



# Galiano Island Local Trust Committee

## Regular Meeting Agenda

Date: December 15, 2022  
Time: 12:30 pm  
Location: Lions Park Society  
992 Burrill Road, Galiano Island, BC

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### Pages

|     |                                                                                                         |                     |       |
|-----|---------------------------------------------------------------------------------------------------------|---------------------|-------|
| 1.  | CALL TO ORDER                                                                                           | 12:30 PM - 12:50 PM |       |
| 2.  | APPROVAL OF AGENDA                                                                                      |                     |       |
| 3.  | TRUSTEE REPORT                                                                                          |                     |       |
| 4.  | CHAIR'S REPORT                                                                                          |                     |       |
| 5.  | TOWN HALL AND QUESTIONS                                                                                 | 12:50 PM - 1:10 PM  |       |
| 6.  | COMMUNITY INFORMATION MEETING                                                                           |                     |       |
|     | None                                                                                                    |                     |       |
| 7.  | PUBLIC HEARING                                                                                          |                     |       |
|     | None                                                                                                    |                     |       |
| 8.  | MINUTES                                                                                                 | 1:10 PM - 1:20 PM   |       |
| 8.1 | Local Trust Committee Minutes - None                                                                    |                     |       |
| 8.2 | Section 26 Resolutions Without Meeting Report Dated Nov 2022                                            |                     | 4 - 5 |
| 8.3 | Advisory Planning Commission Minutes - None                                                             |                     |       |
| 9.  | BUSINESS ARISING FROM MINUTES                                                                           |                     |       |
| 9.1 | Follow-up Action List Dated Nov 2022                                                                    |                     | 6 - 7 |
| 10. | DELEGATIONS                                                                                             |                     |       |
| 11. | CORRESPONDENCE                                                                                          | 1:20 PM - 1:25 PM   |       |
|     | <i>Correspondence received concerning current applications or projects is posted to the LTC webpage</i> |                     |       |

|        |                                                                                                             |                   |
|--------|-------------------------------------------------------------------------------------------------------------|-------------------|
| 11.1   | Chair Rogers Response to Rogers Communication                                                               | 8 - 9             |
| 12.    | MEETING BREAK - COMMUNITY UPDATE                                                                            |                   |
| 13.    | APPLICATIONS AND REFERRALS                                                                                  | 1:25 PM - 2:45 PM |
| 13.1   | GL-DVP-2022.5 (Grehan) - Staff Report (attached)                                                            | 10 - 22           |
| 13.2   | GL-DP-2022.4 (Keefer) Staff Report (attached)                                                               | 23 - 51           |
| 13.3   | GL-RZ-2019.1 (GIGARHS) Staff Report (attached)                                                              | 52 - 188          |
| 13.4   | GL-RZ-2022.2 (Hayes) Preliminary Staff Report (attached)                                                    | 189 - 204         |
| 13.5   | Mayne Island Local Trust Committee Referral for Proposed Bylaws 181 and 183 (for response) (attached)       | 205 - 215         |
| 14.    | LOCAL TRUST COMMITTEE PROJECTS                                                                              | 2:45 PM - 3:15 PM |
| 14.1   | Groundwater Project - Staff Report (attached)                                                               | 216 - 234         |
| 15.    | REPORTS                                                                                                     | 3:15 PM - 3:45 PM |
| 15.1   | Work Program Reports (attached)                                                                             |                   |
| 15.1.1 | <u>Local Trust Committee Work Program Review - Staff Report (attached)</u>                                  | 235 - 240         |
| 15.1.2 | <u>Active Projects List Report Dated Nov 2022</u>                                                           | 241 - 241         |
| 15.1.3 | <u>Future Projects Report Dated Nov 2022</u>                                                                | 242 - 243         |
| 15.2   | Applications Report Dated Nov 2022 (attached)                                                               | 244 - 251         |
| 15.3   | Trustee and Local Expense Report Dated Oct 2022 (attached)                                                  | 252 - 252         |
| 15.4   | Adopted Policies and Standing Resolutions (attached)                                                        | 253 - 257         |
| 15.5   | Local Trust Committee Webpage                                                                               |                   |
| 15.6   | Islands Trust Conservancy Report Dated Oct 2022                                                             | 258 - 259         |
| 16.    | NEW BUSINESS                                                                                                | 3:45 PM - 3:55 PM |
| 16.1   | Letter from W̱SANEC Leadership Council Staff regarding Draft 2021 Islands Trust Policy Statement Amendments | 260 - 268         |
| 16.2   | Letter to Telus re: public use telephone access                                                             |                   |
| 17.    | UPCOMING MEETINGS                                                                                           | 3:55 PM - 4:10 PM |
| 17.1   | Draft 2023 LTC Meeting Schedule (attached) (for approval)                                                   | 269 - 270         |

**17.2      Next Regular Meeting Scheduled for February 6, 2023 at the South Community Hall,  
Galiano Island**

- |            |                              |                          |
|------------|------------------------------|--------------------------|
| <b>18.</b> | <b>TOWN HALL</b>             | <b>4:10 PM - 4:30 PM</b> |
| <b>19.</b> | <b>CLOSED MEETING - None</b> |                          |
| <b>20.</b> | <b>ADJOURNMENT</b>           | <b>4:30 PM - 4:30 PM</b> |

## Resolutions Without Meetings Log

### Galiano Island

| Resolution Number                                                                                                                                                                                                                                                                                                                                            | Action  | Date        |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------|-------------|
| <b>2022-011</b><br><br>DESCRIPTION: <b>To reschedule Dec 5 mtg</b><br><br>That the Galiano Island Local Trust Committee request staff to reschedule the December 5, 2022 in person regular business meeting to December 15, 2022 to be held at the Galiano Island Lions Hall.                                                                                | Carried | 30-Nov-2022 |
| <b>2022-010</b><br><br>DESCRIPTION: <b>To adopt January 20, 2022 Special mtg minutes</b><br><br>That the Galiano Island Local Trust Committee special meeting minutes of January 20, 2022 be adopted as presented.                                                                                                                                           | Carried | 12-Nov-2022 |
| <b>2022-009</b><br><br>DESCRIPTION: <b>To adopt Delegation Bylaw 286</b><br><br>THAT Galiano Island Local Trust Committee adopt Bylaw No. 286, cited as "Galiano Island Local Trust Committee Delegation Bylaw No. 286, 2022".                                                                                                                               | Carried | 04-Nov-2022 |
| <b>2022-008</b><br><br>DESCRIPTION: <b>Release GALI covenant</b><br><br>That the Galiano Island Local Trust Committee accepts the release of covenant CA6063082 established under section 219 of the Land Title Act in respect of rezoning application GL-RZ-2011.1 and designates the Chair of the Local Trust Committee to sign the covenant release form. | Carried | 01-Nov-2022 |
| <b>2022-007</b><br><br>DESCRIPTION: <b>To adopt Bylaw No. 274</b><br><br>THAT Galiano Island Local Trust Committee adopt Bylaw No. 274, cited as "Galiano Island Housing Agreement Bylaw No. 274, 2019".                                                                                                                                                     | Carried | 21-Oct-2022 |



## Resolutions Without Meetings Log

### Galiano Island

| Resolution Number                                                                                                                                                                                                                                                                                                                                 | Action  | Date        |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------|-------------|
| <b>2022-006</b><br><br>DESCRIPTION: <b>To adopt SP minutes of Sept 24</b><br><br>That the Galiano Island Local Trust Committee special meeting minutes of September 24, 2022 be adopted as presented.                                                                                                                                             | Carried | 21-Oct-2022 |
| <b>2022-005</b><br><br>DESCRIPTION: <b>To adopt September 27 Minutes and receive PH notes</b><br><br>That the Galiano Island Local Trust Committee regular business minutes of September 27, 2022 be adopted as presented.<br>That the Galiano Island Local Trust Committee receive the public hearing record of September 27, 2022 as presented. | Carried | 24-Oct-2022 |
| <b>2022-004</b><br><br>DESCRIPTION: <b>To adopt Bylaw No. 280</b><br><br>THAT Galiano Island Local Trust Committee adopt Bylaw No. 280, cited as "Galiano Island Land Use Bylaw No. 127, 1999, Amendment No. 3, 2021".                                                                                                                            | Carried | 14-Oct-2022 |
| <b>2022-003</b><br><br>DESCRIPTION: <b>To adopt housing agreement Bylaw 285</b><br><br>THAT Galiano Island Local Trust Committee adopt Bylaw No. 285, cited as "Galiano Island Housing Agreement Bylaw No. 285, 2022".                                                                                                                            | Carried | 11-Oct-2022 |

## Follow Up Action Report

### Galiano Island

#### 06-Sep-2022

| Activity                                                                                                                         | Responsibility          | Dates               | Status    |
|----------------------------------------------------------------------------------------------------------------------------------|-------------------------|---------------------|-----------|
| 1 14.1 DL 64, 68, 72 and 87 project - BLs given 3rd reading, send BLs 231 and 232 to EC and then BL 231 to Minister for approval | Brad Smith<br>Jas Chonk | Target: 30-Sep-2022 | Completed |

#### 27-Sep-2022

| Activity                                                                                                                                                                             | Responsibility          | Dates               | Status    |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------|---------------------|-----------|
| 1 8.1 September 6 LTC meeting minutes adopted as presented                                                                                                                           | Robin Ellchuk           | Target: 14-Oct-2022 | Completed |
| 2 Late item - July 26/2022 special meeting minutes for GALI and groundwater CIM adopted as presented                                                                                 | Robin Ellchuk           | Target: 14-Oct-2022 | Completed |
| 3 13.1 GI-RZ-2021.1 (GALI) - BL 280 given 2nd/3rd reading, BL 285 given 1-3 readings, send to Executive Committee for approval                                                       | Brad Smith<br>Jas Chonk | Target: 29-Sep-2022 | Completed |
| 4 13.1 GI-RZ-2021.1 (GALI) - Prepare housing agreement and covenants for execution by Chair and applicants                                                                           | Brad Smith<br>Jas Chonk | Target: 14-Oct-2022 | Completed |
| 5 13.1 GI-RZ-2021.1 (GALI) - Initiate RWM to give BL 280 and 285 fourth reading and adoption following executive committee approval and execution of covenants and housing agreement | Brad Smith<br>Jas Chonk | Target: 14-Oct-2022 | Completed |
| 6 13.2 GL-RZ-2019.1 (GIGARHS) Work with applicant to finalize and prepare housing agreement and covenants for execution by Chair and applicants                                      | Brad Smith<br>Jas Chonk | Target: 14-Oct-2022 | Completed |

## Follow Up Action Report

### Galiano Island

27-Sep-2022

| Activity                                                                                                                                                                                                                                     | Responsibility              | Dates               | Status    |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------|---------------------|-----------|
| <b>7</b> 13.2 GI-RZ-2019.1 (GIGARHS) - Initiate RWM to give BL 274, 276 and 277 fourth reading and adoption following Ministerial approval of BL 276 and execution of covenants and housing agreement - ADOPTION TO BE CONSIDERED BY NEW LTC | Brad Smith<br>Jas Chonk     | Target: 31-Oct-2022 | Completed |
| <b>8</b> 13.3 GL-RZ-2021.2 (Gaylor) Put application in abeyance pending amended proposal from applicants to address LTC concerns                                                                                                             | Brad Smith<br>Robin Ellchuk | Target: 07-Oct-2022 | Completed |
| <b>9</b> 15.1 Remove review of water management bylaws and dock review from projects list                                                                                                                                                    | Brad Smith                  | Target: 28-Sep-2022 | Completed |
| <b>10</b> 16.1 Delegation Bylaw No. 286 - given 1st, 2nd and 3rd reading send to Executive Committee for consideration of approval                                                                                                           | Jas Chonk<br>Robert Kojima  | Target: 21-Oct-2022 | Completed |
| <b>11</b> 17. November 7, 2022 meeting cancelled - make changes to meeting schedule and cancel hall booking                                                                                                                                  | Robin Ellchuk               | Target: 07-Oct-2022 | Completed |
| <b>12</b> 14.1 Staff to bring draft bylaw 283 and 284 forward for consideration of first reading at the December 5, 2022 LTC meeting - NEW LTC TO BE REQUESTED TO REVIEW PROJECT AND PROVIDE DIRECTION                                       | Narrisa Chadwick            | Target: 11-Nov-2022 | Completed |



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Email [information@islandstrust.bc.ca](mailto:information@islandstrust.bc.ca)

Web [www.islandstrust.bc.ca](http://www.islandstrust.bc.ca)

October 19, 2022

File No.: 3026-01-20-04-2022

By email: [Michael.Krenz@rci.rogers.com](mailto:Michael.Krenz@rci.rogers.com)

Michael Krenz,  
Government Relations Director,  
Real Estate and Municipal Affairs,  
Rogers Communications

Dear Mr. Krenz

**Re: Galiano Island CREST Site 1228 Montague Road**

Pursuant to a motion of the Galiano Island Local Trust Committee (LTC), I am responding somewhat belatedly to your letter of April 20, 2022. It is my turn to apologize for the delay.

On behalf of the Galiano Island Local Trust Committee, I would like to thank Rogers Communications for starting to provide factual information to the Galiano Island community on their project to enhance cellular service co-locating antennas on the CREST (Capital Region Emergency Service Telecommunications Inc.) facility at 1228 Montague Road. We would point out that the type of information that was provided in your letter was the exact information the LTC expected Rogers to share with the community when they were in the planning stages of the project in the fall of 2021. I would also note that there remain concerns in the community about not having a complete information package on the project and this lack of timely information is leading to continuing unease among some residents.

The Galiano Antenna Siting Protocol, which is compatible with Federal communications and consultation protocols, would have provided a template for communicating with the community. There appears to be unfounded apprehensions by some that the protocol is somehow designed to frustrate service providers and your assertion that the project is exempt is being challenged: the community is simply seeking more information on the technical details, service enhancements and benefits to the Island community. As we indicated in our previous correspondence, even if a proposal is technically exempt, the LTC and community expect that a civic-minded and sensitive provider would voluntarily communicate the details of its proposal in a timely manner. The LTC is here to act as a conduit for that information and for questions.

As to the CREST tower, it was constructed, without reference to the land use mandate of the LTC, to provide critical emergency communications in a particular band of radio frequencies used by first responders across the island. That tower is now being used to co-locate commercial radio communications in a different band of radio frequencies to primarily serve Rogers' roaming customers on BC Ferries in Active Pass. Further information would help address concerns harboured by neighbours of the CREST tower and the wider community.

***Preserving and protecting over 450 islands and surrounding waters in the Salish Sea***

Bowen Denman Hornby Gabriola Galiano Gambier Lasqueti Mayne North Pender Salt Spring Saturna South Pender Thetis

The LTC would appreciate further information from Rogers on the improved coverage for island residents, when it is realized, as well as some of the basic technical details involving the CREST co-location.

The LTC also looks forward to continuing the dialogue with Rogers on their island services and coverage and any future antennas siting proposals. The antenna protocol offers a roadmap for dialogue and better understanding of the evolving nature and technology of telecommunications.

