents

If the proposed establishment is anticipated to affect nearby residents, staff should be directed to undertake a consultation process to gather the views of the residents who may be affected by the liquor license expansion in accordance with *"The Guide"* and to report back to the LTC once this consultation process has concluded.

OPTION 3: Provide comment if the proposed establishment is not anticipated to affect nearby residents

If this option is chosen, the Local Trust Committee would then pass a resolution such as:

"Be it resolved that:

1. The Gabriola Island Local Trust Committee (**recommends**/does not recommend) the amendment of the licence for the following reasons:
 - The regulatory criteria have been adequately addressed
2. The Gabriola Island Local Trust Committee's comments on the prescribed considerations are as follows:
 - a. The potential for noise if the application is approved:
 - Is not expected to be significant
 - b. The impact on the community if the application is approved:
 - Is not expected to be significant
3. The Gabriola Island Local Trust Committee decided not to gather the views of residents for the following reasons:
 - The proposal was deemed not likely to affect nearby residents

RECOMMENDATIONS:

As the planning analysis of the proposed amendment to the existing liquor license is not likely to affect nearby residents and adequately addresses the two regulatory criteria (potential for noise and impact on the community), staff recommends that the LTC support the application and provide the following resolution:

THAT the Gabriola Island Local Trust Committee choose Option 3 to inform the Liquor Control and Licensing Branch that it has reviewed and considered application GB-LUB-2015.1, but did not gather the views of residents; and resolves that:

1. The Gabriola Island Local Trust Committee **recommends** the amendment of the licence for the following reasons:
 - The two regulatory criteria have been adequately addressed

2. The Gabriola Island Local Trust Committee's comments on the prescribed considerations are as follows:
 - a. The potential for noise if the application is approved:
 - Is not expected to be significant
 - b. The impact on the community if the application is approved:
 - Is not expected to be significant
3. The Gabriola Island Local Trust Committee decided not to gather the views of residents for the following reasons:
 - The proposal was deemed not likely to affect nearby residents

Prepared and Submitted by:

Teresa Rittemann

November 3, 2015

Teresa Rittemann
Planner 1

Date

Concurred in by:

Ann Kjerulf

Ann Kjerulf
Regional Planning Manager

November 10, 2015

Date

Date: November 6, 2015

File No.: 6500-20 Dog Sitting Regulations

To: Gabriola Island Local Trust Committee
For the meeting of November 26, 2015

From: Aleksandra Brzozowski, Island Planner

CC: Ann Kjerulf, Regional Planning Manager

Re: Dog Sitting as a permitted use

Supplemental Report

The purpose of this report is to introduce proposed amendments to the Temporary Use Permit policies in the Gabriola Island Official Community Plan (Bylaw No. 166).

Project Objectives

The overall objective of this project is to review bylaw policies and regulations related to the issue of dog sitting on Gabriola.

The following are social goals within the Gabriola Island Official Community Plan (OCP) and are relevant when considering allowing a dog sitting use on Gabriola:

Social Goals

1. *To preserve the rural character and atmosphere of the Gabriola Planning Area and ensure that the community remains a viable, healthful place in which to live, providing for a variety of lifestyles in harmony with the natural environment.*
2. *To ensure that access and opportunity, now and in the future, are provided for the public to enjoy and appreciate the Gabriola Planning Area in harmony with the natural environment and existing communities.*
3. *To ensure that options for future generations to make land use decisions are not jeopardized.*
7. *To recognize that small, locally owned and home-based businesses contribute significantly to the character and sustainability of island life.*

The following OCP general land use objectives are relevant to the issue of dog sitting:

General Land Use Objectives

1. *To support land uses that provide for a variety of lifestyles which are in keeping with Gabriola's rural character;*
2. *To promote the preservation of land that has social, environmental and cultural significance;*
3. *To ensure development is undertaken in a manner which minimizes negative community and environmental impact; and*
4. *To limit development to a level that is compatible with the Community Plan and the object of the Islands Trust.*

The following OCP objectives and policies could also be relevant to the issue of dog sitting:

Temporary Use Permit Objectives

1. *To give consideration to allowing certain types of commercial and/or industrial uses to be located in the planning area which may by the nature of the proposed activity, be deemed to be a temporary and not a permanent use; and*
2. *to ensure that the integrity of an existing neighbourhood would not be adversely disrupted should an application for a temporary commercial or industrial uses permit be approved.*

Project Background

On October 2, 2014, the LTC added to the projects list a "new definition of in-house dog boarding". Please refer to the Staff Report presented at the June 11, 2015 LTC meeting for background information and the review of relevant policy and land use considerations.

In June, the LTC requested early public input. A general survey form was distributed on Gabriola in August and a memo summarizing the results of the survey was presented at the September 10, 2015 meeting.

In October, the LTC considered a draft bylaw amending the Home Occupation regulations in the Land Use Bylaw. Following discussion, the LTC requested staff to alternatively explore the use of Temporary Use Permits as a regulatory tool for dog sitting.

Staff Comments

Temporary Use Permits as a regulatory tool

The Local Government Act (LGA) enables local governments to issue a temporary use permit to allow a use that is not otherwise permitted by a zoning bylaw, to specify conditions under which the temporary use may be carried out, and to allow and regulate the construction of buildings and structures in respect of the use. Temporary use permits are issued for a maximum of three years and may be renewed, at the discretion of the local government, for an additional three year term.

Dog Sitting as a Temporary Use

Reviewing the objectives stated in the Gabriola Island OCP, early public input, input from Islands Trust and the Regional District of Nanaimo bylaw enforcement staff, and approaches to addressing this issue by other local governments, Staff has prepared language for a draft amendment bylaw for the Guidelines subsection of the Gabriola Island OCP Temporary Use Permits section. The draft language is as follows:

“For dog sitting operations, the following guidelines apply:

- i. the Local Trust Committee may consider issuance of a temporary use permit for a dog sitting operation if the proposal does not alter the character of the surrounding neighbourhood;
- ii. the Local Trust Committee should consider the cumulative effects on the neighborhood and Island of all temporary use permits issued for dog sitting operations;
- iii. the Local Trust Committee should require mitigating measures to address concerns in regards to noise;
- iv. the Local Trust Committee should require mitigating measures to address concerns in regards to screening and fencing;
- v. the Local Trust Committee should require mitigating measures to address concerns in regards to disposal of pet waste, so that the intended use will not adversely affect local well water or the quality of the natural environment (including the marine environment);
- vi. the Local Trust Committee should consider any other concerns deemed applicable with respect to the specific application;
- vii. the landowner should be required to provide proof that the property is able to accommodate a minimum of two vehicles in addition to those owned by residents;
- viii. the operator should be required to be available by telephone 24 hours/day, seven days a week;
- ix. a condition of the permit should limit the number of dogs on the lot at any one time to a particular maximum, which would include dogs permanently residing on the lot;
- x. a condition of the permit should require that the dogs be housed in the primary dwelling unit only;
- xi. a condition of the permit should require designated quiet hours;
- xii. a condition of the permit should require that the operator must provide owners of all adjacent properties, and landowners within a 100 metres radius of the dog sitting operation, with the operator’s phone number, and a copy of the temporary use permit;
- xiii. a condition of the permit should restrict the maximum number of signs advertising the dog sitting operation to one sign.”

Temporary Use Permit Guidelines in the Land Use Bylaw

In accordance with Section 920.2 of the *Local Government Act*, either “an Official Community Plan or zoning bylaw may designate areas where temporary uses may be allowed and may specify general conditions regarding the issue of temporary use permits in those areas.” Staff identifies this bylaw amendment project as an opportunity to move the specific guidelines for Temporary Use Permits from the Official Community Plan to the Land Use Bylaw. The rationale for this move is to place these more specific regulatory guidelines into the Land Use Bylaw, which is the bylaw where most all detailed land use regulation resides. It will also allow for better flexibility in the future to more readily make bylaw amendments if necessary. This would be similar to the work done in 2014 to move the guidelines for Development Permits from the OCP to the Land Use Bylaw.

Comments from Island Health regarding dog waste

Staff enquired to Island Health about any health concerns regarding dog waste. Island Health staff confirmed that the agency does not have set standards, regulations, or best practices explicitly regarding pet waste. A 30 metre setback from wells was suggested for any dog waste disposal system, akin to the setbacks required for human waste disposal systems.

Project Charter, Scope, and Timeline

A revised Project Charter reflecting timeline revisions is included as Attachment 1.

Resources and Roles

Financial and staff resources currently allocated for this project are adequate at this time.

Regarding roles, community engagement at the information and consultation level will be the joint role of Planning Staff and the LTC.

Communications

Staff and Trustees continue to solicit public input from the community on this matter. All written comments made to Staff or Trustees become part of the public record.

Next Steps

The LTC has the following three options to pursue as Next Steps on this project.

Option #1: Revise draft language

Should the LTC wish to revise major aspects of the TUP draft language, the LTC could request Staff to work on revising specific issues that require further research or technical work and return to the LTC at a later date with revised draft bylaw language.

Option #2: Request Staff to prepare Draft Bylaws No. 281 and No. 282 for First Reading

Should the LTC wish to proceed with an amendment bylaw to the TUP section of the OCP, the LTC should request Staff to prepare both a draft bylaw for the OCP (No. 282) to add dog sitting

as a TUP designation, and a draft bylaw for the LUB (No. 281) to add definitions and include TUP guidelines.

Option #3: Proceed no further with the Temporary Use Permit option

Should the LTC decide upon reviewing these presented draft provisions that bylaw amendments to the OCP Temporary Use Permits section is inappropriate, the LTC can choose to proceed no further. Should the LTC choose this option, it should indicate to Staff whether it wishes to re-visit the home occupation option, another option, or proceed no further with the project.

Summary of Planning Recommendations

Staff recommends that the LTC request Staff to prepare both a draft bylaw for the OCP (No. 282) to add dog sitting as a TUP designation, and a draft bylaw for the LUB (No. 281) to add definitions and include TUP guidelines.

RECOMMENDATIONS:

That the Gabriola Island Local Trust Committee:

1. Request Staff to prepare both a draft bylaw for the OCP (No. 282) to add dog sitting as a TUP designation and a draft bylaw for the LUB (No. 281) to add definitions and include TUP guidelines; and,
2. Endorse the revised Project Charter as presented.

Prepared and Submitted by:

Aleksandra Brzozowski

November 9, 2015

Aleksandra Brzozowski
Island Planner

Date

Concurred in by:

Ann Kjerulf

November 10, 2015

Ann Kjerulf, RPP MCIP
Regional Planning Manager

Date

Attachments:

1. Dog Sitting Regulations Project Charter, revised in November 2015

Dog Sitting Regulations - Project Charter

Gabriola Local Trust Committee

Date: May 12, 2015
Revised: November 9, 2015

Purpose To review Bylaw No. 177's definitions and regulations related to dog care, and to consider whether and where such activities should be allowed on Gabriola Island.

Background Bylaw enforcement on the issue of a dog sitting business taking place in a Small Rural Residential (SRR) zone raised requests from community members to review relevant bylaw definitions and regulations. The LTC identified this project as a Top Priority in January 2015.