Following the local government elections on October 15<sup>th</sup>, I will no longer be the Chair of the Galiano LTC as of mid-November but you can respond to [southinfo@islandstrust.bc.ca](mailto:southinfo@islandstrust.bc.ca).

Regards,



Dan Rogers,

Chair, Galiano Island Local Trust Committee.

Cc:

Galiano Island Local Trust Committee  
Islands Trust Executive Committee  
Islands Trust website

DATE OF MEETING: December 5, 2022  
TO: Galiano Island Local Trust Committee  
FROM: Charly Caproff, Planning Technician  
Southern Team  
COPY: Robert Kojima, Regional Planning Manager  
SUBJECT: Development Variance Permit Application  
Applicant: Barbara Grehan  
Location: 574 Gulf Drive

## RECOMMENDATION

1. That the Galiano Island Local Trust Committee approve issuance of Development Variance Permit application GL-DVP-2022.5 (Grehan).

## REPORT SUMMARY

The purpose of this report is to consider a Development Variance Permit (DVP) to:

1. Vary the 7.5 metre setback from the natural boundary of the sea to permit the existing stairs, landing, and deck which are located 4.94 metres from the natural boundary.
2. Vary the 7.5 metre setback from the rear lot line to permit the existing stairs, landing, and deck which are located 4.94 metres from this lot line.

The recommendation to approve the DVP request considers that the variance being sought is relatively minor: that the landing was constructed to improve the safety of the existing lawful non-conforming stairs and the deck replaced a long-standing deck on the same footprint.

## RATIONALE FOR VARIANCE

The applicant is seeking the variance to improve the safety of the stairs. According to the applicant, during alteration of the deck it was revealed that there was a soft corner, consisting of rubble from a previous project. The landing meets the building code requirements for minimum area while providing a safe step to the deck stair access. The deck was replaced because it was unsafe to use due to age and was constructed within the existing footprint of the deck. By all indications the deck is pre-existing non-conforming, but has been included in the DVP as the owners were unable to provide evidence confirming the date of construction.

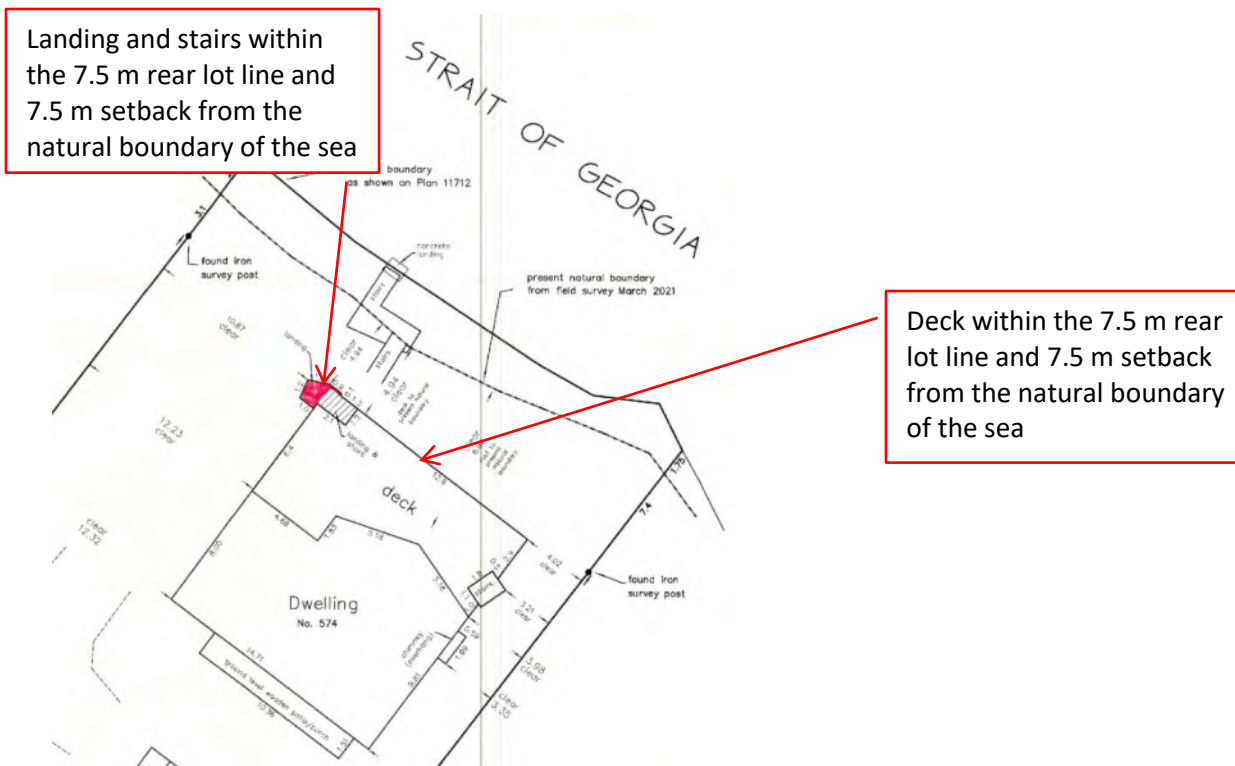
## BACKGROUND

The owners have applied for a development variance permit (DVP) for the access stairs and landing. A DVP is a land use permit that can relax siting, size or dimension regulations, but cannot vary use or density. A DVP is considered on a case by case basis and on its own merits. Typically variances are for things like minor encroachments into setbacks. The LTC has discretion to approve or refuse a DVP, however usually the LTC will consider factors like the applicant's rationale, that there is a unique circumstance specific to this property, the impacts that approving the variance may have on the environment or neighbours, any comments of neighbours, and the staff report.

During the building permit application for deck alterations in 2021 (GL-BP-2021.7), a potential bylaw contravention involving the stairs to the foreshore was identified. The stairs to the foreshore have been confirmed to be pre-existing non-conforming and are not part of this variance application. However, the owners were informed that the access stairs and landing were outside of the previous deck footprint and provided the following options for compliance:

1. Removal: Remove the structures outside the previous footprint
2. Permits: Apply for a Development Variance Permit

As mentioned previously, the original deck was likely pre-existing non-conforming, and can be replaced within the same footprint, but has been included in the DVP as confirmation the date of construction of the old deck was not available. The property was purchased by the current owners in 1985 – the date of the attached dwelling is unknown, but it is thought that the cottage on the property pre-dates zoning. The stairs and landing in the foreshore (not part of this application) were established as legal non-conforming by Bylaw Enforcement. The site plan below shows the stairs, landing, and deck encroachment within the 7.5 metre setback from the rear lot line and the 7.5 metre setback from the natural boundary of the sea.



## **ANALYSIS**

### **Policy/Regulatory**

Section 498 of the *Local Government Act* enables the Local Trust Committee to issue (approve) a DVP in order to vary a siting regulation in the LUB. A DVP may not be used to vary density or land use. In this case, a variance to a siting regulation is being sought.

### **Official Community Plan (OCP)**

The property is designated Village Residential 2 (VR2) in the Galiano Island OCP. There are no specific OCP policies or principles in conflict with the variance request.

### **Land Use Bylaw (LUB)**

Section 2.14 of the LUB states that buildings and structures must be sited at least 7.5 metres from the natural boundary of the sea. Section 5.2.6.1 of the LUB states that buildings and structures must be sited at least 7.5 metres from rear lot lines. In this case, the deck, landing, and stairs encroach 2.56 metres into both setbacks.

### **Potential impacts of granting a variance**

Granting a variance can potentially create an expectation in the community with regard to future applications. As variances consider the unique circumstances pertaining to a particular situation that may warrant the relaxation of a specific zoning regulation, each application should be evaluated on its own merits. In this case, the variances are relatively minor. Deconstructing the landing would impact the safety of the stairs, and moving or removing the existing structures would be unreasonably costly and time-consuming.

### **Circulation**

DVP Notices were circulated to surrounding property owners and residents on Thursday, November 10, 2022. The notification period will end on Wednesday, November 23, 2022.

One submission in support of the application has been received to date (i.e. at the time of writing this report prior to the agenda deadline). Any submissions received after the agenda deadline but prior to the LTC meeting will be forwarded to Trustees and the applicant and will be reported at the meeting.

### **First Nations**

There are no known First Nations interests or potential impacts related to this application.

The Islands Trust reviews all applications to ensure the preservation and protection of cultural heritage, archaeological sites, and ancestral places. As reviewed, the application is consistent with respect to LTC Standing Resolutions on reconciliation. Notwithstanding, to provide applicants with awareness regarding unknown archaeological areas, staff forwarded the Islands Trust Chance Find Protocol and the provincial Archaeological Branch guidelines on Heritage Act directly to the applicants with the initial application.

### **Rationale for Recommendation**

It is recommended that the proposed variance to bring the existing stairs, landing, and deck into compliance be approved. The alterations to the landing improved the safety of the stairs, the variance is minor in nature, and no complaints have been received from adjacent neighbours.



## ALTERNATIVES

The LTC may consider the following alternatives to the staff recommendation:

### 1. Request further information

The LTC may request further information prior to making a decision. If selecting this alternative, the LTC should describe the specific information needed and the rationale for this request. Recommended wording for the resolution is as follows:

*That the Galiano Island Local Trust Committee request that the applicant submit to the Islands Trust ....*

### 2. Deny the application

The LTC may deny the application. If the application is refused the owner may apply to the Board of Variance. Recommended wording for the resolution is as follows:

*That the Galiano Island Local Trust Committee refuse application GL-DVP-2022.16.*

|               |                                          |                   |
|---------------|------------------------------------------|-------------------|
| Submitted By: | Charly Caproff, Planning Technician      | November 15, 2022 |
| Concurrence:  | Robert Kojima, Regional Planning Manager | November 21, 2022 |

## ATTACHMENTS

1. Site Context
2. Photos and Plan
3. Correspondence
4. Notice
5. Proposed Development Variance Permit

## ATTACHMENT 1 – SITE CONTEXT

### LOCATION

|                   |                                                                        |
|-------------------|------------------------------------------------------------------------|
| Legal Description | Lot 5, Sections 5 And 8, Galiano Island, Cowichan District, Plan 11712 |
| PID               | 001-912-020                                                            |
| Civic Address     | 574 Gulf Drive, Galiano Island                                         |
| Lot Size          | 0.28 ha (0.69 ac)                                                      |

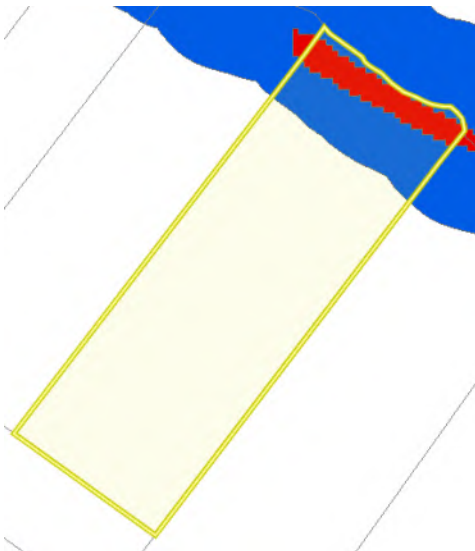
### LAND USE

|                      |                                                                                                        |
|----------------------|--------------------------------------------------------------------------------------------------------|
| Current Land Use     | Village Residential 2 Zone (VR2)                                                                       |
| Surrounding Land Use | Neighbouring lots are Village Residential 2 Zone (VR2). The rear lot line borders the Marine (M) Zone. |

### HISTORICAL ACTIVITY

|              |                             |
|--------------|-----------------------------|
| File No.     | Purpose                     |
| GL-BP-2021.7 | Application to replace deck |

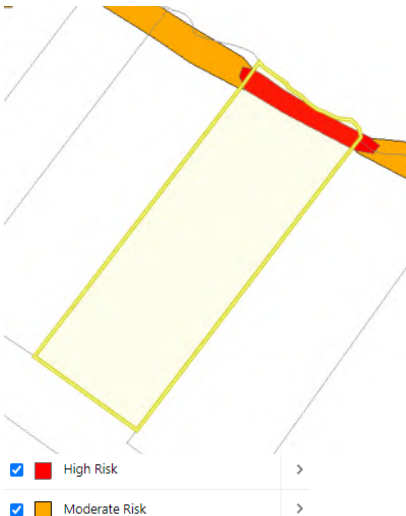
### POLICY/REGULATORY

|                                      |                                                                                                                                                                                                                                                                                     |
|--------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Official Community Plan Designations | <p>Galiano Island OCP No. 108, 1995 - Village Residential 2 (VR2)</p> <p>Development Permit Area 2 – Shoreline and Marine</p> <p>Development Permit Area 7 – Steep Slope High Hazard Areas</p>  |
| Land Use Bylaw                       | <p>Galiano Island LUB No. 127, 1999:</p> <p>The subject property is zoned Village Residential 2 (VR2)</p>                                                                                                                                                                           |

Z:\09 Current Planning\04 GL\3190 DVP\25 Applications (P)\2022\GL-DVP-2022.5 (Grehan)\06 Staff Reports\GL-LTC\_2022-09-21\_GL-DVP-2022.5\_SITE CONTEXT.docx

|                   |                                                                                           |
|-------------------|-------------------------------------------------------------------------------------------|
| Other Regulations | N/A                                                                                       |
| Covenants         | There is no covenant registered on the property                                           |
| Bylaw Enforcement | GL-BE-2021.7 – active file regarding a structure in the setback from the natural boundary |

## SITE INFLUENCES

|                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
|------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Islands Trust Conservancy                | There are no Conservancy covenants or properties in the direct area; therefore no referral has been made to the Board.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| Regional Conservation Strategy           | <p>The subject property appears to be within the <b>MEDIUM</b> relative value area for important natural areas in the Galiano Island Local Trust Area.</p>                                                                                                                                                                                                                                                                                                                                                                                                                            |
| Species at Risk                          | N/A                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| Sensitive Ecosystems                     | N/A                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| Hazard Areas                             | <p>Mapping indicates areas of high risk steep slope at the rear of the property</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| Archaeological Sites                     | <p>Mapping indicates archaeological potential on the property.</p> <p>Notwithstanding the foregoing, and by copy of this report, the owners and applicant should be aware that there is still a chance that the lot may contain previously unrecorded archaeological material that is protected under the <i>Heritage Conservation Act</i>. If such material is encountered during development, all work should cease and Archaeology Branch should be contacted immediately as a <i>Heritage Conservation Act</i> permit may be needed before further development is undertaken. This may involve the need to hire a qualified archaeologist to monitor the work.</p> |
| Climate Change Adaptation and Mitigation | No additional impacts to GHG emissions anticipated as a result of this application.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |

|                          |                                   |
|--------------------------|-----------------------------------|
| Shoreline Classification | Rock Shoreline - Low Rock/Boulder |
| Shoreline Data in TAPIS  | None currently mapped             |

## ATTACHMENT 2 – PHOTOS AND PLAN

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### PHOTOS:

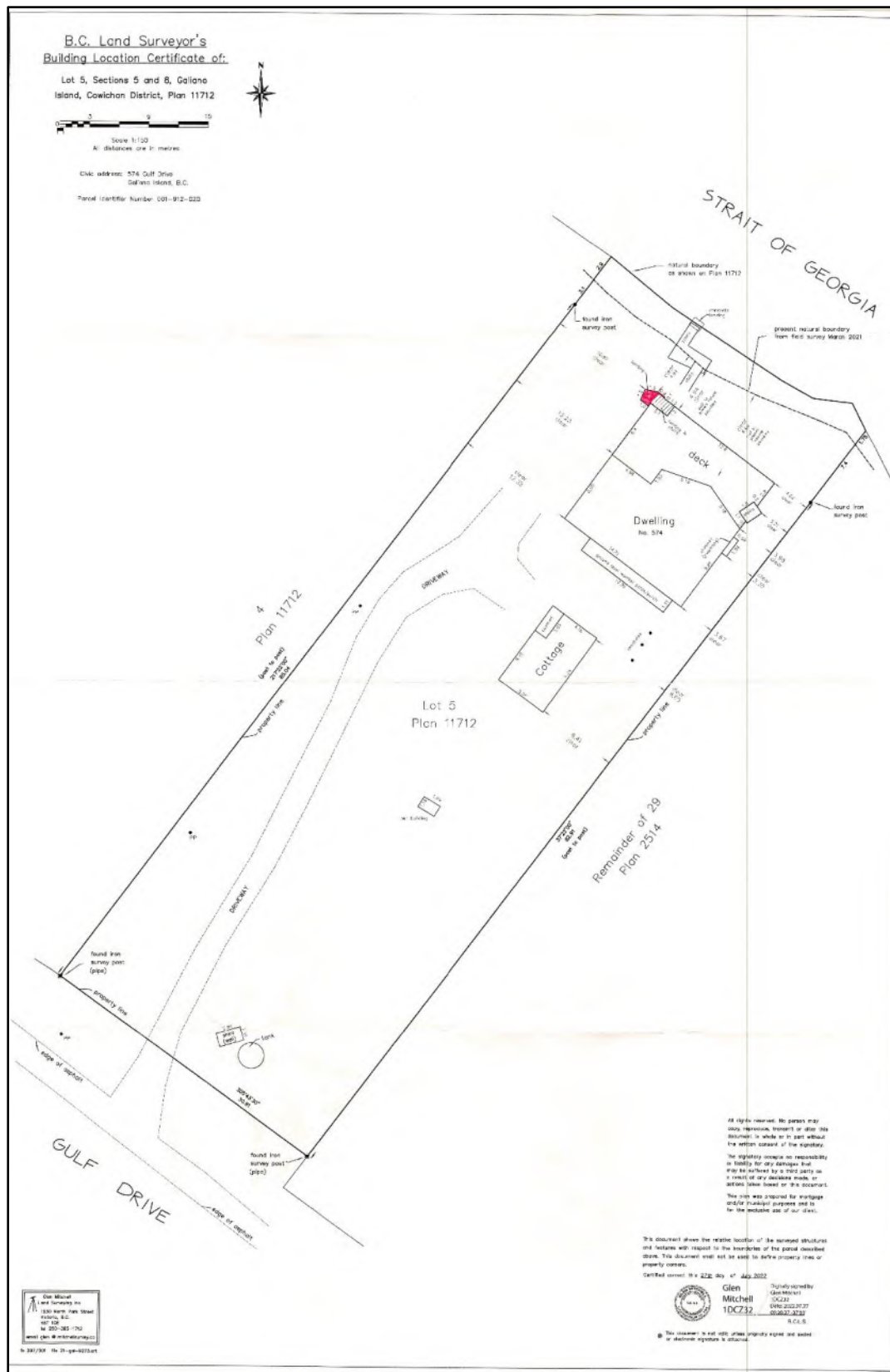
#### Landing



#### Deck



# Site Plan



November 19, 2022

Galiano Island Local Trust Committee  
c/o Charly Caproff,  
Planning Technician

Dear Trustees,

I am in receipt of a Notice stating the Galiano Island Local Trust Committee will be considering a Development Variance Permit on the property at 574 Gulf Drive. This is a residence [REDACTED] Out of interest I visited the property issuing the request to see if I had any concerns.

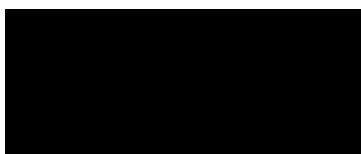
Because the variance wanted to reduce the setback from the natural boundary of the sea for the existing deck, I wanted to see if the request in any way compromised the Official Community Plan for Galiano Island. The OCP states: *Particular care must be taken to preserve sufficient land and water in their natural state to enable wildlife, plant life and marine life of the island to continue to exist and flourish.*

What I found was a new deck constructed using a slightly smaller footprint than the former deck, a deck that needed replacement because it had become unsafe. The steps leading off the new deck led to a rocky surface such as is found on our coast. To ensure safety, a small transition landing was installed. It is this landing that requires the Development Variance Permit.

This very small landing does not take sufficient space to impair plant or marine life. Its purpose is to provide people coming down the stairs a sure footing before continuing onto the rocky surface at the bottom of the stairs.

I see no reason for the Galiano Islands Trust to withhold allowing this variance.

Regards, Susan DeBeck



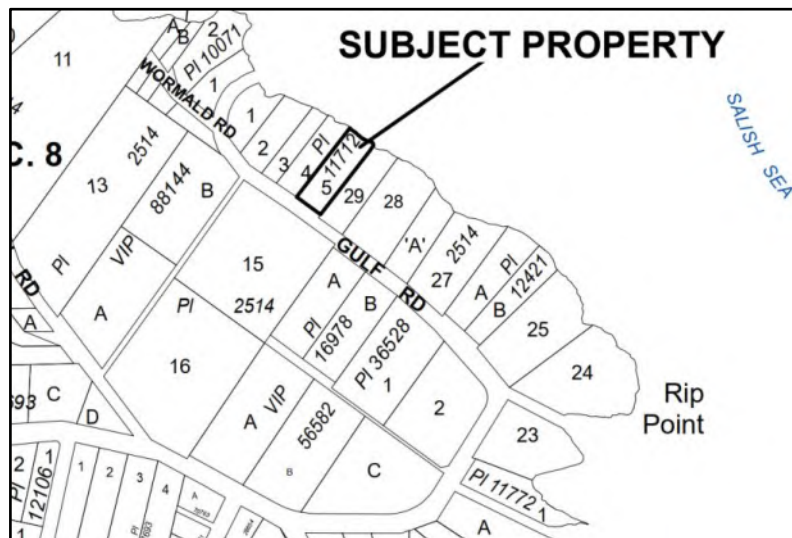


**NOTICE** is hereby given pursuant to Section 499 of the *Local Government Act* that the Galiano Island Local Trust Committee will be considering a resolution allowing for the issuance of a Development Variance Permit, the proposed permit would vary the Galiano Island Land Use Bylaw No. 127, 1999, by:

- Reducing the 7.5 metre setback from the natural boundary of the sea for the existing deck, stairs and landing to 4.94 metres;
- Reducing the 7.5 metre rear lot line setback for the existing deck, stairs and landing to 4.94 metres.

The property is located at **574 Gulf Drive** and is legally described as Lot 5, Sections 5 and 8, Galiano Island, Cowichan District, Plan 11712 (PID: 001-912-020).

The general location of the subject property is shown on the following sketch:



A copy of the proposed permit may be inspected at the Islands Trust Office, 200 – 1627 Fort Street, Victoria, BC V8R 1H8 between the hours of 8:30 a.m. to 4:30 p.m. Monday to Friday inclusive, excluding statutory holidays, commencing **November 10, 2022** and continuing up to and including **November 23, 2022**.

For the convenience of the public only, and not to satisfy Section 499 (2) (c) of the *Local Government Act*, additional copies of the Proposed Permit may be inspected at various Notice Boards on Galiano Island, BC commencing **November 10, 2022**.

Enquiries or comments should be directed to Charly Caproff, Planning Technician at (250) 405-5172, for Toll Free Access, request a transfer via Enquiry BC: In Vancouver 604-660-2421 and elsewhere in BC 1-800-663-7867; or by email to: [southinfo@islandstrust.bc.ca](mailto:southinfo@islandstrust.bc.ca) before 4:30 pm, **Wednesday, November 23, 2022**.

The Galiano Island Local Trust Committee may consider a resolution allowing for the issuance of the permit during the regular business meeting starting at **12:30 p.m., December 5<sup>th</sup>, 2022** at the **Galiano South Community Hall**, 141 Sturdies Bay Rd, on Galiano Island.

All applications are available for review by the public with prior appointment. Written comments made in response to this notice will also be available for public review.

Jas Chonk, Deputy Secretary





**GALIANO ISLAND LOCAL TRUST COMMITTEE  
DEVELOPMENT VARIANCE PERMIT  
GL-DVP-2022.5**

To: Barbara and Phillip Grehan

1. This Development Variance Permit applies to the land described below:

Lot 5, Sections 5 and 8, Galiano Island, Cowichan District, Plan 11712 (PID: 001-912-020)

2. Galiano Island Land Use Bylaw No. 127, 1999 is varied as follows:

**Setbacks from Watercourses**

2.14 Buildings and structures must be sited at least 7.5 metres from the natural boundary of the sea, and at least 15 metres from any lake, a swamp and any other natural watercourse. This setback from the sea does not apply to structures located on a highway and for stairway structures located in the Park Zone.

**Minimum Setbacks**

5.1.6 Buildings and structures must be sited

5.1.6.1 at least 7.5 metres from front and rear lot lines

The above articles are varied to permit the existing stairs, landing and deck to be located within 4.94 m of the natural boundary of the sea and the rear lot line.

The variances shall be consistent with Schedule 'A' which is attached to and form part of this permit.

3. This permit is not a building permit and does not remove any obligation on the part of the permittee to comply with all other requirements of "Galiano Island Land Use Bylaw No. 127, 1999" and to obtain other approvals necessary for completion of the proposed development, including approval of the Capital Regional District and Ministry of Transportation and Infrastructure.
4. Any further development, redevelopment, or any changes to this permit may require a new Development Variance Permit.

**AUTHORIZING RESOLUTION PASSED BY THE GALIANO LOCAL TRUST COMMITTEE THIS \_\_TH DAY OF [MONTH], [YEAR].**

\_\_\_\_\_  
Deputy Secretary, Islands Trust

\_\_\_\_\_  
Date of Issuance

**IF THE DEVELOPMENT DESCRIBED HEREIN IS NOT COMMENCED BY THE \_\_TH DAY OF [MONTH], [YEAR (2 YEARS FROM DATE OF ISSUANCE)] THIS PERMIT AUTOMATICALLY LAPSES.**



DATE OF MEETING: December 5, 2022

TO: Galiano Island Local Trust Committee

FROM: Charly Caproff, Planning  
Technician Southern Team

COPY: Robert Kojima, Regional Planning Manager

SUBJECT: Development Permit  
Applicant: Jesse Keefer  
Location: 18585 Porlier Pass Rd, Galiano Island

## RECOMMENDATION

1. That the Galiano Island Local Trust Committee approve issuance of Development Permit GL-DP-2022.4 (Keefer)

## REPORT SUMMARY

The subject property is designated in **Development Permit Area Six – Commercial and Industrial Form and Character (DPA)**. The objective of this DPA is to ensure that new or additional commercial or industrial uses are developed in a manner that is consistent with and enhances rural island character and minimizes impacts on adjacent properties.

The above recommendation is supported as the proposed development is compliant with the DPA guidelines and the uses, siting and parking conform to provisions of the land use bylaw (LUB).

## BACKGROUND

British Columbia's *Local Government Act* enables communities to designate parts of their planning area as Development Permit Areas (DPAs) so they can set objectives and guidelines for development within those areas. The Galiano Island Official Community Plan (OCP) designates seven DPAs generally designed to protect sensitive ecosystems or to guide development in areas with special circumstances. With exception to DPA 6, issuance for Galiano Island DPAs has recently been delegated to staff.

The DP application is to refurbish and reopen the existing building, a former restaurant. The application was made following a stop work order issued by the Capital Regional District (CRD) earlier this year. The building is located at 18585 Porlier Pass Rd (Figure 1) and zoned Retail Commercial (C1). According to the applicant, the restaurant opened in 1974 and operated for 15 years. Currently the structure is unoccupied. The intent is operate a café/restaurant and food retail store (small grocery store). A DP was required for this project as per subsection 6.5 (c) of the OCP because the proposed exterior renovations require a building permit and the

proposed patio and new ramp and landing increase the building's footprint.

Documents submitted as part of this application include:

- a survey, site, and parking plan showing existing buildings and proposed renovations as well as setbacks from property lines;
- existing and proposed floor plans including a seating and area plan;
- proposed roof plan;
- building elevations;
- lighting, signage and bike rack plan; and
- a landscape plan

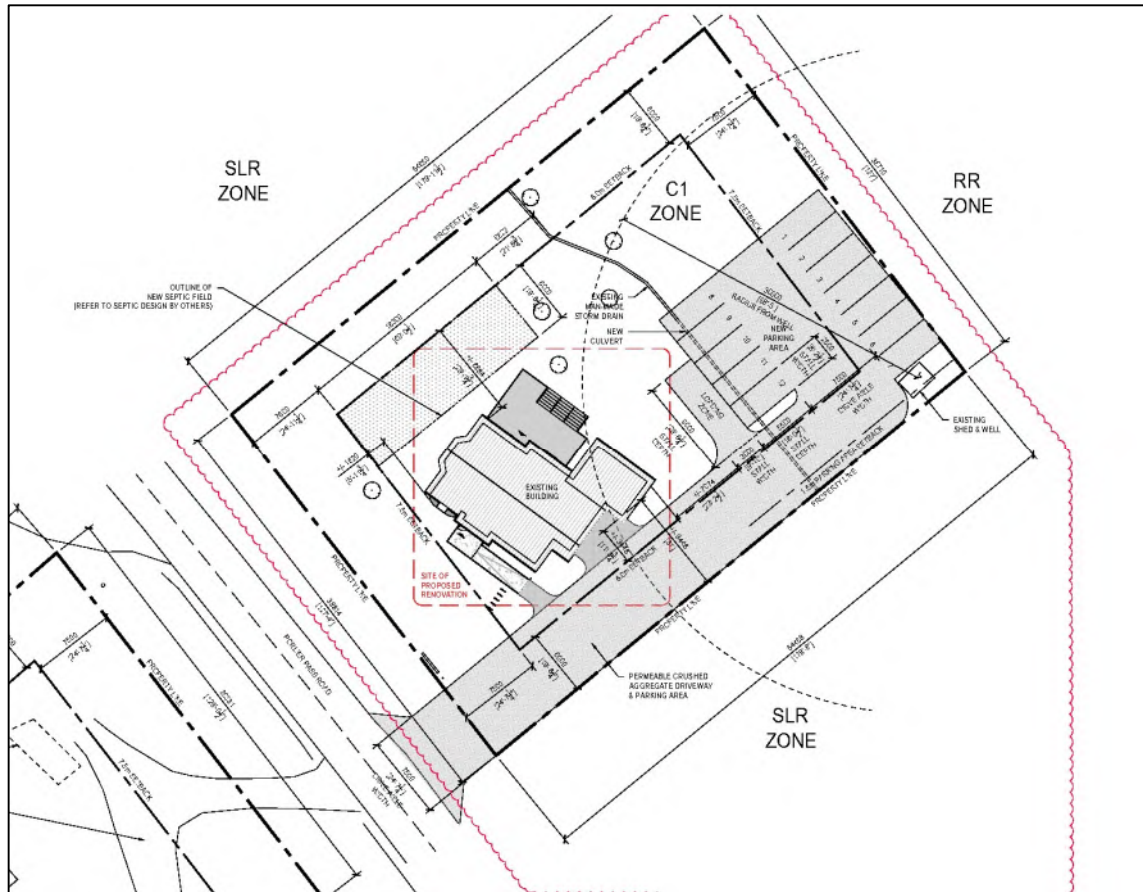
**Figure 1 – Subject Property**



The proposed work on the existing building and site is as follows, all in preparation for the operation of a 28 seat café/restaurant and food retail store:

- the existing building is to be structurally repaired and upgraded to meet the current building code;
- a new roof is to be added;
- the exterior walls are to be redone with cedar siding;
- existing windows and doors to be replaced to improve building efficiency and energy performance;
- an updated kitchen is to be installed;
- existing patio to be demolished and replaced with an accessible stair and ramp;
- a new patio to be added to the rear of the building;
- the existing landscaping to be revitalized and added to;
- installation of signage, lighting and bike racks; and
- redesign of the existing parking space to accommodate parking for 12 vehicles – one stall removed to provide bicycle parking as per section 14.8 of the LUB

Figure 2 – Site Plan



Staff conducted a site visit in July 26, 2022. Additional site context is included as Attachment 1 and map, photos and the site plan are included as Attachment 2.