Objectives

- To meet the changing needs of the Gabriola community while respecting their diverging opinions.
- To offer pet caregivers better opportunities to come into compliance with the Gabriola OCP and LUB.

In Scope

- Defining "kennel" and defining "dog sitting" in Bylaw No. 177
- Considering issues pertaining to dog sitting
- Determining appropriate regulations for dog sitting on Gabriola.

Out of Scope

- Review of existing regulations related to kennels
- Review of other home occupations

Workplan Overview

Deliverable/Milestone	Date
Preliminary report to LTC presenting analysis of situation	July 23, 2015
Early consultation with the community soliciting comments on the issue	September 10, 2015
Report to LTC with regulatory options and language	October—November 2015
Report to LTC with draft bylaw amendment for First Reading	January 2016
Referral to agencies.	January—February 2016
Report to LTC with proposed bylaw for Second Reading	March 2016
Community Information Meeting and Public Hearing	April 2016
Report to LTC with proposed bylaw for Third Reading	May 2016
Submission of proposed bylaw to Executive Committee	May 2016
Adoption of bylaw	July 2016

Project Team

Aleksandra Brzozowski, Island Planner	Project Manager
Ann Kjerulf, Regional Planning Manager	Team member
Barb Dashwood, GIS technician	Mapping support
Becky McErlean, A/ Legislative Clerk	Clerk support
Mike Richards & Emily Kozak, Office Admin Assistants	Admin Support

A/RPM Approval: Aleksandra Brzozowski
Date: July 10, 2015
RPM Approval: Ann Kjerulf
Date: November 10, 2015

Budget

Budget Source: 2015/2016 Special Projects

Fiscal	Item	Cost
2015/16	Public Hearing	\$1,000
2015/16	Communications	\$ 500
	Total	\$1,500

LTC Endorsement:

Resolution #: GB-2015-080 **Date:** July 23, 2015
Resolution #:

**Top Priorities****Gabriola Island**

No.	Description	Activity	Received/Initiated	Responsibility	Target Date	Status
1	Compliance with new Ministry of Agriculture bylaw standards regarding Medical Marihuana Production Facilities in the Agricultural Land Reserve		23-Jul-2015	Aleksandra Brzozow	31-Dec-2015	On Going
2	Review of roadside signage regulations	Consider options for businesses to have directional and other signage in the Ministry of Transportation right-of-way.	07-May-2015	Aleksandra Brzozow Teresa Rittemann		On Going
3	In house dog boarding definition (Gabriola)	Consider allowing in-house dog boarding in the small rural residential zone.	22-Jan-2015	Aleksandra Brzozow		On Going
4	Review of affordable housing strategies	To be further scoped by LTC	07-May-2015	Heather Nicholas Melanie Mamoser		On Going

**Projects****Gabriola Island**

No.	Description	Activity	Received/Initiated	Status
1	DeCourcy Island Official Community Plan Review and Advisory Planning Commission Appointments. Topics include: ·park areas without park zoning ·DAI Bylaw		21-Apr-2011	On Going
1	Hazardous areas and steep slopes development permit area ·also consider how to address areas of potentially problematic soils, shoreline erosion, and localized areas of steep terrain		21-Feb-2013	On Going
1	Forage Fish Mapping Workshop	March, 2013 resolution	05-Sep-2013	On Going
1	Land Based Aquaculture	Review most recent provincial direction on land based aquaculture and develop appropriate policies and regulations.	16-Jan-2014	On Going
1	Review OCP and LUB to include protective measures for biodiversity.	Species and Ecosystems at Risk (SEAR) Local Government Working Group may have resources for this project.	19-Jan-2012	On Going
1	Review OCP and LUB to improve protection of coastal areas.		19-Jan-2012	On Going
1	Review OCP and LUB to protect water quality and quantity.		19-Jan-2012	On Going
1	First Nations cultural references in land use planning	Work with Snuneymuxw First Nation (SFN) to seek funding for archaeological mapping and host and invite SFN Councillor Geraldine Manson to make a storytelling presentation on Gabriola.	27-Jan-2011	On Going

**Projects****Gabriola Island**

No.	Description	Activity	Received/Initiated	Status
1	Bylaw enforcement staff requested to provide a report on methods of proactive enforcement on advertised unlawful dwellings, as that is the point they are most likely to be unoccupied.		01-Nov-2012	On Going
1	Bylaw enforcement staff requested to provide an update on proactive enforcement of unlawful foreshore structures.		01-Nov-2012	On Going
1	Consider implementing Eelgrass protection regulations (see February 19, 2014 memorandum).		14-May-2014	On Going
1	Mudge Island MMPR bylaw amendments	See Mudge APC minutes of June 8, 2014	26-Jun-2014	On Going
1	DeCourcy Island MMPR bylaw amendments	Amendment to the DeCourcy Island Bylaw No. 44 regarding the production of medical marihuana under the Marihuana for Medical Purposes Regulation See staff report dated April 28, 2014	02-Oct-2014	On Going
1	Snuneymuxw First Nation Protocol Agreement Implementation		22-Jan-2015	On Going
1	Consideration of affordable housing strategies		02-Apr-2015	On Going
1	Village Core Review		02-Apr-2015	On Going
1	Strengthen relationship with First Nations		02-Apr-2015	On Going
1	Review of food truck regulations		02-Apr-2015	On Going
1	Including eagle nest mapping in Gabriola OCP		02-Apr-2015	On Going
1	Initiatives to encourage green and renewable energy		02-Apr-2015	On Going



Islands Trust

Print Date: November 17, 2015

Projects

Gabriola Island

No.	Description	Activity	Received/Initiated	Status
1	Housekeeping Bylaw Amendments	May 7, 2015 Bylaws 278 and 279 given third reading and forwarded to EC and Minister.	07-May-2015	On Going
1	Review bylaws around temporary use permits for short term vacation rentals		07-May-2015	On Going

*IslandsTrust***Applications****Development Variance Permit**

File Number	Applicant Name	Date Received	Purpose
GB-DVP-2015.1	JOAQUIM DA FONSECA Planner: Teresa Ritemann Planning Status	26-May-2015	PID 004-097-637 874 Driftwood Road, Mudge Island. Variance of the setback to the sea.
	<u>Status Date:</u>	17-Nov-2015	
	Notice has gone out		
	<u>Status Date:</u>	09-Nov-2015	
	Staff Report complete. Notice to go out and DVP to be presented at the 26-Nov LTC meeting.		
	<u>Status Date:</u>	06-Oct-2015	
	Planner currently writing Staff Report.		

Liquor Control Branch

File Number	Applicant Name	Date Received	Purpose
GB-LCB-2015.1	Sharples Dick Planner: Teresa Ritemann Planning Status	01-Oct-2015	PID: 009-736-077 825 South Road. Alteration to layout of kitchen to allow for larger bar area.
	<u>Status Date:</u>	17-Nov-2015	
	Staff Report complete and on November Agenda		
	<u>Status Date:</u>	09-Nov-2015	
	Planner currently reviewing application and writing Staff Report. Anticipated to be on the 26-Nov LTC meeting.		
	<u>Status Date:</u>	26-Oct-2015	
	Application received and assigned to Planner TR		

Subdivision

File Number	Applicant Name	Date Received	Purpose
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**Applications**

GB-SUB-2008.3

06-Oct-2008

To create 6 parcels btwn McCollum & Tait Roads. (PARCEL C (DD 51803I)
OF THE NORTH 1/2 OF THE NORTH EAST 1/4 OF SECTION 9,
GABRIOLA ISLAND, NANAIMO DISTRICT)

Planner: Marnie Eggen

Planning StatusStatus Date: 14-Apr-2014

parent lot is in transition of sale

Status Date: 25-Oct-2013

PLA extension

Status Date: 22-Aug-2012

PLA extension

File Number	Applicant Name	Date Received	Purpose
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GB-SUB-2011.1

23-Dec-2010

To create 2 parcels on Daniel Way (THE NORTHWEST 1/4 OF THE
SOUTHEAST 1/4 OF SECTION 22, GABRIOLA ISLAND, NANAIMO
DISTRICT, EXCEPT PARTS IN PLANS 22029, 30038, 32376 AND
VIP54644)

Planner: Marnie Eggen

Planning StatusStatus Date: 13-Jan-2015

Working to satisfy conditions

Status Date: 14-Mar-2014

PLA received

Status Date: 19-Feb-2014

Request for extension

File Number	Applicant Name	Date Received	Purpose
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GB-SUB-2012.2

Don Powell

24-Oct-2012

725 Church Street - subdivision to create one new lot and a remainder lot

Planner: Teresa Ritemann

Planning StatusStatus Date: 09-Nov-2015

No change in status.

**Applications**Status Date: 03-Sep-2014

Status has not changed. Still awaiting MOTI direction that reasons for non-approval have been overcome

Status Date: 18-Mar-2014

MOTI sent notification that the subdivision is NOT being approved. If the reasons for non-approval are not overcome in 1 year, the file will be closed. Note that Islands Trust staff re-sent our subdivision referral response as the notice of non-approval indicated that MOTI had not received it.

File Number	Applicant Name	Date Received Purpose
GB-SUB-2013.2	Glenna Borsuk Planner: Teresa Rittemann	09-Aug-2013 Subdivision to 6 lots
	<u>Planning Status</u>	
	<u>Status Date:</u>	09-Nov-2015
	No change in status.	
	<u>Status Date:</u>	09-Oct-2014
	Waiting further direction from applicant and confirmation that our conditions in original referral report have been met. Need final plan of subdivision before we can issue final approval.	
	<u>Status Date:</u>	06-Oct-2014
	MOTI sent PLA. Apparently was issued in Nov 2013 but a copy was not on file.	

File Number	Applicant Name	Date Received Purpose
GB-SUB-2013.3		28-Oct-2013 411 Daniel Way subdivision to create 2 parcels
	Planner: Teresa Rittemann	
	<u>Planning Status</u>	
	<u>Status Date:</u>	09-Nov-2015
	No change in status.	
	<u>Status Date:</u>	19-Mar-2015
	No change in status. Contacted MOTI to see if they closed the file, but have not yet heard back.	
	<u>Status Date:</u>	16-Feb-2015
	No change in status. File will be closed by MOTI after March 10, 2015.	

File Number	Applicant Name	Date Received	Purpose	Print Date: November 17, 2015
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GB-SUB-2015.1 BRIAN Henning 02-Nov-2015 PID: 027-939-774 and 027-939-766 (Ivory Way and Taylor Bay Road) boundary adjustment.

Planner: Lisa Webster-Gibson

Planning Status

Status Date:

File Number	Applicant Name	Date Received	Purpose
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GB-OTH-2014.1 GABRIOLA RADIO Aug-07-2014 Antenna Siting Proposal

SOCIETY

Planner: Aleksandra Brzozowski

Planning Status

Status Date: Apr-16-2015
 Industry Canada informed staff that the Gabriola Radio Society has claimed impasse. 15-Mar-2015
 Received letter from Industry Canada requesting information for impasse claim. 17-Mar-2015
 Response letter and information package sent to Industry Canada regarding impasse. 16-Apr-2015

Status Date: Oct-01--2015
 Advised by Industry Canada that the impasse Application is still under review

Status Date: Nov-03-2015
 CRTC does not issue Extension of time – Implementation date for CKGI-FM Gabriola Island, British-Columbia.