## ANALYSIS

### Policy/Regulatory

#### *Islands Trust Policy Statement*

The relevant policy to the proposed development is:

**5.2.3** Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address policies related to the aesthetic, environmental and social impacts of development.

The policy has been implemented through zoning regulations and designation of the DPA.

#### *Official Community Plan*

The property is designated **Commercial (C) and Small Lot Residential (SLR)** in the Galiano Island Official Community Plan No. 108, 1995.

The section of property on the north side of Portlier Pass Road (where development will take place) is designated **Development Permit Area Six – Commercial and Industrial Form and Character**. The objective of the DPA is to ensure that new or additional commercial or industrial uses are developed in a manner that is consistent with and enhances

rural island character and minimizes impacts on adjacent properties.

Analysis of the proposed development's conformity to the objectives and guidelines is found in the Development Permit Area Checklist (Attachment 3) and discussed in detail below ('Issues and Opportunities.')

In summary the proposal conforms to the DPA guidelines.

### ***Land Use Bylaw***

The property is zoned **Retail Commercial (C1) and Small Lot Residential (SLR)** in the LUB. The application complies with the siting, use and parking requirement provisions of the Galiano Island Official Community Plan No. 108, 1995.

### **Issues and Opportunities**

The guidelines for DPA 6 are analyzed in Attachment 3 – DPA Checklist. Some specific comments are as follows:

#### ***Form and Character***

- The renovated building's form would not overwhelm the scale, mass and character of adjacent non-commercial properties and, as proposed, displays requisite character by using cedar siding and retaining the stone chimney; and
- The visual impacts of the proposal are minimal, unobtrusive, and align with the objectives of DPA 6

Overall the form and character of the proposed development is consistent with the DP guidelines.

#### ***Landscape and Parking***

- Social gathering is encouraged with a proposed outdoor dining patio and informal seating throughout the property;
- The landscape plan shows that hardy native shrubs will be planted; and
- Large impervious and surfaced parking area avoided with the use of permeable crushed aggregate and parking is located at the rear of the property

#### ***Signage and Lighting***

- Only one freestanding sign is proposed with no lighting; and
- Lighting provided for pedestrian paths and parking utilized low voltage lighting

### **Consultation**

There is no public or agency consultation regularly associated with a DP application. In addition, there is no statutory notification required.

### **Rationale for Recommendation**

Based on the proposal's compliance with the DPA guidelines and that the uses and siting and parking conform to the provisions of the LUB, staff is recommending that the LTC approve issuance of Development Permit GL-DP-2022.4 (Keefer) as per the resolution on Page 1.

## ALTERNATIVES

### 1. Request further information

The LTC may request further information prior to making a decision. If selecting this alternative, the LTC should be advised to describe the specific information needed and the rationale for this request.

Recommended wording for the resolution is as follows:

*That the Galiano Island Local Trust Committee request that the applicant submit to the Islands Trust \_\_\_\_\_.*

### 2. Determine that the DPA guidelines are not being met

The LTC may determine that the application as presented does not meet one or more guidelines of DPA-6. If this is the case, the LTC may request that the applicant amend the proposal to more closely align with DPA guidelines. The LTC should indicate which guidelines are not being met and the reasons for this.

Recommended wording for the resolution is as follows:

*That the **Galiano Island Local Trust Committee** has determined that application GL-DP-2022.# (Name) as presented on date, 2022 does not meet guideline(s) \_\_\_\_\_ for the following reasons: \_\_\_\_\_*

|               |                                          |                   |
|---------------|------------------------------------------|-------------------|
| Submitted By: | Charly Caproff, Planning Technician      | November 16, 2022 |
| Concurrence:  | Robert Kojima, Regional Planning Manager | November 22, 2022 |

## ATTACHMENTS

1. Site Context
2. Maps, Plans, Photographs
3. DPA Guideline Checklist
4. Proposed Development Permit GL-DP-2022.4



## ATTACHMENT 1 – SITE CONTEXT

### LOCATION

|                   |                                                                       |
|-------------------|-----------------------------------------------------------------------|
| Legal Description | LOT 8, DISTRICT LOT 83, GALIANO ISLAND, COWICHAN DISTRICT, PLAN 21831 |
| PID               | 003-364-712                                                           |
| Civic Address     | 18585 Porlier Pass Rd Galiano                                         |
| Lot Size          | 0.63 ha (1.55 ac)                                                     |

### LAND USE

|                      |                                                                                           |
|----------------------|-------------------------------------------------------------------------------------------|
| Current Land Use     | Retail Commercial (C1) and Small Lot Residential (SLR) – existing structure is unoccupied |
| Surrounding Land Use | Small Lot Residential (SLR)                                                               |

### HISTORICAL ACTIVITY

| File No.      | Purpose                          |
|---------------|----------------------------------|
| GL-BP-2022.17 | Building permit for a restaurant |

### POLICY/REGULATORY

|                                      |                                                                                                                                                    |
|--------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------|
| Official Community Plan Designations | Commercial (C) and Small Lot Residential (SLR)<br><br>DPA 6 – Commercial and Industrial Form and Character                                         |
| Land Use Bylaw                       | Retail Commercial (C1) and Small Lot Residential (SLR)<br><br> |
| Bylaw Enforcement                    | CRD issued a stop work order for renovation of the proposed restaurant/café and retail shop.                                                       |



## SITE INFLUENCES

|                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
|------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Islands Trust Conservancy                | The proposal has no implications for the Islands Trust Conservancy.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| Regional Conservation Strategy           | The proposal does not impact the objectives and priorities of the Islands Trust Conservancy regional conservation plan.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| Species at Risk                          | N/A                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| Sensitive Ecosystems                     | <p>Mature Forest</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| Hazard Areas                             | None where development will take place.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| Archaeological Sites                     | <p>Mapping archaeological potential on the subject site.</p> <p>Notwithstanding the foregoing, and by copy of this report, the owners and applicant should be aware that there is still a chance that the lot may contain previously unrecorded archaeological material that is protected under the <i>Heritage Conservation Act</i>. If such material is encountered during development, all work should cease and Archaeology Branch should be contacted immediately as a <i>Heritage Conservation Act</i> permit may be needed before further development is undertaken. This may involve the need to hire a qualified archaeologist to monitor the work.</p> |
| Climate Change Adaptation and Mitigation | N/A                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| Shoreline Classification                 | Not Applicable                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| Shoreline Data in TAPIS                  | N/A                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |

## ATTACHMENT 2 – MAPS, PLANS, PHOTOGRAPHS

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### 2.1 ORTHOPHOTO AND ZONING



### 2.2 DPA



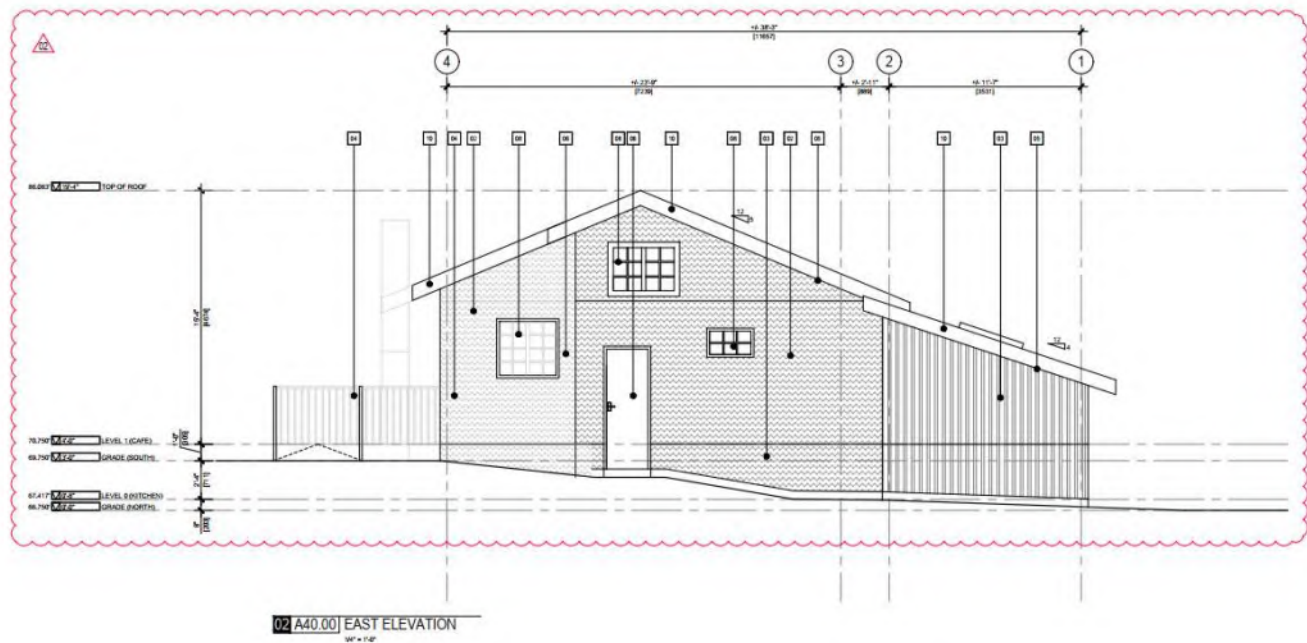
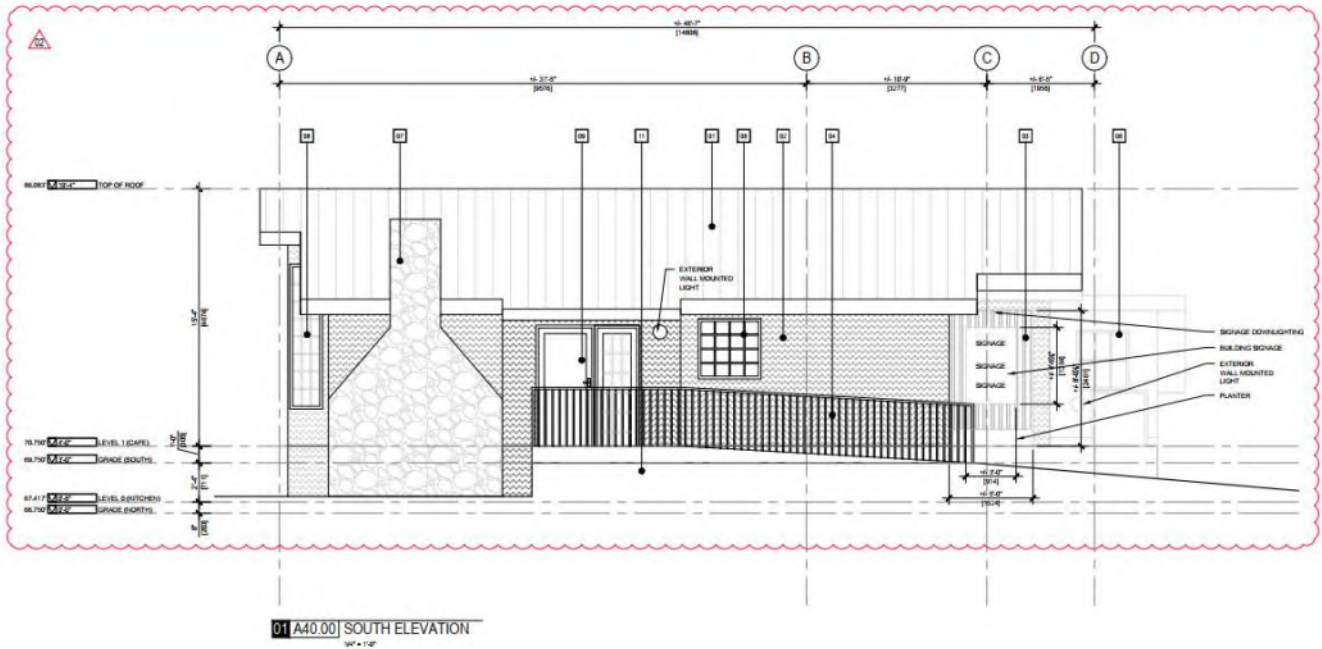
 DPA 6 - Commercial & Industrial

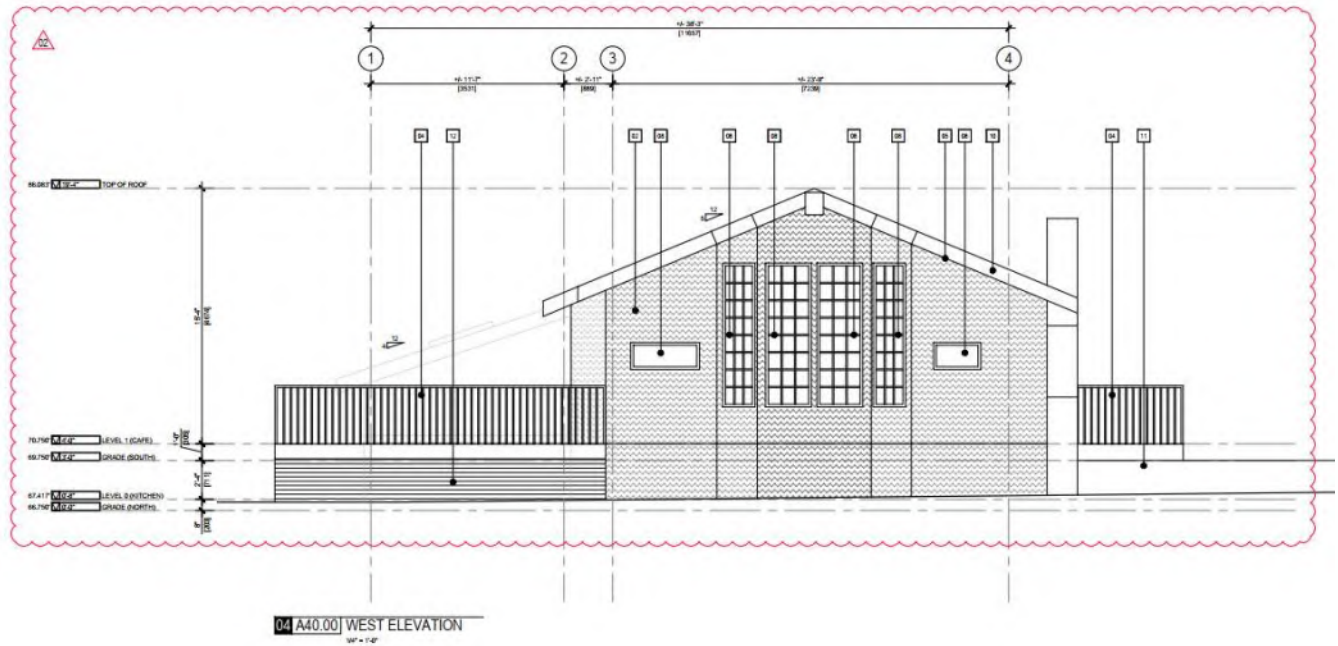
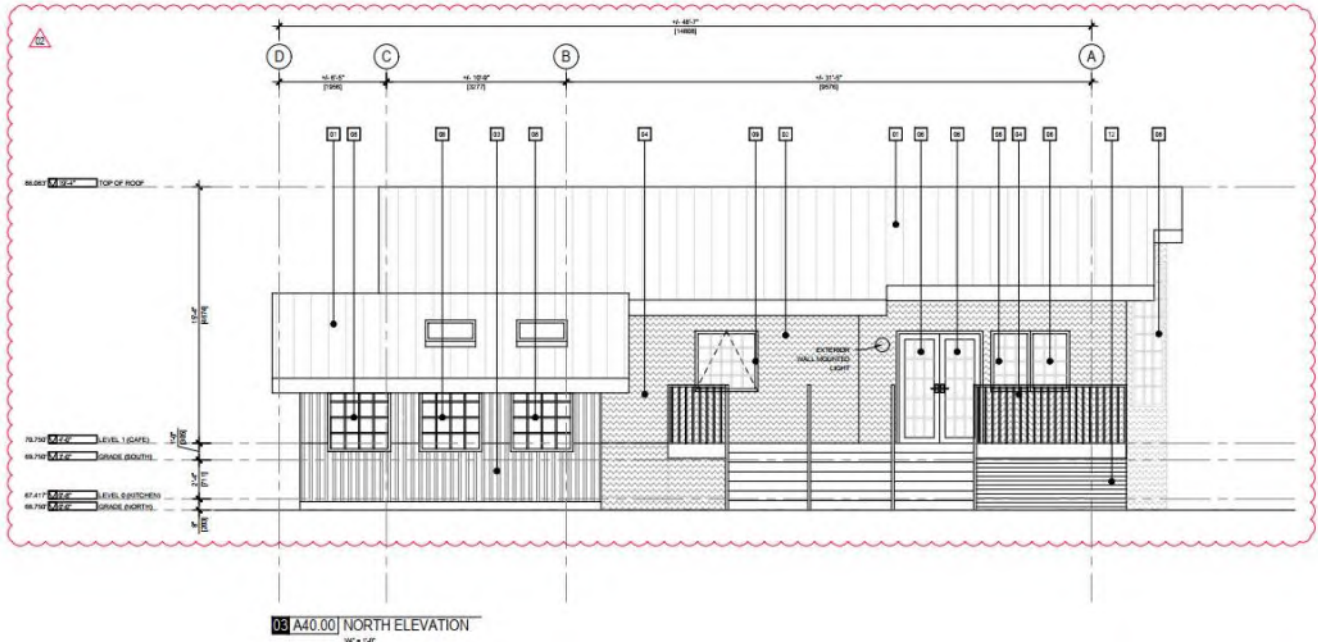
## Islands Trust



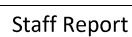


## 2.4 BUILDING ELEVATIONS



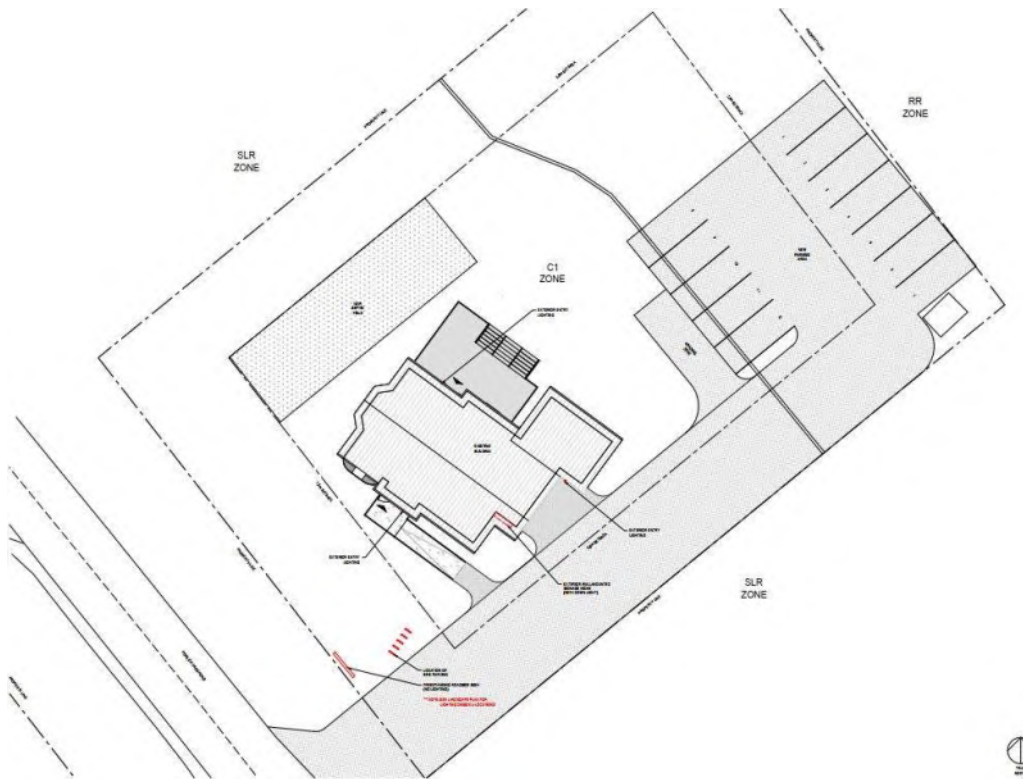


## Islands Trust





## 2.6 LIGHTING, SIGNAGE, PARKING AND BIKE RACK PLAN



## 2.7 LANDSCAPE PLAN





## 2.8 EXISTING SITE CONDITIONS (JULY 26, 2022)



**SUBJECT BUILDING**





**PROPERTY – EAST SIDE OF LOT**





**PROPERTY - REAR**

**Galiano Island**  
**OCP Bylaw No. 108, 1995**  
**Commercial and Industrial Form and Character Development Permit Area**  
**(DPA 6)**  
**Guideline Checklist**

| Guideline                                                                                                                                                                                                                                                                                                      | Complies                            |                          |                                     | Comments                                                                                                                                                                                                              |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|--------------------------|-------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                                                                                                                                                                                                                                                                                                                | Yes                                 | No                       | N/A                                 |                                                                                                                                                                                                                       |
| 1. Where an application involves <u>retail commercial</u> buildings or structures, which are buildings and structures designed and intended for commercial uses other than for visitor accommodation, the building form and character should adhere to the following guidelines:                               |                                     |                          |                                     |                                                                                                                                                                                                                       |
| a) Buildings and other structures should utilize existing topography and vegetation to be sited in a manner that is relatively unobtrusive and blends into the surrounding landscape.                                                                                                                          | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            |                                                                                                                                                                                                                       |
| b) Buildings should be designed and sited with the main entrance oriented to the front lot line or to the main point of entry from the road where appropriate.                                                                                                                                                 | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | Restaurant fronts onto Porlier Pass Rd                                                                                                                                                                                |
| c) Building form and character should not overwhelm the scale, mass and character of adjacent non-commercial properties.                                                                                                                                                                                       | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | Height is consistent and meets zoning requirements at 4.674 m – maximum building height is 9.0 m. Building footprint does not overwhelm scale or massing of adjacent residential properties.                          |
| d) Building mass should be appropriately proportioned in comparison to building height by limiting building frontage length in relation to building height.                                                                                                                                                    | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            |                                                                                                                                                                                                                       |
| e) Building mass should be softened by the use of small-scale elements such as windows, panels, entrances and other detail features in order to avoid monotony in design.                                                                                                                                      | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            |                                                                                                                                                                                                                       |
| f) Buildings should not be designed with blank walls presenting an aspect to the highway or to highly visible areas; features such as garage doors and windowless facades should be minimized.                                                                                                                 | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            |                                                                                                                                                                                                                       |
| g) Buildings giving the impression of strip development should not be considered.                                                                                                                                                                                                                              | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            |                                                                                                                                                                                                                       |
| h) Natural materials should be incorporated into the design of buildings with construction materials.                                                                                                                                                                                                          | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | Cedar wood siding and deck, stone chimney, metal roofing                                                                                                                                                              |
| i) Architectural variety should be provided through the use of features such as pitched roofs, dormers and similar features.                                                                                                                                                                                   | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | Variation in roof height – see North Elevation                                                                                                                                                                        |
| j) New buildings should be sited in a manner that results in minimal disturbance to existing vegetation.                                                                                                                                                                                                       | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | Minimum changes to existing footprint                                                                                                                                                                                 |
| k) In order to reduce noise, elements such as roof top mechanical equipment, shipping and loading areas, exterior storage areas, transformers, and meters should be screened from public view as effectively as possible through the use of any combination of landscaping, solid fencing and building design. | <input type="checkbox"/>            | <input type="checkbox"/> | <input checked="" type="checkbox"/> |                                                                                                                                                                                                                       |
| l) Social gathering should be encouraged by creating spaces such as porches, patios and gardens that are visible and accessible.                                                                                                                                                                               | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | Outdoor dining patio, informal seating throughout garden                                                                                                                                                              |
| 4. All applications should include <u>landscaping</u> adhering to the following guidelines:                                                                                                                                                                                                                    |                                     |                          |                                     |                                                                                                                                                                                                                       |
| a) A landscape plan prepared by a landscape professional should:                                                                                                                                                                                                                                               |                                     |                          |                                     |                                                                                                                                                                                                                       |
| i. provide supporting documentary evidence pertaining to landscape specifications, irrigation requirements, planting lists (highlighting indigenous species), cost estimates, and the total value of the work;                                                                                                 | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | Total cost is \$3,000.00, intent is to incorporate hardy and primarily native plants. Rain garden to be used to irrigate portions of landscaping – intent is passive and natural watering to avoid manual irrigation. |
| ii. identify existing vegetation by type and identify areas which are to be cleared;                                                                                                                                                                                                                           | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            |                                                                                                                                                                                                                       |

| Guideline                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | Complies                            |                          |                                     | Comments                                                                                         |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|--------------------------|-------------------------------------|--------------------------------------------------------------------------------------------------|
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | Yes                                 | No                       | N/A                                 |                                                                                                  |
| iii. provide for the landscape treatment of the frontage of the site which abuts onto existing or future public roads;                                                                                                                                                                                                                                                                                                                                                                                                                   | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            |                                                                                                  |
| iv. provide for vegetative buffers along lot lines;                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | Native planting section, Landscape Plan                                                          |
| v. identify how landscape treatment will avoid the use of herbicides, pesticides and fungicides.                                                                                                                                                                                                                                                                                                                                                                                                                                         | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | Mechanical weeding, native plants                                                                |
| b) Existing site topography, landscape features, and indigenous vegetation should be retained wherever possible. Significant or important existing indigenous vegetation within all setback areas should be preserved (i.e. wetlands and mature wooded areas). Significant existing indigenous vegetation within the buildable area of the site should be preserved wherever possible through careful and innovative site design.                                                                                                        | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            |                                                                                                  |
| c) Appropriate natural buffering and landscaping should be provided along all roads. The width and extent of this buffer strip should be established based on the overall useable site area of the parcel, the extent of existing vegetation, the provision for adequate access and visual clearances, and any zoning requirements for landscape screening. Appropriate buffering should also be provided adjacent to the boundary of the Agricultural Land Reserve, along abutting residential properties and adjacent to watercourses. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            |                                                                                                  |
| d) Any storage areas on the property facing public roadways should have adequate landscape screening or the provision of other screening consistent with the overall character of the site and with the other guidelines in this section.                                                                                                                                                                                                                                                                                                | <input type="checkbox"/>            | <input type="checkbox"/> | <input checked="" type="checkbox"/> |                                                                                                  |
| e) Proposed new plantings should consist of indigenous vegetation or other non-invasive vegetation suitable for local environmental conditions; buffer planting using massing of indigenous trees and shrubs is encouraged.                                                                                                                                                                                                                                                                                                              | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            |                                                                                                  |
| f) Appropriate planting should be used to soften building massing, to break up parking areas and to provide screening along lot lines. It is not intended that plantings form a full-height visual screen around the whole site and screen all buildings from view; planting should reduce and soften the apparent scale and mass of buildings, provide screens, and create breaks in a building façade or at building corners.                                                                                                          | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            |                                                                                                  |
| g) New drainage swales and detention basins should be planted with materials that will assist in the treatment of stormwater runoff and that are also complementary to the surrounding natural vegetation.                                                                                                                                                                                                                                                                                                                               | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | Raingarden to be constructed at rear of subject property                                         |
| h) All landscaping and screening should be completed within 12 months of an occupancy permit being issued and should meet or exceed the British Columbia Society of Landscape Architects and British Columbia Nursery Trades Association standards.                                                                                                                                                                                                                                                                                      | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            |                                                                                                  |
| i) The application may include a security, in the form of an irrevocable letter of credit for 125% of the value of the quoted landscaping cost.                                                                                                                                                                                                                                                                                                                                                                                          | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | As new planting will occur, a security is required for this application.                         |
| 5. All applications should provide a <u>parking</u> layout plan, adhering to the following guidelines:                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                     |                          |                                     |                                                                                                  |
| a) Large impervious and surfaced parking areas should be avoided. Parking should be provided through smaller parking areas dispersed throughout the development and separated with planted landscaped areas. Porous or permeable surfaces should be used where practical and impervious surfaces should be minimized and swales and open ditches should be installed rather than curb and gutter systems.                                                                                                                                | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | Permeable crushed aggregate used, meets minimum parking requirement for proposed commercial uses |