Status Date: Nov-17-2015
 Industry Canada has closed the file and returned the application – file closed.

Islands Trust
 LTC EXP SUMMARY REPORT F2016
 Invoices posted to Month ending October 2015

620 Gabriola	Invoices posted to Month ending October 2015	<u>Budget</u>	<u>Spent</u>	<u>Balance</u>
65000-620	LTC "Trustee Expenses"	1,500.00	337.03	1,162.97
LTC Local				
65200-620	LTC - Local Exp - LTC Meeting Expenses	4,250.00	2,403.79	1,846.21
65210-620	LTC - Local Exp - APC Meeting Expenses	750.00	0.00	750.00
65220-620	LTC - Local Exp - Communications	750.00	0.00	750.00
65230-620	LTC - Local Exp - Special Projects	2,250.00	190.48	2,059.52
TOTAL LTC Local Expense		<u>8,000.00</u>	<u>2,594.27</u>	<u>5,405.73</u>
Projects				
73001-620-2001	Gabriola OCP/LUB	3,500.00	3,462.74	37.26
73001-620-4026	Gabriola RDN/SFU Groudwater Mapping	6,250.00	6,250.00	0.00
TOTAL Project Expenses		<u>9,750.00</u>	<u>9,712.74</u>	<u>37.26</u>

Gabriola Island Local Trust Committee

POLICIES AND STANDING RESOLUTIONS

Updated: January 12, 2015

No	Meeting Date	Resolution No.	Issue	Policy and Description
1.	January 29, 2010	GB-025-2010	Communication Towers and Antennae	It was MOVED and SECONDED that the Gabriola Island Local Trust Committee adopt the following standing resolution: • Proposals for any new or expanded communication towers and antennae require an application to the Gabriola Islands Local Trust Committee. • The application process shall comprise a public consultation component, which includes at least one notification to neighbours, one public meeting and one advertisement in both local newspapers. • The public consultation process shall be determined by the Local Trust Committee after initial review of the proposal; however, as a minimum, the proponent shall give written notice to Islands Trust Northern Office staff and the Snunéymuxw First Nation, all owners and residents of properties within a 2 kilometre radius of the subject property where the facility is proposed. The required notice shall include the following information: ○ the proposed location of the tower on the subject site ○ a description of the predicted power density level of the antenna/tower ○ methods to mitigate any aesthetic or visual impact ○ description of the natural environment, any sensitive ecosystems or other important habitat areas within 120 metres of the subject property and mitigation of impacts to such areas ○ physical details and example illustrations of the tower including its height, colour, type and design ○ the time and location of a public meeting and advertising ○ the name and contact information of the contact person employed by the proponent ○ the name and all contact information of the Islands Trust planning staff available for public comments and questions regarding the proposal; and ○ the proponent may be required to enter into a cost recovery agreement with the Islands Trust, in order to offset application processing costs incurred.

Trust Fund Board Report to Local Trust Committees and Bowen Island Municipality October 2015

Opportunity Fund Grant for Mayne Island Conservancy – Mayne Island

The Trust Fund Board received and approved one Opportunity Fund grant at its last meeting, to assist the Mayne Island Conservancy with costs related to the ecological assessment of a potential conservation property. The Opportunity Fund is supported by individual donors and fundraising initiatives, such as the sale of our birthday calendars. The Fund is available to our partners, through grants, in support of land conservation projects in the Islands Trust area.

Trespass at Mount Trematon Nature Reserve– Lasqueti Island

Islands Trust Fund continues to address the damage caused by trespass at Mount Trematon Nature Reserve on Lasqueti Island. A professional biologist and local machine operator were supported by staff and local volunteers to remove the culvert and naturalize the stream bed. Vehicle access has been restricted with a culvert and gate, and the boundary has been surveyed and clearly marked.

Annual Monitoring Report

The Trust Fund Board received and reviewed the results of this year's monitoring visits. Only minor issues were identified at the time of monitoring and staff are currently meeting with landowners and working to remedy these issues.

Management Plans

Horton Bayviary Nature Reserve (Mayne Island)

The Trust Fund Board reviewed and approved the Horton Bayviary Nature Reserve Management Plan, prepared under contract by the Mayne Island Conservancy Society. The management plan was an update to the original plan, prepared after the property was acquired by the Trust Fund Board in 2002.

Manzanita Ridge Nature Reserve (Salt Spring Island)

The Trust Fund Board and Salt Spring Island Local Trust Committee co-hold a covenant on Manzanita Ridge Nature Reserve, which is owned by the Salt Spring Island Conservancy. The Trust Fund Board reviewed the new management plan for the Reserve and found it to be consistent with the terms of the conservation covenant, and therefore it was approved.

Fallow Deer Control on Sidney Island

The Board approved a request from the strata landowners on Sidney Island to allow hunting of fallow deer in the covenant areas. The landowners have been working for years to dramatically reduce the population of fallow deer on the island, which are non-native and having a severe negative impact on the vegetation and ecology.

Clam Bay Farm Covenant – North Pender Island

The Board finalized and signed off on a conservation covenant on a property known as Clam Bay Farms. The covenant protects approximately 8.25 hectares of Coastal Douglas-fir forest. As the covenant is a requirement of a development application, staff will notify the North Pender Local Trust Committee officially when the covenant is registered.

Evaluation of Outreach Projects

Staff provided the Board with a review of two recent pilot outreach programs – a landowners contact program on Lasqueti Island and outreach to realtors and other professionals on North Pender Island. Both projects resulted in successful outcomes, and staff will be working to develop realtor outreach events on other major islands.

To: Local Trust Committees, Bowen Island Municipality **For the Meeting of:** November 26, 2015.

From: Kate Emmings, Ecosystem Protection Specialist & Jennifer Eliason, ITF Manager

File No.: 5450-30; 0410-20

SUBJECT: COASTAL DOUGLAS-FIR CONSERVATION STRATEGY

DESCRIPTION OF ISSUE:

At its September 2015 meeting, Trust Council asked staff to forward the CDFCP Conservation Strategy to local trust committees and Bowen Island Municipality as a potential resource. This briefing explains the issue and offers some options for further action.

The Coastal Douglas-fir and Associated Ecosystems Conservation Partnership (CDFCP) has finalized a Conservation Strategy for Coastal Douglas-fir forests and their associated ecosystems. The whole of the Islands Trust area is included in the strategy and, as a member of the CDFCP, the Islands Trust and its political bodies are expected to find ways to support or achieve some of the goals within the CDFCP Conservation Strategy.

BACKGROUND:

The Threatened Coastal Douglas-fir Forest

The Coastal Douglas-fir Biogeoclimatic (CDF) Zone is the smallest and most at-risk biogeoclimatic zone in British Columbia and is of great conservation concern (Biodiversity BC, 2008). It is home to the highest number of species and ecosystems at risk in BC, many of which are ranked globally as imperilled or critically imperilled (BC Conservation Data Centre, 2012). The global range of the CDF lies almost entirely within BC, underscoring both its global uniqueness and BC's responsibility for its conservation. **Twenty-five percent (25%) of the CDF lies within the Islands Trust area.**

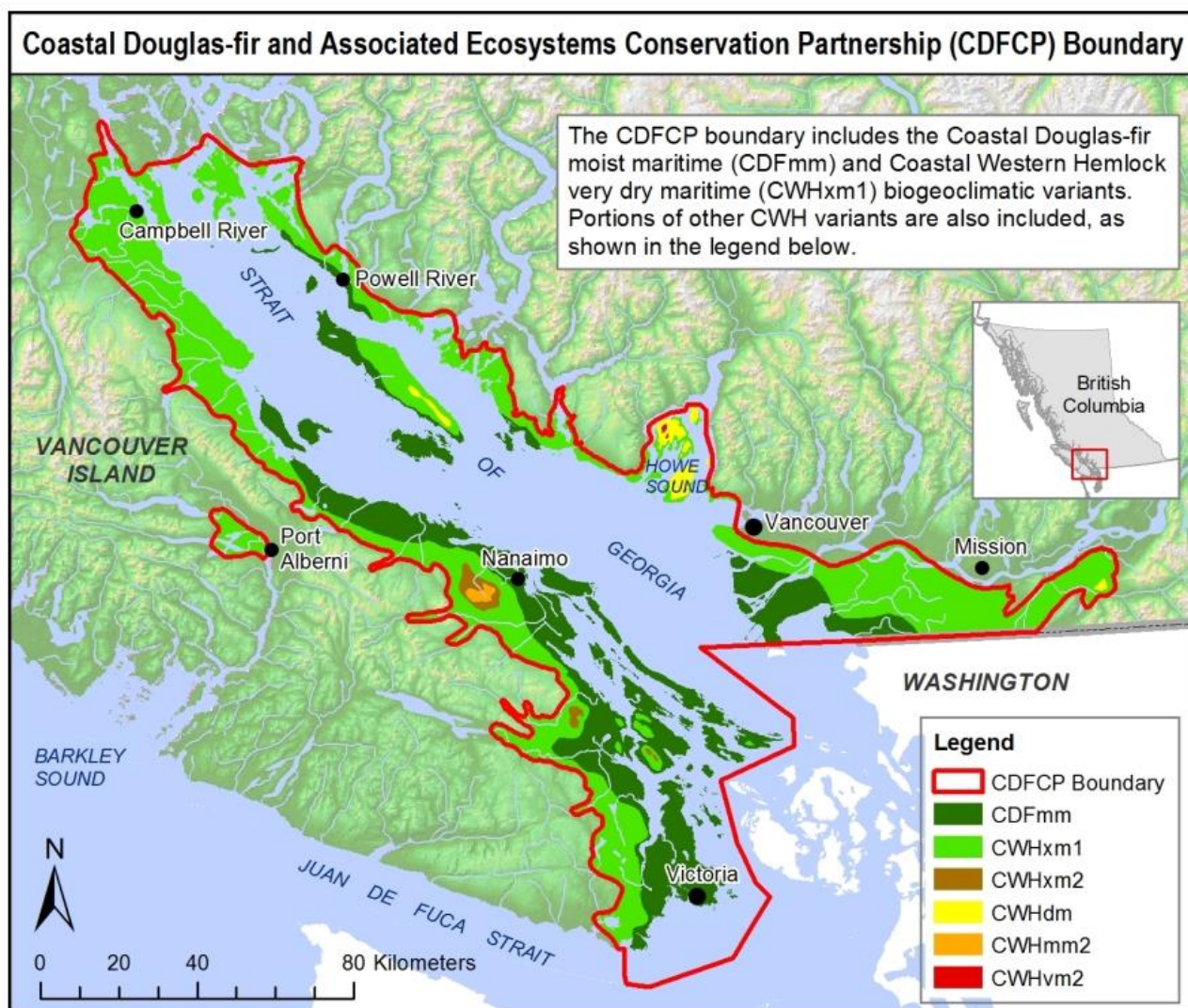
Coastal Douglas-fir ecosystems are also found in the Coastal Western Hemlock very dry maritime subzone (CWHxm1) which has many similarities with ecosystems in the CDF Zone. The CWH xm1 is found on Salt Spring and the islands in Howe Sound and is at similar conservation concern.