| Guideline                                                                                                                                                                                     | Complies                            |                          |                                     | Comments                                              |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|--------------------------|-------------------------------------|-------------------------------------------------------|
|                                                                                                                                                                                               | Yes                                 | No                       | N/A                                 |                                                       |
| b) Visitor parking spaces should be clearly identified and provided within the development. Tree planting is encouraged in and around parking areas                                           | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            |                                                       |
| c) Parking should be located at the sides or rear of buildings wherever feasible.                                                                                                             | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | Parking located at the rear of building               |
| d) Development should provide for and clearly identify pedestrian circulation areas, preferably with different paving and/or landscaping treatment.                                           | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            |                                                       |
| e) All significant paved parking areas should be included within the context of any stormwater water plan and incorporate oil/water separators.                                               | <input type="checkbox"/>            | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Permeable crushed aggregate used                      |
| f) The shared use of a common access between businesses is encouraged. The number of accesses should be limited to the number required for traffic safety.                                    | <input type="checkbox"/>            | <input type="checkbox"/> | <input checked="" type="checkbox"/> |                                                       |
| g) All new development should include provision for bicycle parking or storage.                                                                                                               | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            |                                                       |
| 6. <u>Lighting</u> proposed as part of an application for a new building or overall site development should adhere to the following guidelines:                                               |                                     |                          |                                     |                                                       |
| a) Lighting for walks and parking areas should be small in scale and used to illuminate signs, displays and pedestrian paths.                                                                 | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | Exterior low voltage pathway lighting, entry lighting |
| b) High intensity lighting in parking lots and along roadsides is discouraged.                                                                                                                | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            |                                                       |
| c) Security and other lighting should not be placed so as to shine directly onto residential or agricultural properties or to reduce the effectiveness of any landscaped buffer.              | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            |                                                       |
| 7. <u>Signs</u> should adhere to the following guidelines:                                                                                                                                    |                                     |                          |                                     |                                                       |
| a) Each site should have no more than one freestanding sign, located on the same lot as the development.                                                                                      | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | One freestanding roadside stand with no lighting      |
| b) One sign should be installed for each business premise. All signs should be integrated into the overall design of the building and should not extend above the top wall of a building.     | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            |                                                       |
| c) Signs should not be backlit or equipped with flashing, oscillating or moving lights or beacons.                                                                                            | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            |                                                       |
| 8. The LTC may consider variances to siting, size, or parking regulations where the variance may result in closer adherence to the objectives and guidelines of this development permit area. | <input type="checkbox"/>            | <input type="checkbox"/> | <input checked="" type="checkbox"/> |                                                       |



GALIANO ISLAND LOCAL TRUST COMMITTEE  
DEVELOPMENT PERMIT GL-DP-2022.4

To: Jesse Keefer

1. This Development Permit (the "Permit") applies the land described below and all buildings, structures and other developments therein:

Lot 8, District Lot 83, Galiano Island, Cowichan District, Plan 21831.  
(PID: 003-364-712)

2. This Development Permit GL-DP-2022.4 authorizes the renovation of an existing building for the purposes of a café/restaurant and retail store as well as landscaping and parking areas all within **Development Permit Area ("DPA") 6 – Commercial and Industrial Form and Character**, subject to the following requirements and conditions:

***Siting and Layout***

- a) The siting and layout of the building and structures shall be substantially in accordance with the Site Plan attached to and forming part of this permit as **Schedule 'A'**

***Building Form and Character***

- b) Renovation of the building shall be substantially in accordance with the Building and Elevation Plans as attached to and forming part of this permit as **Schedule 'B Plan 1-3'**;
- c) Building design should substantively adhere to descriptions and visuals provided, including:
  - i. incorporation of natural materials, such as cedar and stone, into the design of the building;
  - ii. existing patio shall be demolished and replaced with accessible stair and ramp;

***Landscaping***

- d) Landscaping shall be substantially in accordance with the Landscape Plan forming part of this permit as **Schedule 'C' and Schedule 'D'**;
- e) Landscaping shall substantively adhere to the following conditions:
  - i. existing site topography, landscape features, and indigenous vegetation shall be retained whenever possible;
  - ii. tree removal shall be limited to the existing tree adjacent to the 'Garden Seating Area' identified on Schedule 'C';
  - iii. maintain all mature trees and native planting as shown on Schedule 'C';
  - iv. landscape buffering shall be provided along Porlier Road as shown in Schedule 'C';



- v. proposed new plantings shall consist of native vegetation or other non-invasive vegetation suitable for local environmental conditions as shown on Schedule 'D';
- vi. social gathering shall be encouraged through the provision of an outdoor dining patio and informal seating throughout the property as specified on Schedule 'C' and Schedule 'D';
- vii. irrigation requirements and site drainage conditions shall be addressed through drainage into a raingarden as detailed on Schedule 'C' and Schedule 'D'.

***Parking***

- f) Parking configuration, number of stalls, landscaping components and construction shall generally be in accordance with the Site Plan attached to and forming part of this Permit as **Schedule 'A'**;

***Lighting, Signage, and Bike Rack***

- g) Lighting, signage, and the bike rack shall be substantially in accordance with the Lighting, Signage, Bike Rack Plan attached to and forming part of this permit as **Schedule 'E'**;

3. Pursuant to Section 502 of the Local Government Act, the Local Trust Committee requires security to ensure that any conditions respecting new planting and other landscape elements are satisfied:
  - a) Where the Local Trust Committee considers that a condition in the permit respecting landscaping has not been satisfied the Local Trust Committee may undertake and complete the works required to satisfy the landscaping condition, at the cost of the permit holder, and may apply the security in payment of the cost of the works with any excess to be returned to the permit holder.
  - b) Any interest earned on the security provided under Condition 4 shall accrue to the permit holder and be paid to them immediately on return of the security or, on default, become part of the amount of the security.
  - c) The security provided by the permit holder shall be in the form of:
    - I. An irrevocable letter of credit with a clause for automatic renewal, or cash equivalent.
    - II. Payable to the Islands Trust,
    - III. In the amount of 125% of the quoted landscaping cost totaling \$3,750.00 based upon the cost estimate of \$3,000.00 confirmed by the applicant November 18, 2022.
4. Any further development within designated Development Permit Areas will require a new Development Permit, or a Development Permit Amendment.
5. The area described herein shall be developed substantively in accordance with the terms, conditions and provisions of this Permit, and any plans and specifications attached to this Permit, which shall form a part thereof.

6. This permit does not relieve the applicant from complying with the provisions of the Galiano Island Land Use Bylaw No. 127, 1999 unless varied by this Permit.

This permit is not a building permit and does not remove any obligation on the part of the permittee to comply with all other requirements of Galiano Island Land Use Bylaw No. 127, 1999 and to obtain other approvals necessary for completion of the proposed development including, but not limited to, the provincial Ministry of Forests, Lands And Natural Resource Operations and Rural Development and the Department of Fisheries and Oceans.

AUTHORIZING RESOLUTION PASSED BY THE GALIANO ISLAND LOCAL TRUST COMMITTEE, THIS      <sup>rd</sup> DAY  
OF      , 2022.

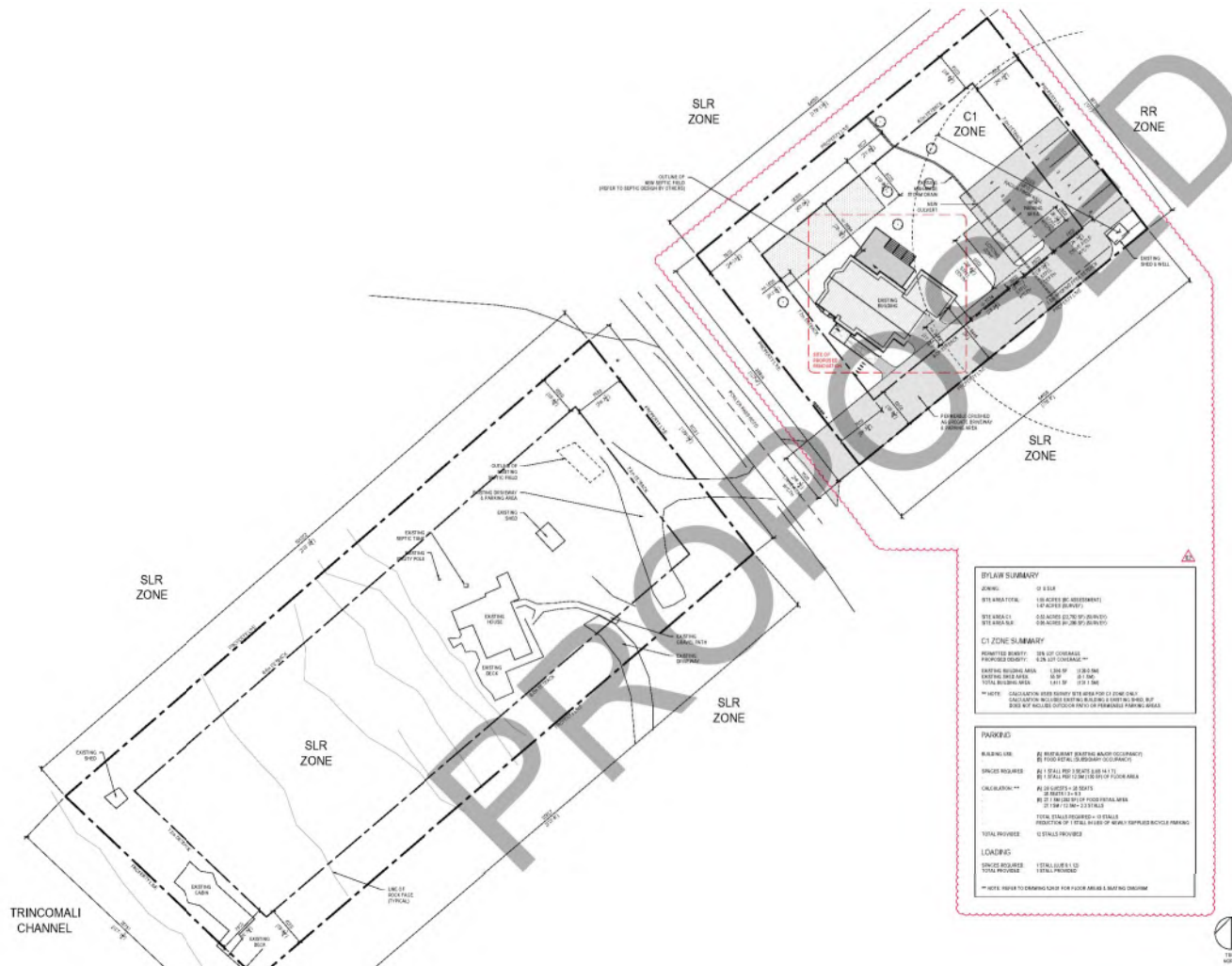
\_\_\_\_\_  
Deputy Secretary, Islands Trust

\_\_\_\_\_, 2022  
Date Issued

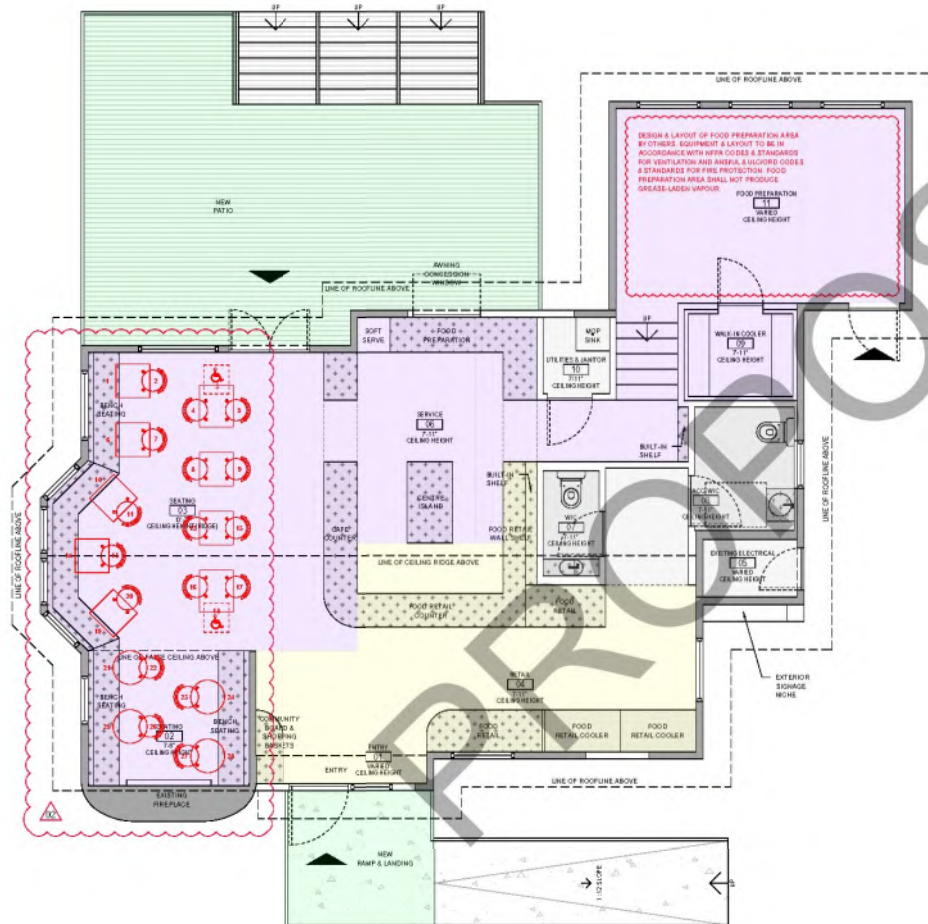
IF THE DEVELOPMENT HEREIN IS NOT COMMENCED BY THE ##<sup>th</sup> DAY OF MONTH, 202# THIS PERMIT  
AUTOMATICALLY LAPSES.

PROPOSED

**GALIANO ISLAND LOCAL TRUST COMMITTEE  
DEVELOPMENT PERMIT 2022.4  
Schedule 'A' – Site Plan**



GALIANO ISLAND LOCAL TRUST COMMITTEE  
DEVELOPMENT PERMIT 2022.4  
Schedule 'B'  
Building and Elevation Plan 1



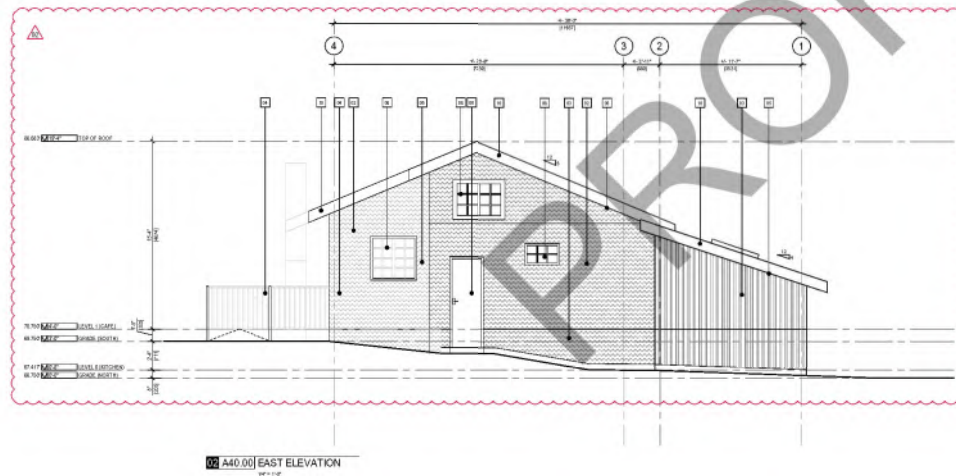
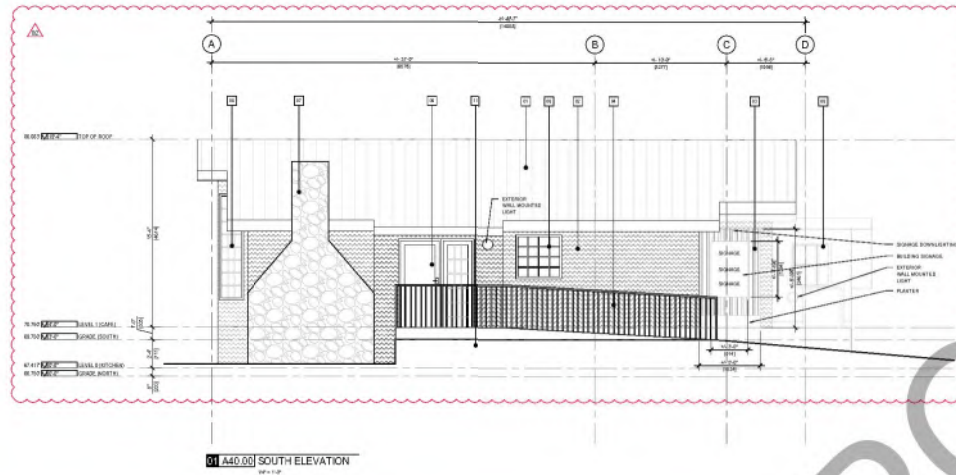
| LEGEND                                 |                |          |
|----------------------------------------|----------------|----------|
| PROGRAMME                              | AREA           |          |
| RETAIL - GROCERY                       | 292 SF         |          |
| RESTAURANT / CAFE<br>SEATING & SERVICE | 310 SF         |          |
| WC (x2)                                | 66 SF          |          |
| UTILITY ROOM &<br>SERVICE SPACES       | 74 SF          |          |
| TERRACE / PATIO                        | 402 SF (PATIO) |          |
| TOTAL INTERIOR AREA                    |                | 1,342 SF |
| TOTAL PATIO AREA                       |                | 492 SF   |

| SEATING PLAN               |                |
|----------------------------|----------------|
| SEAT LOCATION SHOWN IN RED | TOTAL 28 SEATS |
| TABLE                      |                |
| CHAIR                      |                |



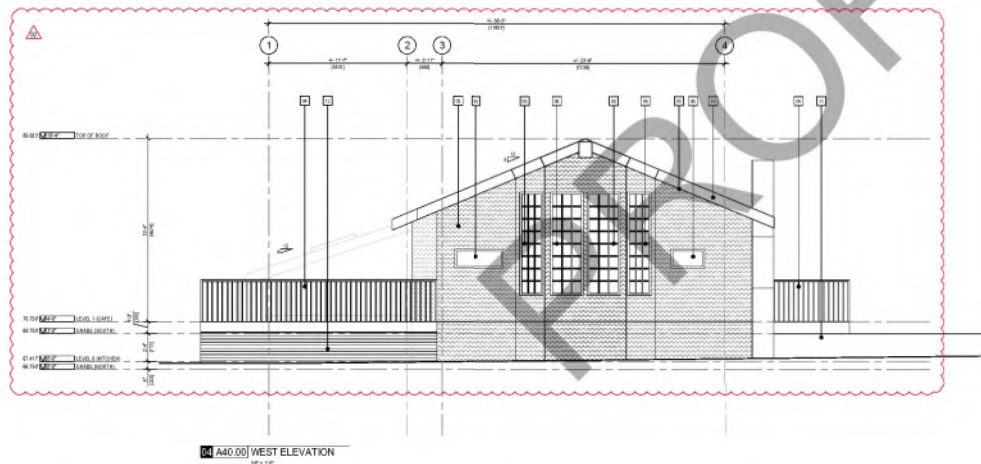
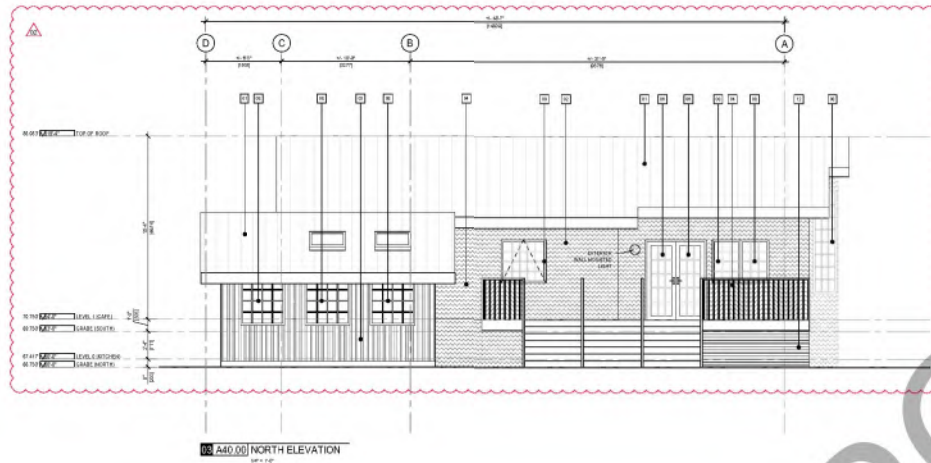
GALIANO ISLAND LOCAL TRUST COMMITTEE  
DEVELOPMENT PERMIT 2022.4  
Schedule 'B' Cont.' - Building and Elevation Plan 2



| FINISH LEGEND |                                                     |
|---------------|-----------------------------------------------------|
| 01            | STANDING SEAM METAL ROOFING<br>FINISH - TBD         |
| 02            | WOOD SHINGLE CLADDING<br>FINISH - TBD               |
| 03            | VERTICAL WOOD SIDING<br>FINISH STAIN - TBD          |
| 04            | WOOD PATIO<br>FINISH STAIN - TBD                    |
| 05            | WOOD SOFFIT W/<br>FINISH STAIN - TBD                |
| 06            | SOLID CORE DOOR<br>FINISH STAIN - TBD               |
| 07            | STONE CHIMNEY<br>EXISTING                           |
| 08            | WINDOW - EXISTING<br>FRAME FINISH - TBD             |
| 09            | WINDOW / DOOR - NEW<br>FRAME FINISH - TBD           |
| 10            | METAL BREAK SHAPE<br>POWDER COAT FINISH - TBD       |
| 11            | CONCRETE<br>FINISH - TBD                            |
| 12            | HORIZONTAL WOOD DECK CLADDING<br>FINISH STAIN - TBD |



GALIANO ISLAND LOCAL TRUST COMMITTEE  
DEVELOPMENT PERMIT 2022.4  
Schedule 'B' Cont.' - Building and Elevation Plan 3



| FINISH LEGEND |                                                     |
|---------------|-----------------------------------------------------|
| 01            | STANDING BEAM METAL ROOFING<br>FINISH - TBD         |
| 02            | WOOD SHINGLE CLADDING<br>FINISH - TBD               |
| 03            | VERTICAL WOOD SIDING<br>FINISH STAIN - TBD          |
| 04            | WOOD PATIO<br>FINISH STAIN - TBD                    |
| 05            | WOOD SOFFIT W/<br>FINISH STAIN - TBD                |
| 06            | SOLID CORE DOOR<br>FINISH STAIN - TBD               |
| 07            | STONE CHIMNEY<br>EXISTING                           |
| 08            | WINDOW - EXISTING<br>FRAME FINISH - TBD             |
| 09            | WINDOW / DOOR - NEW<br>FRAME FINISH - TBD           |
| 10            | METAL BREAK SHAPE<br>POWDER COAT FINISH - TBD       |
| 11            | CONCRETE<br>FINISH - TBD                            |
| 12            | HORIZONTAL WOOD DECK CLADDING<br>FINISH STAIN - TBD |
| 13            |                                                     |

**GALIANO ISLAND LOCAL TRUST COMMITTEE  
DEVELOPMENT PERMIT 2022.4  
Schedule 'C' - Landscape Plan**



**GALIANO ISLAND LOCAL TRUST COMMITTEE  
DEVELOPMENT PERMIT 2022.4  
Schedule 'D' - Landscape Design Principles Plan**

**LANDSCAPE DESIGN PRINCIPLES**

**PINN COTTAGE GARDEN**

Remnant of an English Country Cottage Garden, the Pinn Cottage Garden feels both lush and abundant with year round flowering beauty. Much of current design conditions and local ecological values, the landscape will be planted with heavy native shrubs and groundcovers, interspersed with bright flowering low maintenance perennials.



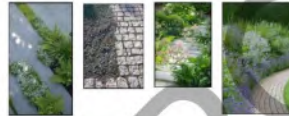
**WATER MANAGEMENT**

Naturally a very wet site, the landscape will be well drained around the building and throughout the gardens with subsurface drainage that collect into a central infiltration. This garden practices collection for heavy rain events but also offers ecological benefits to small amphibians and birds. A focus on native plant material will ensure that the rain garden is successful even during the hot summer months.



**ACCESSIBILITY + ACCESS**

Pathing will have two paths accessing the building main entrance: one to come along the driveway, utilizing a distinct pavement treatment from the gravel to delineate a safe space for pedestrians. A secondary path to come across the meadow and through the surrounding landscape for a more experiential connection to the building. Front and back of building to be accessible with a ramp.



**OUTDOOR DINING + SOCIAL SPACES**

A cafe/restaurant nestled into a backyard garden. Outdoor dining patio to be surrounded by floral gardens both from the parking lot and driveway. A covered patio with tables and chairs and informal seating throughout the garden for visitors to enjoy.



**PLANTING EXAMPLES,  
DETAILED PLANTING PLAN IN PROGRESS**

**TREES**



KATSURA TREE AROUND  
BATHHOUSE

FLOWERING CRABAPPLE

**SHRUBS**



OCEAN SPRAY

NODDY ROSE

HYDRANGEA

SNOWBERRY

**PERENNIALS + GROUNDCOVERS**



SEA THRIFT

CAMASSIA

LAVENDER

YARROW PINK GRAPEFRUIT

PACIFIC ASTER

**IRRIGATION REQUIREMENTS**

The intent is to use heavy indigenous native plant species to avoid additional irrigation throughout the property. Being located at the base of a steep slope, the site is naturally a well-drained and allows for the natural opportunity of water collection. The proposed landscape design includes the collection of a rain garden which serves to temporarily store water and naturally filter it into the ground. The rain garden will also be used to capture water from the site with existing, such as the low maintenance perimeter. The intent is to establish a landscape that will flourish through passive and natural means to avoid manual irrigation.

**HERBICIDES, INSECTICIDES & FUNGICIDES**

An important way of creating thoughtful, long-term healthy landscape is through plant selection. The aim of the proposed planting plan is to select native plants to maintain a natural landscape environment throughout the site. Mechanical weeding will be implemented to control unwanted weed growth, and will be implemented on a regular schedule basis to ensure a well-maintained landscape. As the site is naturally a well-drained, herbicide spraying would not be suitable.

**COST ESTIMATE**

Construction of the proposed landscape design will be achieved by the owner, who has all required machinery and tools to appropriately move earth and plant materials.

Large & small rocks from minor excavations on-site will be collected to form the stone landscape elements.

Planting will come from the owner's starts and cuttings which are currently grown in their greenhouse nursery in Bodega Ridge on Galiano Island.

Pathway pavers will be cut and collected by the owner from materials on-site and in their possession.

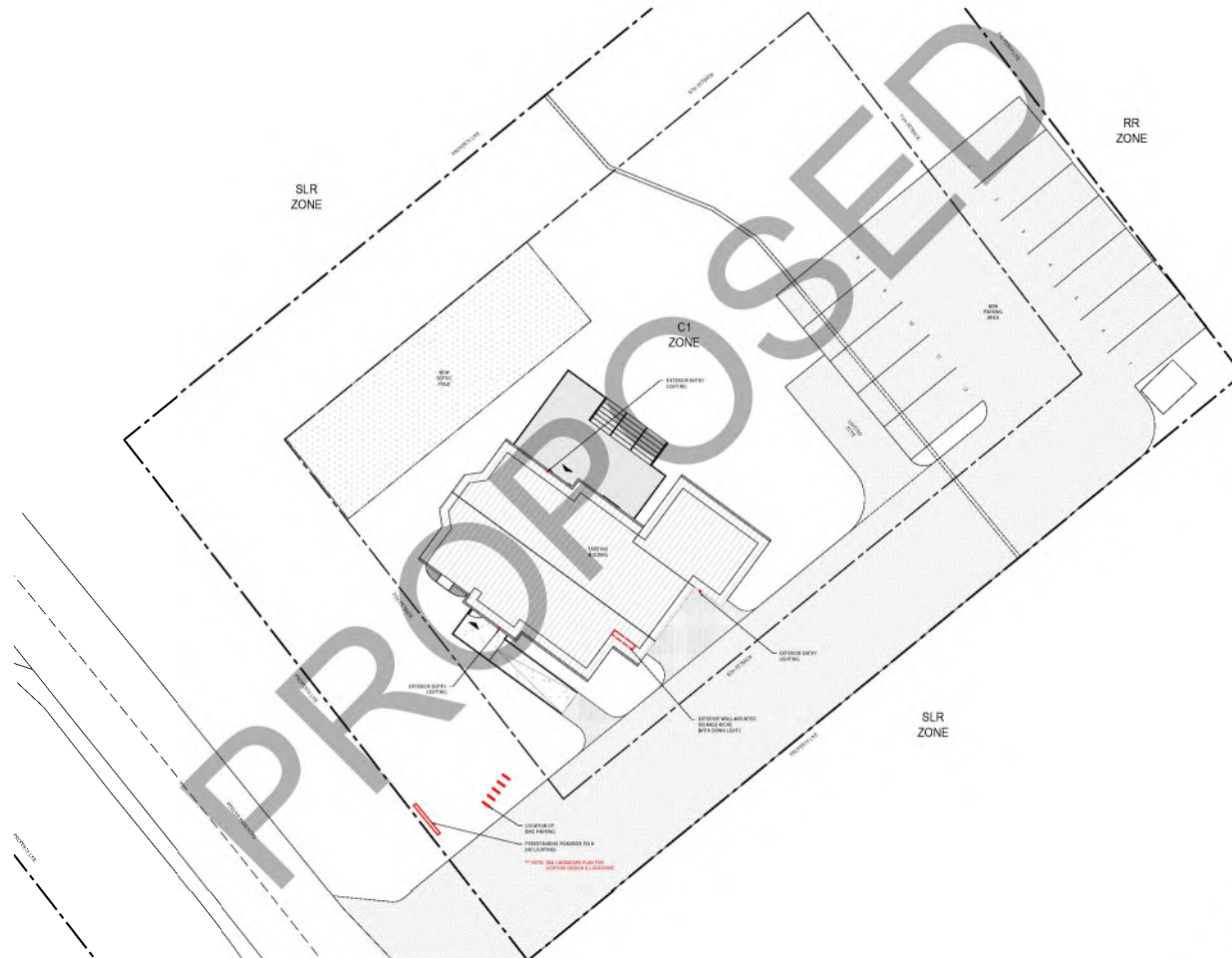
Additional material, such as rock & pathway aggregate, landscape lighting, parking wheelstops and bicycle racks will be transported to site. A high level cost breakdown is shown below:

|                          |               |
|--------------------------|---------------|
| Rock & pathway aggregate | \$1,500       |
| Landscape lighting       | \$500         |
| Stone wheelstops         | \$500         |
| Bicycle racks            | \$500         |
| <b>Total</b>             | <b>\$3000</b> |