Of all the zones in BC, the CDF has been most altered by human activities. Less than 1% of the CDF remains in old growth forests (Madrone, 2008) and 49% of the land base has been permanently converted by human activities (Hectares BC, 2010). The trend of deforestation and urbanization continues and has resulted in a natural area that is now highly fragmented with continuing threats to remaining natural systems. Approximately 9% of the CDF zone is protected in conservation areas (MFLNRO, 2011). Of the remaining land in the CDF zone, approximately 80% is privately owned, which creates significant challenges for protection. The Islands Trust area still has high quality natural spaces, making it a natural focus for CDF conservation.

The Coastal Douglas-fir and Associated Ecosystems Conservation Partnership (CDFCP):

Established in 2013, the CDFCP is a forum for communication and collaboration regarding the maintenance and restoration of healthy Coastal Douglas-fir and Associated Ecosystems. The CDFCP recognizes the need for shared stewardship of ecosystems and strives to focus resources collaboratively, strategically and transparently to avoid duplicating existing efforts and

to maximize conservation gains. The CDFCP has 34 members, including four local governments and two Provincial ministries. Its area of interest is shown in the map below and includes the entire Islands Trust area. More information about the CDFCP is available at www.cdfcp.ca.



Islands Trust Involvement in the CDFCP:

The Trust Fund Board and the Gambier Island Local Trust Committee are signatories to the CDFCP Statement of Cooperation and the Islands Trust Fund's Ecosystem Protection Specialist is a CDFCP Steering Committee member. Islands Trust Council resolved to sign the CDFCP Statement of Cooperation at its March 2013 meeting and received a presentation from the CDFCP in June 2014. At that time, Trust Council passed the following resolutions:

TC-2014-061

That the Islands Trust Council request that the Executive Committee consider sponsoring an Association of Vancouver Island Coastal Communities/Union of BC Municipalities resolution that calls on the Province to provide funding for the CDFCP and for land protection initiatives in the CDF zone.

TC-2014-062

That the Islands Trust Council request that staff work with the CDFCP to develop recommendations for Trust Council's consideration regarding local planning tools that local trust committees could use to protect Coastal Douglas-fir ecosystems.

A resolution requesting adequate provincial funding for the CDFCP, including implementation of recommendations made by the CDFCP, was endorsed by AVICC and passed at UBCM in September 2013.

In February 2015, the Islands Trust Executive Committee passed the following resolution:

EC-2015-013

That the Executive Committee direct staff to finalize and forward a resolution requesting provincial funding for the Coastal Douglas-fir and Associated Ecosystems Conservation Partnership (CDFCP) to the Association of Vancouver Island and Coastal Communities (AVICC) and Union of BC Municipalities (UBCM) with a backgrounder for consideration by members at the 2015 conventions.

The AVICC endorsed a resolution, which was then presented to UBCM at the September 2015 meeting, where it passed.

Creation of the CDFCP Conservation Strategy:

In the summer of 2014, the CDFCP, working with the Nature Conservancy of Canada, obtained \$17,500 in funding for a CDFCP Conservation Strategy. Work began on the strategy in the fall of 2014 and the strategy was completed in July 2015.

The Islands Trust was invited to provide feedback on the plan through participation in a workshop in February 2015 which was attended by Tony Law, Hornby Island Trustee, and by the Islands Trust Fund Ecosystem Protection Specialist. Representatives from twenty-one (21) CDFCP member organizations attended. The Executive Committee was updated on work with the CDFCP in May 2015, and provided with notes from the February workshop.

Trust Council received the completed CDFCP Conservation Strategy at its September 2015 meeting and passed the following resolutions:

TC-2015-121

That Islands Trust Council receive the CDFCP Conservation Strategy for information and request the Chair to send a letter to the CDFCP Steering Committee in support of the Conservation Strategy and indicating a willingness to work with the CDFCP to implement the strategy as capacity allows.

TC-2015-122

That staff be requested to forward the CDFCP Conservation Strategy to local trust committees and Bowen Island Municipality as a potential resource.

ATTACHMENT(S):

Letter from the Islands Trust Chair to the CDFCP, November, 2015
CDFCP Conservation Strategy

AVAILABLE OPTIONS:

- 1) Receive the CDFCP Conservation Strategy for information.
- 2) Request local planning staff work with CDFCP to draft recommendations regarding land use planning tools that will effectively conserve Coastal Douglas-fir forest ecosystems.
- 3) Become a signatory to the CDFCP Statement of Collaboration (In addition to the Trust Council and the Trust Fund Board, the Gambier Island LTC has joined the CDFCP. Other LTCs or municipalities could also become partners).

FOLLOW-UP:

Islands Trust Fund staff will continue to participate on the CDFCP Steering Committee.

Planning staff will follow up as directed by the local trust committee or island municipality.

Prepared By: Kate Emmings, Ecosystem Protection Specialist & Jennifer Eliason, ITF Manager

Reviewed By: Lisa Gordon
Director, Trust Area Services

Date: November 9, 2015
Reviewed By: David Marlor
Director, Local Planning Services

Date: November 10, 2015



COASTAL DOUGLAS-FIR
& ASSOCIATED ECOSYSTEMS
CONSERVATION PARTNERSHIP

**CONSERVATION
STRATEGY
2015**

ACKNOWLEDGEMENTS

This Conservation Strategy was developed by the Coastal Douglas-fir Conservation Partnership, under the guidance of the Steering Committee: Tim Ennis, Darryn McConkey, Kate Emmings, Dave Haley, Peter Arcese, Todd Golumbia, Adam Taylor, Kim Richardson, and Erik Piikkila.

Members of the Partnership met in February 2015 to review the Strategy and provide input into the objectives and actions.

The funding support for the planning process from the Real Estate Foundation of British Columbia is gratefully acknowledged. We also appreciate the contributions from the Ministry of Forests, Lands and Natural Resource Operations, Cowichan Valley Regional District and Islands Trust Fund. Funding for the Marxan project was provided by the Real Estate Foundation of BC, North Pacific Landscape Conservation Cooperative, Forest Renewal BC, and University of British Columbia.

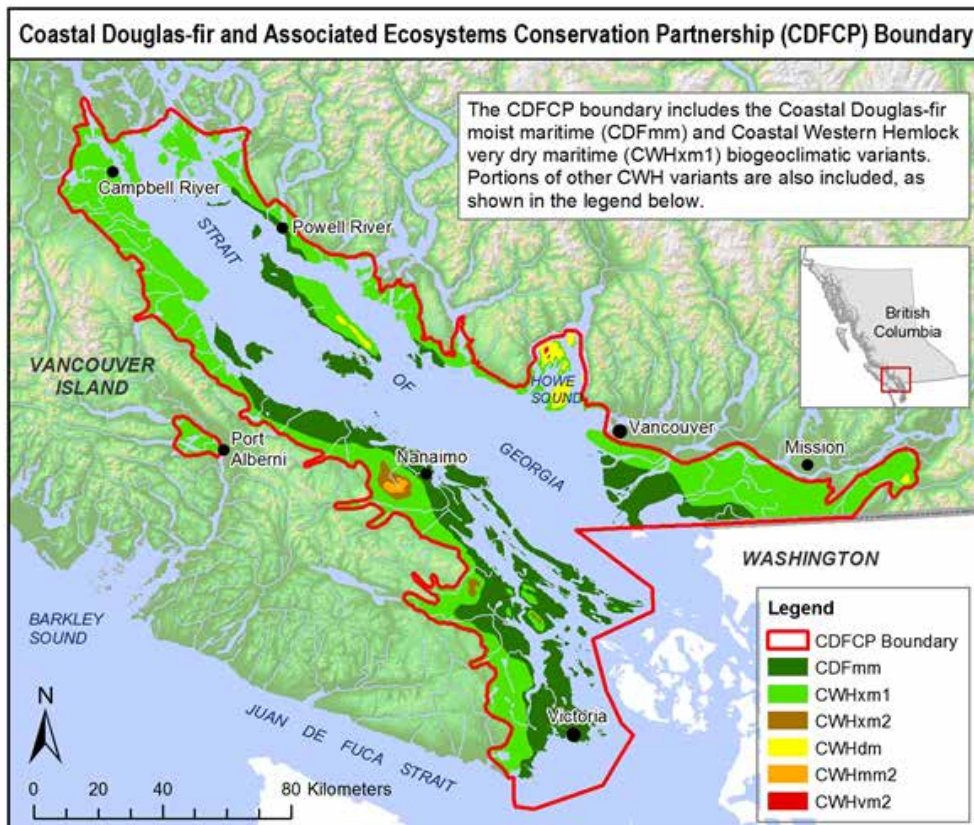


Writing and facilitation for this project was provided by Judith Cullington, Judith Cullington & Associates

INTRODUCTION

Purpose of the Conservation Strategy

This Conservation Strategy sets a 30-year vision and goals for the Coastal Douglas-fir Conservation Partnership (CDFCP); with objectives and actions identified for the next five years (2015–2020). The intent is to review and update this strategy at least every five years.



Coastal Douglas-fir and Associated Ecosystems

The Coastal Douglas-fir biogeoclimatic zone (CDF zone) is the smallest and most at-risk zone in British Columbia (B.C.). As home to the highest number of species and ecosystems at risk in B.C., many of which are ranked globally as imperiled or critically imperiled, it is of great conservation concern. The global range of the CDF lies almost entirely within B.C., underscoring both its global uniqueness and B.C.'s responsibility for its conservation. Of all the zones in the province, the CDF has been most altered by human activities. Less than 1% of the CDF remains in old growth forests and 49% of the land base has been permanently converted by human activities. The trend of deforestation and urbanization continues and has resulted in a natural area that is highly fragmented with continuing threats to remaining natural systems. Approximately 9% of the CDF zone is currently protected in conservation areas. The extent of disturbance, combined with the low level of protection, places the ecological integrity of the CDF zone at high risk.

As shown on the map, the area of concern to the CDFCP includes some parts of the Coastal Western Hemlock very dry maritime zone (CWHxm1 and CWHxm2), as these ecosystems share similar attributes and threats.

Threats to the integrity of the Coastal Douglas-fir and associated ecosystems (CDFAE) include:

- **Land conversion.** The CDF zone is 80% privately owned, in part due to the historic Esquimalt and Nanaimo (E & N) railway land grant. About 10% is provincially owned and the remaining 10% is owned by other levels of government. Much of the private land has been converted to urban and rural development, transportation and utility corridors, and agricultural use. Forty-nine percent (49%) of the land base in the CDF has been converted to human uses.
- **Ecosystem degradation.** Less than 1% of the CDF zone currently remains as old growth forest (over 250 years in age), and forests over 100 years in age now occupy only 4% of their former extent. Deforestation in a land base that was once predominantly forested has consequences for the small patch ecosystems, specialized habitats and at-risk species that were previously buffered and supported by the ecological processes of the surrounding forests. Remaining forests are predominantly younger, less diverse and bisected by roads. These changes affect hydrological patterns and the ability to filter and store water; destabilizes forest soils and reduces capacity to regenerate soils; alters the resistance to the invasion of alien species; alters prey-predator relationships; alters carbon and nutrient cycles, including the release of carbon to the atmosphere; and removes specialized habitat features for wildlife foraging, shelter and breeding.
- **Loss of natural processes.** Wildfires and deliberate burning by First Nations played an important role in shaping CDF ecosystems. Fires create openings in the canopy, kill off other less fire-resistant species, and help to establish and maintain the large, thick-barked Douglas-fir, Maple and Garry Oaks as the dominant trees in the area. Today and for the past 100 years, forest fires have been suppressed.
- **Species disturbance.** Human influence has artificially changed the balance of species, with resulting impacts on ecosystems. An example is the reduction in cougar and wolf populations, which has led to the hyper-abundance of deer populations and in turn reduction of native plants on which deer like to feed.
- **Invasive species** have increasingly intruded into all ecosystem types, displacing native plants and animals, altering ecosystem function and dynamics, and removing food sources for wildlife.
- **Climate change.** Changing climates are increasingly placing stress on native ecosystems and species through changes in seasonal temperatures, reduced snowpacks, winter rains instead of snowfalls, rain on snow events, and water availability, as well as introducing new pests and diseases.
- **Environmental Contaminants.** Environmental contaminants, including fertilizers, pesticides, household and industrial chemicals, sediment from human land disturbance, and human and animal wastes affects the function of ecosystems in the CDFAE. Some of these contaminants are from point sources, such as industry, but many come from non-point sources such as road infrastructure, housing developments, agriculture, and forestry.



A MOSAIC OF PROTECTION AND STEWARDSHIP

Coastal Douglas-fir and associated ecosystems (CDFAE) are found across the landscape. Large areas are set aside for ecosystem protection, forestry and agriculture, while small patches of natural habitat exist in community parks and backyards. The mosaic of protection and stewardship recognizes that this place is home to a diversity of native plants and animals, as well as home to many people. Some areas will be protected and set aside with a primary purpose of supporting ecological integrity; the primary use of other areas may be for economic, recreational or other uses. Stewardship of the CDFAE lands must balance these sometimes competing, sometimes complementary, roles.

This mosaic includes lands under government and private ownership and management, ranging in size from small to large parcels. Examples include:

- Protected areas (e.g., federal, provincial, regional and municipal parks, wildlife management areas, and non-government organization (NGO) owned nature reserves)
- Private lands managed for ecosystem values, including lands with conservation covenants
- Working landscapes (including forestry and agriculture)
- Connectivity corridors, including riparian areas
- Drinking water watersheds
- Community parks and recreation areas
- First Nations lands
- Private woodlots
- Urban forests
- Private backyards



THE COASTAL DOUGLAS-FIR CONSERVATION PARTNERSHIP AND ITS MISSION

The Coastal Douglas-fir Conservation Partnership (CDFCP) is a collaboration of agencies, organizations and land managers who are interested in promoting and protecting healthy CDFAE into the future. Land trusts, governments (federal, provincial, regional, municipal, and First Nations), environmental stewardship groups, resource industry professionals, private landowners and academic institutions are encouraged to become CDFCP Participants or Supporters.

As set out in its terms of reference, the CDFCP is led by a Steering Committee and supported by a series of Working Groups focused on different aspects of the CDFCP goals. The CDFCP provides a forum for collaboration, communication and action to effectively protect and steward Coastal Douglas-fir and associated ecosystems. Its mission is:

To promote the conservation and stewardship of the Coastal Douglas-fir and associated ecosystems in south-western British Columbia through sound science, shared information, supportive policies, and community education.

VISION FOR COASTAL DOUGLAS-FIR AND ASSOCIATED ECOSYSTEMS

By 2045:

Coastal Douglas-fir and associated ecosystems have ecological integrity and resilience to change. A system of core protected areas are actively managed to provide habitat for native species and places to learn about the importance of healthy ecosystems. Working landscapes are actively managed to enhance their ecosystem values, while also supporting jobs and economic development opportunities. The public and land managers understand that Coastal Douglas-fir and associated ecosystems are special places that merit support and investment.

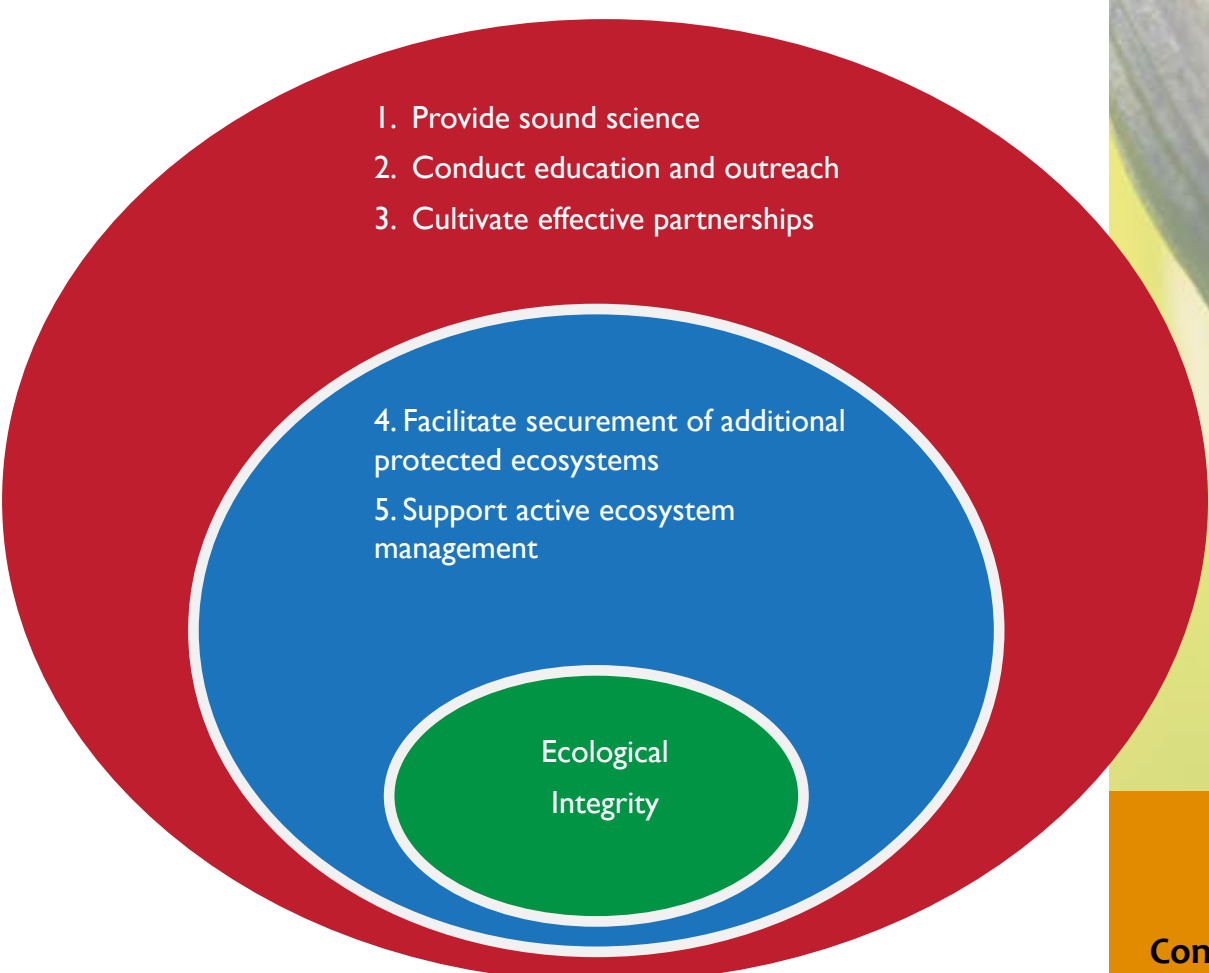


GOALS AND OBJECTIVES FOR THE CDFCP

Goals

The five goals express the ways in which CDFCP is working towards the vision of ecological integrity for Coastal Douglas-fir and associated ecosystems. The first three are core business of the CDFCP, the other two are activities supported by the Partnership.

- 1. Provide sound science***
- 2. Conduct education and outreach***
- 3. Cultivate effective partnerships***
- 4. Facilitate securement of additional protected ecosystems***
- 5. Support active ecosystem management***

- 
1. Provide sound science
 2. Conduct education and outreach
 3. Cultivate effective partnerships

4. Facilitate securement of additional protected ecosystems
5. Support active ecosystem management

Ecological
Integrity



SHORT-TERM OBJECTIVES AND ACTIONS

The goals reflect long-term aims. The objectives are specific outcomes for the next five years (2015-2020); supporting actions to achieve those objectives are also indicated. Objectives and actions are dependent on the availability of resources; the list below reflects the desired list of actions for the coming years, should resources (staff and funds) become available. For a list of objectives and actions which are “core” activities that are part of the ongoing CDFCP effort, please see Appendix A.

Summary of objectives and actions for 2015–2020:

1. Provide sound science to support land securement and stewardship

- 1.1. Provide tools for prioritization of areas for securement and stewardship within the CDF Zone
- 1.2. Assist local governments, conservation groups and First Nations to identify priority areas for securement and stewardship in their jurisdiction
- 1.3. Provide information on emerging CDFAE threats
- 1.4. Report annually on conservation outcomes

2. Conduct education and outreach

- 2.1. Develop and implement a communications and outreach strategy
- 2.2. Share success stories

3. Cultivate effective partnerships

- 3.1. Create and fund a coordinator position
- 3.2. Create and Support Working Groups
- 3.3. Encourage First Nations representation in the Partnership
- 3.4. Support the work of CDFCP Signatories
- 3.5. Collaborate with other groups working on ecosystem conservation

4. Facilitate securement of protected ecosystems

- 4.1. Provide advice on land securement
- 4.2. Identify options and contacts for funding land securement and stewardship
- 4.3. Promote and support land securement partnerships

5. Support active ecosystem management

- 5.1. Work with local governments to develop plans, policies and bylaws and incentives that enhance CDF values
- 5.2. Identify and promote opportunities for CDFAE stewardship
- 5.3. Identify pilot (case study) lands and land managers where focused management activities would benefit CDFAE on working landscapes
- 5.4. Work with the resource, developers and real estate sectors to enhance CDF stewardship



1. PROVIDE SOUND SCIENCE TO SUPPORT LAND SECUREMENT AND STEWARDSHIP

Effective and reliable science, combined with local knowledge, supports decisions that are made using the best available information.

1.1. Provide tools for prioritization of areas for securement and stewardship within the CDF Zone

Actions:

- Working with UBC and other information providers, use the Marxan tool and analysis to develop landscape-level maps that identify potential conservation priorities.
- Refine the landscape-level mapping by improving data collection quality and input tools.
- Use the Marxan tool and other information to identify high-value conservation areas for discussion with partners.
- Use the Marxan tool and other analysis to identify CDFAE values within existing protected areas and determine the amount and spatial distribution of 'additional' protected areas required to create a resilient system.
- Create realistic scenarios for 'core' protection, taking into account spatial distribution and connectivity.
- Use the Marxan tool and other analysis to identify working landscapes and other lands with high CDF values.
- Develop and keep current a list of priority parcels for securement, and develop information on those parcels to support acquisition.
- Develop a methodology for ranking and ground truthing an individual conservation opportunity.

1.2. Assist local governments, conservation groups and First Nations to identify priority areas for securement and stewardship in their jurisdiction

Actions:

- Working with UBC and other groups, use the Marxan tool and other analysis to develop jurisdictional maps throughout the CDF area that identify areas with high conservation values, taking local priorities into account.
- Share existing data and knowledge through information forums and data sharing sites such as iMap, while respecting data privacy as required.
- Develop ways and means to facilitate timely and efficient access to a collective database.
- Engage local groups in the prioritization process so that they understand and support the selection process.
- Encourage jurisdictions to incorporate the results of regional mapping into their plans and policies.



- Provide training on the use and interpretation of the outcomes of this mapping and prioritization.

1.3. Provide information on emerging CDFAE threats

Actions:

- Gather information on the anticipated impacts from climate change, land conversion, invasive species and other emerging threats.
- Provide information on emerging threats to CDFCP partners and others through webinars, presentations and existing online resources.

1.4. Report annually on conservation outcomes

Actions:

- Establish parameters to be tracked (indicators).
- Monitor, evaluate and report annually on progress for these conservation indicators.

2. CONDUCT EDUCATION AND OUTREACH

Increasing public understanding of the importance of healthy Coastal Douglas-fir and associated ecosystems to humans and other species is necessary to create the political and financial support for programs that promote ecological integrity.

2.1. Develop and implement a communications and outreach strategy

Actions:

Through the Outreach and Education Working Group (OEWG):

- Develop a communications and outreach strategy.
 - Identify target audiences (e.g., senior and local governments, First Nations, the resource sector, and private landowners), and learn about their interests, perspectives and information needs.
 - Identify the most effective communications media for each of these audiences (e.g., e-newsletters, in-person meetings, social and regular media).
 - Develop key messages to be conveyed.
 - Identify existing materials (e.g., GOERT manuals, land trust strategies), and identify gaps in readily available information.
 - Identify organizations (partners and others) who can help to raise awareness of CDFAE.
 - Identify regions where there are no local groups to assist; consider options for filling this outreach gap.
- Provide informative educational materials in a variety of formats.
 - Provide links to existing online materials from the CDFCP website (and maintain links to ensure they remain current).
 - Where appropriate information does not already exist, create materials aimed at meeting the needs of specific groups.
 - Create engaging and clear information on CDFAE values for the general public.



- Post new materials on the CDFAE website in “print-ready” format and make them available through CDFCP partners.
- Distribute information widely.
 - Maintain an informative online presence, ensuring that content is updated regularly.
 - Ensure the coordinator role includes regular communications through email, social media and other methods.
 - Encourage CDFCP partners to share CDFCP news via their own websites, social media and other outreach.
- Host webinars, workshops and/or other information exchanges among existing and potential CDFCP partners
 - Identify target audiences and key topics for specific events.
 - Host at least one webinar (or in-person meetings) per year on different aspects of CDFAE protection and stewardship; encourage partners to co-host other events.
 - Consider events, contests and other activities that reach other audiences, such as youth.

2.2. *Share success stories*

Actions:

- Use proactive communications methods (not just website listings) to share success stories, such as:
 - Successful land securement deals, especially those using new and innovative approaches, Target audiences for these include developers/builders, agricultural land owners/managers.
 - Best practices to enhance CDFAE values (and reduce negative impacts), including restoration techniques.

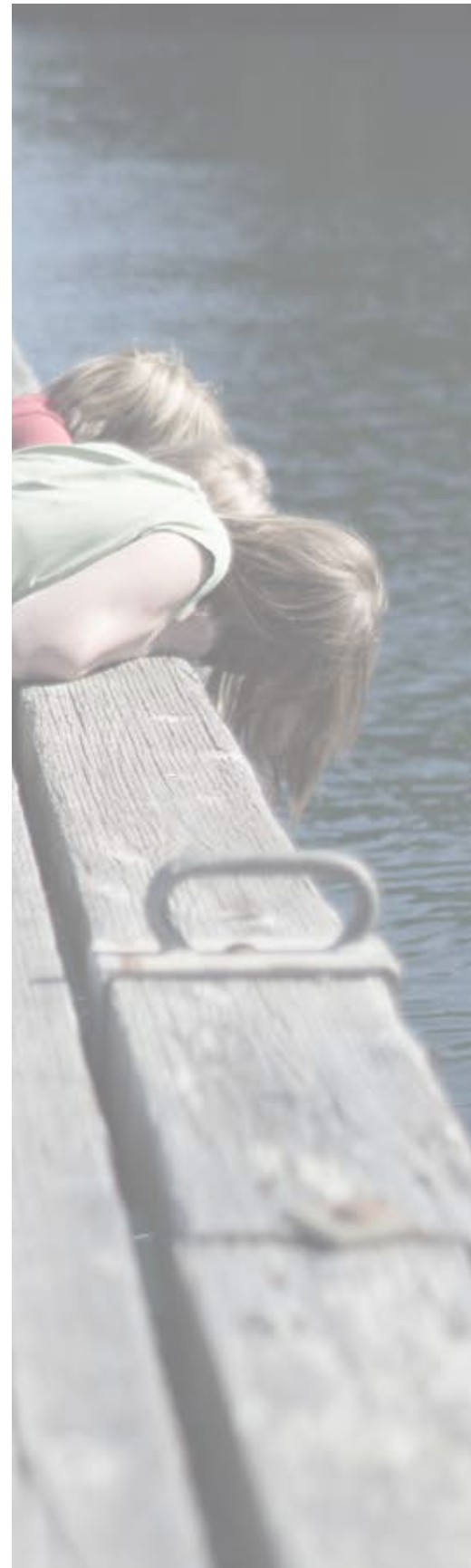
3. CULTIVATE EFFECTIVE PARTNERSHIPS

Create an effective and growing partnership in support of Coastal Douglas-fir and associated ecosystems.

3.1. *Create and fund a coordinator position*

Actions:

- Hire the coordinator. Refine the existing job description, gather funding to support this position for at least the first two years, and advertise for/hire the coordinator.
 - Seek funding for ongoing support for this position.
 - Annually, prepare a budget and workplan that identifies appropriate CDFCP banker(s) and core funding and project funding.
 - Identify potential funders for proposed projects; write grant proposals.
 - Prepare a simple annual update that provides information on achievements, funds expended, in-kind contributions from partners and others, identification of ways members can help, etc.



3.2. Create and Support Working Groups

Actions:

- Confirm Working Group membership, create a Terms of Reference for each group and identify official communications channels
- Where the working group role is filled by a parallel partnership (e.g., the Local Government Species At Risk Local Government Working Group), consider how this will meet the needs of the CDFCP and how best to achieve shared goals.
- Task each Working Group to provide a list of their priorities annually.
- Ensure the membership and efforts of the Working Groups are shared among all partners and supporters.

3.3. Encourage First Nations representation in the Partnership

Actions:

- Invite First Nations to CDFCP webinars and meetings to provide them with an opportunity to learn about the partnership.
- Meet in person with First Nations to:
 - Seek to understand the value of the CDFCP to First Nations
 - Share ideas on benefits of CDFAE conservation and overlap with traditional ecological knowledge, perhaps through joint mapping
 - Invite the inclusion of First Nations knowledge in the post-processing analysis.
- Invite First Nations representation on the Steering Committee.

3.4. Support the work of CDFCP Signatories

Actions:

- Develop an internal communications strategy for regular communications amongst partners.
- Identify the ‘point person(s)’ for information flow (internally and externally).
- Identify specific needs of the partners; help partners to further their CDFAE goals.
- Share the information (spreadsheet) identifying programs and gaps in ecosystem protection.
- Facilitate a peer-to-peer format for exchange of information, capacity building and access to funding.

3.5. Collaborate with other groups working on ecosystem conservation

- Identify potential new partners and encourage their participation in the CDFCP.
- Identify gaps in partner membership (e.g., in geographical regions as well as areas of expertise)
- Share information with similar organizations and partnerships (e.g., South Coast Conservation Partnership) on an ongoing basis.
- Coordinate with region-wide groups (e.g., GOERT) regarding shared interests
- Promote members of CDFCP as mentors for smaller organizations and community groups.
- Contact community organizations working on complementary objectives (e.g., Shawnigan Watershed study and Cedar Watershed Study) and identify opportunities for collaboration.



4. FACILITATE SECUREMENT OF PROTECTED ECOSYSTEMS

Establishing and expanding a system of core protected areas that are specifically managed to protect ecosystem integrity will support the long-term resilience of CDFAE. These protected areas will include publicly-owned lands (e.g., parks and watershed lands), lands owned by conservation organizations, and private lands under conservation covenant or similar legal status.

4.1. Provide advice on land securement

Actions:

Through the Securement Working Group:

- Gather information on the options for land securement including conservation covenants, land donations, eco-gifts, land acquisition, Crown Land securement, leveraging land acquisition, land trades, and other voluntary conservation options.
- Provide advice as needed to support the efforts of government agencies and land trusts to plan for securement and to secure specific CDFAE lands for conservation.
- Provide letters of support for securement efforts that support the ecological integrity of CDFAE.

4.2. Identify options and contacts for funding land securement and stewardship

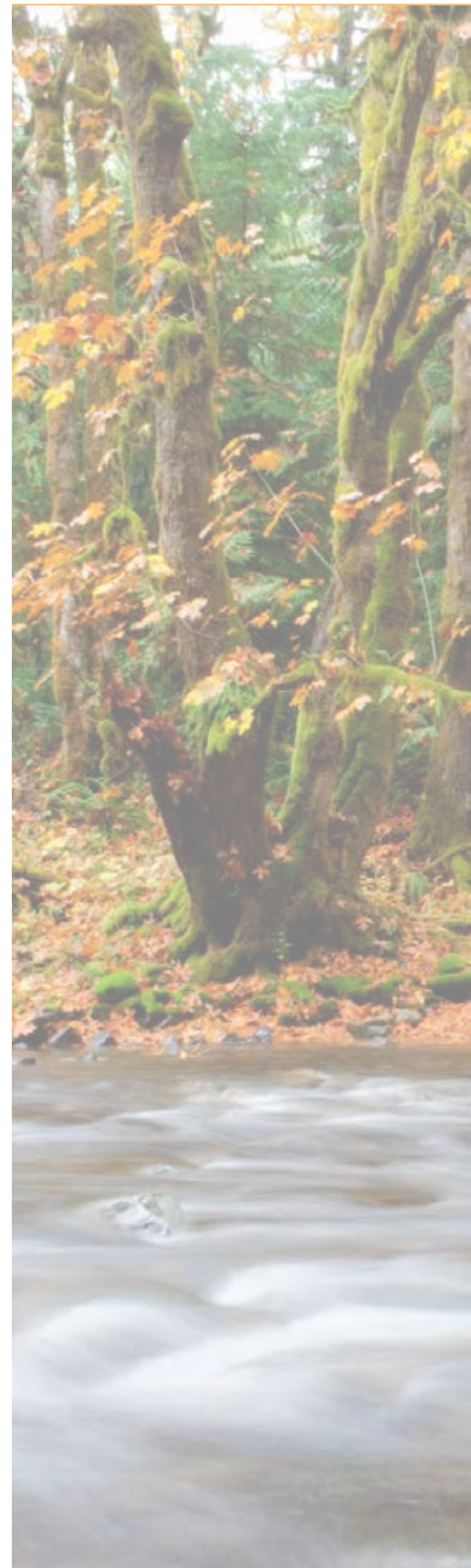
Actions:

- Identify and provide information on financial and other incentives for CDFAE securement and stewardship, e.g., potential carbon offset benefits.
- Provide examples of creative approaches to land securement, such as leveraging, land trades, or acquiring lands for trade.
- Identify contacts for fundraising (funders, fundraising expertise).
- Work with Provincial and regional organizations (e.g., the Land Trust Alliance of BC) to strategically promote funding for land conservation with government, funding agencies, financial advisors, and estate planners.
- Help to develop and advocate for new innovative funding opportunities, as well as encouraging increased funding levels for existing programs.

4.3. Promote and support land securement partnerships

Actions:

- Create venues for conversation about land securement options.
- Clarify roles various partners can play.
- Provide skills mapping for securement partners.
- Look at multi-purpose acquisitions that broaden the scope of conservation constituents, such as farming-conservation, mining-conservation and/or development-conservation.



5. SUPPORT ACTIVE ECOSYSTEM MANAGEMENT

Without active management (stewardship), even protected areas may lose ecosystem integrity. By 2045, it is hoped that protection and stewardship of CDFAE will be an integral component of the plans, policies and management activities of all governmental, private and non-governmental land managers.

5.1. Work with local governments to develop plans, policies and bylaws and incentives that enhance CDF values

Actions:

Through the Local Government Working Group:

- Find examples of practices (e.g., policies, incentives) from B.C. and elsewhere that could be used to enhance CDFAE values; share these with local governments.
- Develop and promote model policies and bylaws.

5.2. Identify and promote opportunities for CDFAE stewardship

Actions:

- Identify incentives (financial and other) for CDFAE stewardship on working landscapes.
- Meet with representatives from the forestry, agriculture and mining sectors to discuss benefits and barriers to CDFAE stewardship.
- Facilitate a peer-to-peer format for exchange of information and capacity building.
- Create a recognition strategy to appreciate good stewardship.

5.3. Identify pilot (case study) lands and land managers where focused management activities would benefit CDFAE on working landscapes

Actions:

- Collaborate with land managers to identify priority lands for active management. – e.g., agriculture, forestry, real estate.
- Initiate pilot projects for stewardship projects that benefit land managers and enhance CDFAE values on working lands.
- Share the lessons from these pilot projects with the CDFCP and others.

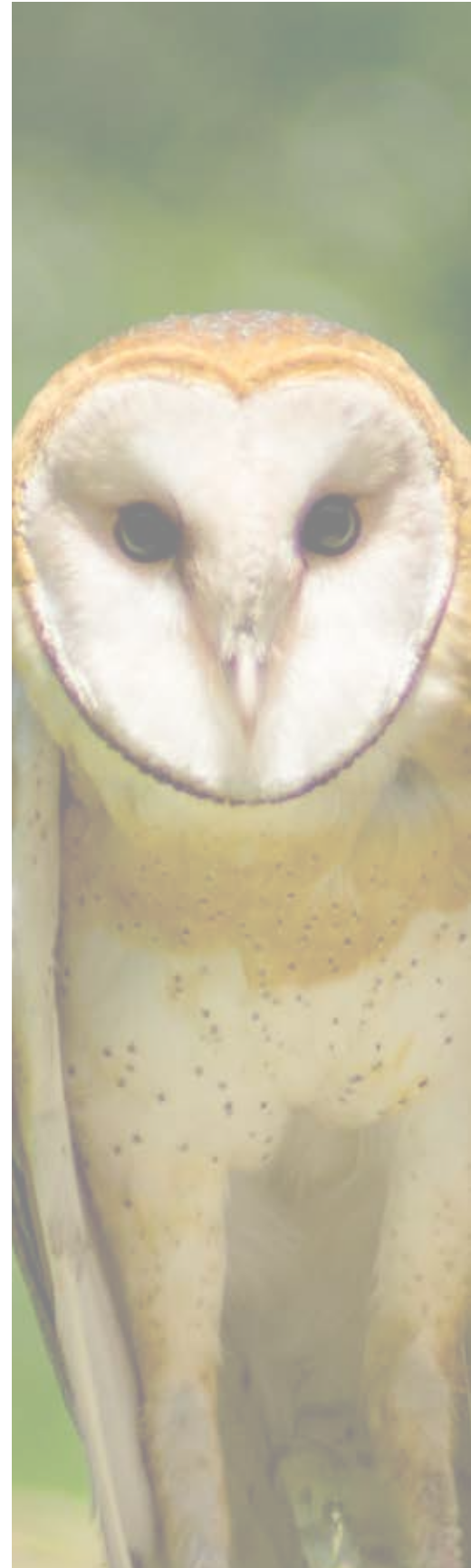


5.4. Work with the resource, developers and real estate sectors to enhance CDF stewardship

Actions:

Through the Resource Sector Working Group, work with the resource sector (including forestry companies, woodlot owners, farmers and mining operators, and real estate sector) to:

- Identify aspects of CDFAE stewardship that enhance operations on working landscapes, and aspects that may create challenges.
- Increase awareness of the impacts of resource extraction activities on CDFAE.
- Explore and promote economic opportunities that are consistent with the CDFAE conservation objectives.
- Seek ways to increase the compatibility of resource activity outcomes with CDFAE conservation objectives.
- Work with the resource sector to integrate CDF values into strategic and operational plans.



APPENDIX A: CORE PRIORITIES

These activities form part of the CDFCP core work, and can be completed through the Steering Committee members and other partners.

1. Provide sound science to support land securement and stewardship

Effective and reliable science, combined with local knowledge, supports decisions that are made using the best available information.

1.1. Provide tools for prioritization of areas for securement and stewardship within the CDF Zone

- Working with UBC and other information providers, use the Marxan tool and analysis to develop landscape-level maps that identify potential conservation priorities.
- Use the Marxan tool and other information to identify high-value conservation areas for discussion with partners.
- Use the Marxan tool and other analysis to identify working landscapes and other lands with high CDF values.
- Develop a methodology for ranking an individual conservation opportunity.

1.2. Assist local governments, conservation groups and First Nations to identify priority areas for securement and stewardship in their jurisdiction

- Requires additional resources to complete, and is dependent on funding availability.

1.3. Provide information on emerging CDFAE threats

- Requires additional resources to complete, and is dependent on funding availability.

1.4. Report annually on conservation outcomes

- Requires additional resources to complete, and is dependent on funding availability.

2. Conduct education and outreach

Increasing public understanding of the importance of healthy Coastal Douglas-fir and associated ecosystems to humans and other species is necessary to create the political and financial support for programs that promote ecological integrity.

2.1. Develop and implement a communications and outreach strategy

- Requires additional resources to complete, and is dependent on funding availability.

2.2. Share success stories

- Requires additional resources to complete, and is dependent on funding availability.

3. Cultivate effective partnerships

3.1. Create and fund a coordinator position

- Hire the coordinator. Refine the existing job description, gather funding to support this position for at least the first two years, and advertise for/hire the coordinator.
- Seek funding for ongoing support for this position.
- Prepare a simple annual update that provides information on achievements, funds expended, in-kind contributions from partners and others, identification of ways members can help, etc.



- Other actions require additional resources to complete, and is dependent on funding availability.

3.2. Create and Support Working Groups

- Requires additional resources to complete, and is dependent on funding availability.

3.3. Encourage First Nations representation in the Partnership

- Invite First Nations representation on the Steering Committee.
- Other actions require additional resources to complete, and is dependent on funding availability.

3.4. Support the work of CDFCP Signatories

- Identify the ‘point person(s)’ for information flow (internally and externally).
- Share the information (spreadsheet) identifying programs and gaps in ecosystem protection.
- Other actions require additional resources to complete, and is dependent on funding availability.

3.5. Collaborate with other groups working on ecosystem conservation

- Identify potential new partners and encourage their participation in the CDFCP.
- Identify gaps in partner membership (e.g., in geographical regions as well as areas of expertise)
- Share information with similar organizations and partnerships (e.g., South Coast Conservation Partnership) on an ongoing basis.
- Other actions require additional resources to complete, and is dependent on funding availability.

4. *Facilitate securement of protected ecosystems*

Establishing and expanding a system of core protected areas that are specifically managed to protect ecosystem integrity will support the long-term resilience of CDFAE. These protected areas will include publicly-owned lands (e.g., parks and watershed lands), lands owned by conservation organizations, and private lands under conservation covenant or similar legal status.

4.1. Provide advice on land securement

Through the Securement Working Group:

- Provide advice as needed to support the efforts of government agencies and land trusts to plan for securement and to secure specific CDFAE lands for conservation.
- Provide letters of support for securement efforts that support the ecological integrity of CDFAE.



4.2. Identify options and contacts for funding land securement and stewardship

- Work with Provincial and regional organizations (e.g., the Land Trust Alliance of BC) to strategically promote funding for land conservation with government, funding agencies, financial advisors, and estate planners.
- Other actions require additional resources to complete, and is dependent on funding availability.

5. *Support active ecosystem management*

Without active management (stewardship), even protected areas may lose ecosystem integrity. By 2045, it is hoped that protection and stewardship of CDFAE will be an integral component of the plans, policies and management activities of all governmental, private and non-governmental land managers.

5.1. Work with local governments to develop plans, policies and bylaws and incentives that enhance CDF values

Through the Local Government Working Group:

- Find examples of practices (e.g., policies, incentives) from B.C. and elsewhere that could be used to enhance CDFAE values; share these with local governments.
- Other actions require additional resources to complete, and is dependent on funding availability.

5.2. Identify and promote opportunities for CDFAE stewardship

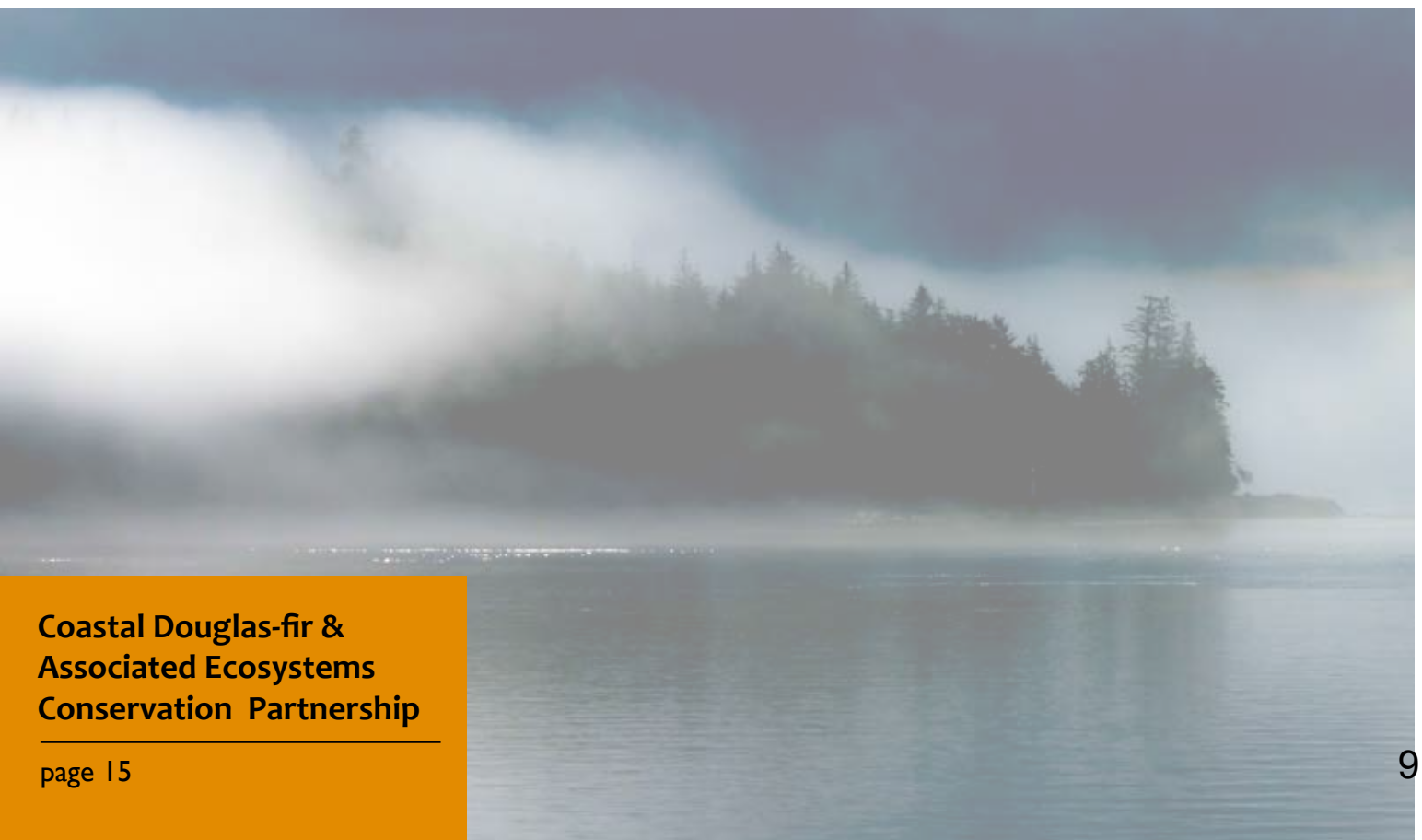
- Requires additional resources to complete, and is dependent on funding availability.

5.3. Identify pilot (case study) lands and land managers where focused management activities would benefit CDFAE on working landscapes

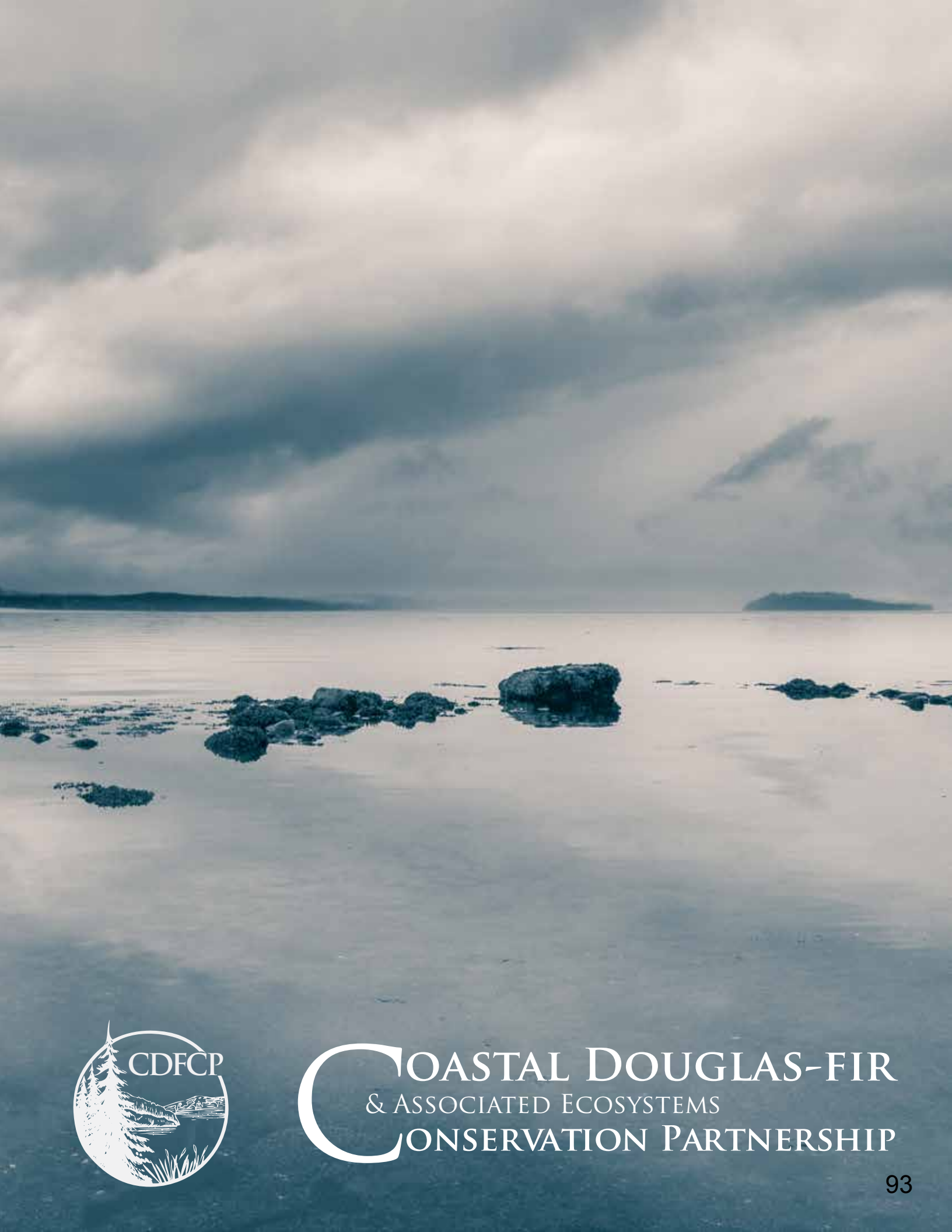
- Requires additional resources to complete, and is dependent on funding availability.

5.4. Work with the resource, developers and real estate sectors to enhance CDF stewardship

- Requires additional resources to complete, and is dependent on funding availability.







COASTAL DOUGLAS-FIR
& ASSOCIATED ECOSYSTEMS
CONSERVATION PARTNERSHIP

November 10th, 2015

File Number: 5450-30; 0410-20

Via Email: info@cdfcp.ca

Coastal Douglas-fir and Associated Ecosystems Conservation Partnership Steering Committee
 c/o Darryn McConkey, Interim Chair

Dear Darryn McConkey:

Re: Support for Coastal Douglas-fir and Associated Ecosystems Conservation Partnership's Conservation Strategy

As Chair of the Islands Trust Council, I'm writing to advise you that at its quarterly meeting in September 2015, the Islands Trust Council received the Coastal Douglas-fir Conservation Partnership (CDFCP) Conservation Strategy for information. Trust Council requested that I write to you to express support of the Conservation Strategy and to indicate the Islands Trust's willingness to work with the CDFCP to implement the strategy as capacity allows. As a first step, Trust Council has requested that staff forward the CDFCP Conservation Strategy to Islands Trust local trust committees and Bowen Island Municipality as a land-use planning resource.

The Islands Trust Council supports the CDFCP's goal of bringing governments, organizations and individuals together to collaboratively address ongoing threats to the conservation of Coastal Douglas-fir and Associated Ecosystems. This work would advance the following sections of the Islands Trust Policy Statement:

3.2.1 *It is Trust Council's policy that*

- *forest ecosystems in the Trust Area should be protected, and*
- *the remaining stands of relatively undisturbed Coastal Douglas-fir, Coastal Western Hemlock, Garry Oak and Arbutus should be preserved.*

3.2.3 *Trust Council encourages government agencies, non-government organizations, property owners and occupiers to protect forested areas through voluntary donation, acquisition, conservation covenants and careful management.*

At the September 2015 Union of BC Municipalities Convention, the Islands Trust put forward the following resolution which was endorsed and provided to the Province of BC:

WHEREAS the UBCM members previously endorsed resolution 2013-B104 requesting that the Ministry of Forests, Lands and Natural Resource Operations adequately resource the Coastal Douglas-fir and Associated Ecosystems Conservation Partnership (the Partnership);

AND WHEREAS in 2015 the Partnership will issue a 30-year conservation strategy for the coastal Douglas-fir biogeoclimatic zone, the most at risk zone in British Columbia, but has insufficient resources to implement the strategy:

THEREFORE BE IT RESOLVED that UBCM request the provincial government to provide core, multiyear funding to the Partnership to assist its members to implement the conservation strategy with the Province, First Nations, local governments, the federal government, stakeholders, and the general public.

We note that the CDFCP Conservation Strategy identifies the following actions related to its work with local governments:

1.2 Assist local governments, conservation groups and First Nations to identify priority areas for securement and stewardship in their jurisdiction

5.1 Work with local governments to develop plans, policies, bylaws and incentives that enhance Coastal Douglas-fir and associated ecosystem values

We will forward the Conservation Strategy to local trust committees with a recommendation that those wishing to advance the Islands Trust Policy Statement consider working directly with the CDFCP to support the priority actions identified in the CDFCP Conservation Strategy.

We look forward to further cooperation to protect the Coastal Douglas-fir biogeoclimatic zone; home to the highest number of species and ecosystems at risk in British Columbia.

Yours sincerely,



Peter Luckham
Chair, Islands Trust Council
pluckham@islandstrust.bc.ca

cc: Islands Trust Executive Committee
Bowen Island Municipality
Trust Fund Board
Craig Sutherland, Assistant Deputy Minister, Regional Operations: Coast, Min. of Forest, Lands and Natural Resource Operations
Islands Trust website