GALIANO ISLAND LOCAL TRUST COMMITTEE  
DEVELOPMENT PERMIT 2022.4  
Schedule 'E' – Lighting, Signage, Bike Rack Plan



DATE OF MEETING: December 15, 2022

TO: Galiano Island Local Trust Committee

FROM: Brad Smith, Island Planner  
Southern Team

COPY: Robert Kojima, Regional Planning Manager

SUBJECT: Rezoning Application GL-RZ-2019.1 – adoption of amending bylaws

Applicant: Gulf Islands Galisle Affordable Rental Housing Society (GIGARHS)

Location: District Lots 30/31 (Community Forest), Galiano Island

## RECOMMENDATIONS

- 1) That the Galiano Island Local Trust Committee Bylaw No. 276, cited as “Galiano Island Official Community Plan Bylaw No. 108, 1995, Amendment No. 2, 2020” be adopted.
- 2) That the Galiano Island Local Trust Committee Bylaw No. 277, cited as “Galiano Island Land Use Bylaw No. 127, 1999, Amendment No. 1, 2020” be adopted.

## REPORT SUMMARY

The purpose of this staff memo is to update the Local Trust Committee (LTC) on the status of application GL-RZ-2019.1 (GIGARHS) and to seek direction on adoption of proposed Bylaw No. 276 and No. 277.

The above recommendations are supported as:

- The proposed bylaws have been given 2<sup>nd</sup> and 3<sup>rd</sup> reading by the previous LTC, have been considered at a public hearing as per statutory requirements, and have been approved by the Islands Trust Executive Committee and the Minister of Municipal Affairs (for BL 277);
- All associated tasks to register the Housing Agreement and s. 219 covenant in respect of form/character and environmental protections for the development on the subject property have been completed at the Land Title Office; and,
- There are no other associated administrative or statutory steps required prior to the LTC considering fourth reading and adoption.

## BACKGROUND

A rezoning application was submitted to the Islands Trust in September 2019 by the Gulf Islands Galisle Affordable Rental Housing Society (GIGARHS). The intent of this rezoning application is to allow for the development of up to 12 units of affordable housing in the community forest property located at the terminus of Georgia View Road.



The current status of application GL-RZ-2019.1 (GIGARHS) is as follows:

- Proposed [Bylaw No. 276 \(OCP\)](#) and [No. 277 \(Land Use Bylaw\)](#) have been given 3rd reading by the previous LTC;
- Islands Trust Executive Committee (EC) has approved Bylaw No. 276 and 277 and the Minister of Municipal Affairs has approved Bylaw No. 276;
- [Administrative Bylaw No. 274 \(Housing Agreement\)](#) has been approved by EC and adopted by the previous LTC;
- The two associated s. 219 *Land Title Act* covenants for 1) Bylaw No. 274 (Housing Agreement) and 2) with respect to development form/character/environmental protections have been finalized and signed by all parties;
- The Land Title Office (LTO) has confirmed that the two covenants are now registered on title of the subject property (attached) and the notice of the housing agreement is with the LTO pending registration; and,
- There are no other associated administrative or statutory steps required prior to the LTC considering fourth reading and adoption.

Further information regarding the application including all staff reports, professional reports and correspondence relating to the application can be found here:

<https://islandstrust.bc.ca/island-planning/galiano/current-applications/>

The LTC may consider the following alternatives to the staff recommendations:

**1. Request further information**

The LTC may request further information prior to making a decision. If selecting this alternative, the LTC should describe the specific information needed.

Resolution:

*That the Galiano Island Local Trust Committee request that the applicant submit to the Islands Trust*  
\_\_\_\_\_.

**2. Hold the application in abeyance**

The LTC may choose to hold the application in abeyance.

Resolution:

*That the Galiano Island Local Trust Committee hold application GL-RZ-2019.1 (GIGARHS) in abeyance.*

**3. Deny the application**

The LTC may deny the application.

Resolution:

*That the Galiano Island Local Trust Committee proceed no further with application GL-RZ-2019.1 (GIGARHS).*

## NEXT STEPS

With direction, staff will update the base LUB and OCP bylaws to reflect the changes generated by adoption of Bylaw No. 276 and 277 and will take the necessary steps to close-out the rezoning application file.

|                 |                                          |                  |
|-----------------|------------------------------------------|------------------|
| Submitted By:   | Brad Smith, Island Planner               | December 6, 2022 |
| Concurrence By: | Robert Kojima, Regional Planning Manager | December 6, 2022 |

Attachment 1. Bylaw No 276

Attachment 2. Bylaw No. 277

Attachment 3. Registered Housing Agreement CB331857

Attachment 4. Registered s. 219 covenant CB331858

# PROPOSED

## GALIANO ISLAND LOCAL TRUST COMMITTEE BYLAW NO. 276

---

### A BYLAW TO AMEND GALIANO ISLAND OFFICIAL COMMUNITY PLAN BYLAW NO. 108, 1995

---

The Galiano Island Local Trust Committee enacts in open meeting assembled as follows:

1. CITATION

This Bylaw may be cited for all purposes as "Galiano Island Official Community Plan Bylaw No. 108, 1995, Amendment No. 2, 2020".

2. SCHEDULES

Galiano Island Official Community Plan No. 108, 1995 is amended as shown on Schedule 1, attached to and forming part of this bylaw.

3. SEVERABILITY

If any provision of this Bylaw is for any reason held to be invalid by a decision of any Court of competent jurisdiction, the invalid provision must be severed from the Bylaw and the decision that such provision is invalid must not affect the validity of the remaining provisions of the Bylaw.

|                                                               |                  |        |         |        |
|---------------------------------------------------------------|------------------|--------|---------|--------|
| READ A FIRST TIME THIS                                        | 1 <sup>ST</sup>  | DAY OF | MARCH   | 2021.  |
| PUBLIC HEARING HELD THIS                                      | 16 <sup>TH</sup> | DAY OF | JULY    | 2022.  |
| READ A SECOND TIME THIS                                       | 16 <sup>TH</sup> | DAY OF | JULY    | 2022.  |
| READ A THIRD TIME THIS                                        | 16 <sup>TH</sup> | DAY OF | JULY    | 2022.  |
| APPROVED BY THE EXECUTIVE COMMITTEE OF THE ISLANDS TRUST THIS | 3 <sup>RD</sup>  | DAY OF | AUGUST  | 2022.  |
| APPROVED BY THE MINISTER MUNICIPAL AFFAIRS AND HOUSING THIS   | 6 <sup>TH</sup>  | DAY OF | OCTOBER | 2022.  |
| ADOPTED THIS                                                  | _____            | DAY OF | _____   | 20____ |

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CHAIR

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SECRETARY

**GALIANO ISLAND LOCAL TRUST COMMITTEE  
BYLAW NO. 276**

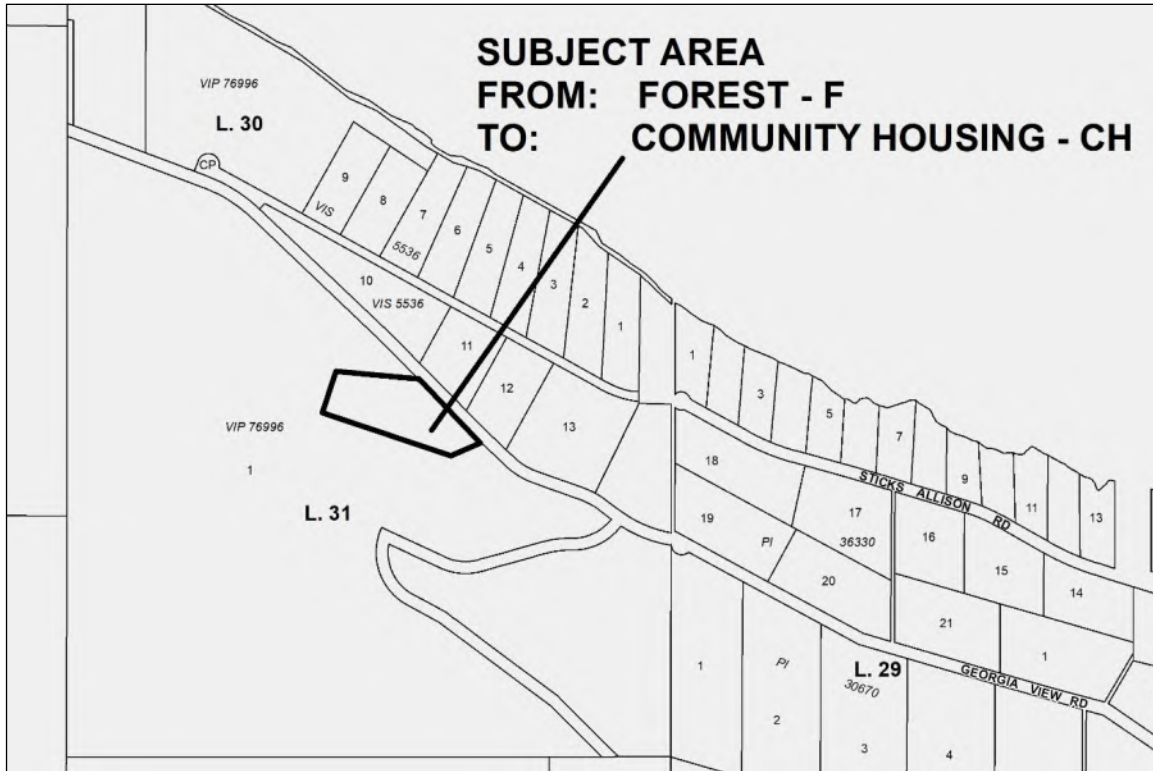
**SCHEDULE 1**

The Galiano Island Official Community Plan No. 108, 1995, is amended as follows:

- 1.1 Section 2, subsection 1.6 (Community Housing), Community Housing Policy b)i) is deleted and replaced with “i) all additional density greater than that permitted by current zoning shall be in the form of units reserved primarily for occupancy as affordable, seniors or special needs housing as operated on a not for profit basis.”
- 1.2 Schedule “B” – LAND USE DESIGNATIONS is amended by changing the land use designation of a portion of the lands legally described as Lot 1 District Lots 30 and 31 Galiano Island Cowichan District Plan VIP76996 except that part in plan VIP76997 from Forest – F to Community Housing – CH as shown on Plan No. 1 attached to and forming part of this bylaw.

GALIANO ISLAND LOCAL TRUST COMMITTEE  
BYLAW NO. 276

Plan No. 1





# PROPOSED

## GALIANO ISLAND LOCAL TRUST COMMITTEE BYLAW NO. 277

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### A BYLAW TO AMEND GALIANO ISLAND LAND USE BYLAW NO. 127, 1999

---

The Galiano Island Local Trust Committee, being the Trust Committee having jurisdiction in respect of the Galiano Island Local Trust Area under the *Islands Trust Act*, enacts as follows:

1. Citation

This bylaw may be cited for all purposes as “Galiano Island Land Use Bylaw No. 127, 1999, Amendment No. 1, 2020”.

2. Galiano Island Local Trust Committee Bylaw No. 127, cited as “Galiano Island Land Use Bylaw No. 127, 1999,” is amended as follows:

- a) By adding “Community Housing 2 (CH2) in Section 4.1 immediately following Community Housing 1 (CH1)”
- b) By adding the following after Section 8.6:

“8.7 Community Housing 2 – CH2

Permitted Uses

8.7.1 In the Community Housing 2 zone the following uses are permitted, subject to the regulations set out in this section and the general regulations set out in Parts 2 and 3, and all other uses are prohibited.

- 8.7.1.1 Dwellings for the provision of affordable housing
- 8.7.1.2 Communal/services building
- 8.7.1.3 Home occupations

Permitted Density

8.7.2 A maximum of 12 dwellings are permitted on each lot.

8.7.3 Maximum floor area of a dwelling must not exceed

- 8.7.3.1 65 square metres for a 1 bedroom unit
- 8.7.3.2 151 square metres for a 2 bedroom unit
- 8.7.3.3 184 square metres for a 3 bedroom unit

8.7.4 One communal/services building is permitted on each lot.

8.7.5 Maximum floor area of communal/services building must not exceed 75 square metres.

8.7.6 Lot coverage must not exceed 25%.

#### Permitted Height

8.7.7 No building or structure for a use permitted by this section may exceed 9 metres in height.

#### Minimum Setbacks

8.7.8 Buildings and structures must be sited at least 7.5 metres from all lot lines.

#### Minimum Lot Size

8.7.9 No lot having an area less than 2 hectares may be created by subdivision.

#### Form of Tenure

8.7.10 100% of the dwelling units in the Community Housing 2 zone shall be limited to residential rental tenure

c) Section 13.23 is amended by adding the words “or Community Housing 2” immediately following the words “or in an area zoned Community Housing 1”.

d) Section 17.1 is amended by adding the following definition:

17.1.42 “residential rental tenure” means the granting of a right to occupy a dwelling unit as living accommodation where the minimum occupancy period is thirty consecutive days, and where the dwelling unit is not owned by a dwelling unit occupant, but where regular payments are made to the owner for the use of the dwelling unit.

And the subsequent definitions are re-numbered accordingly

e) Map Schedule “B”, is amended as follows:

(i) By changing the zoning of a portion of the lands legally described as Lot 1 District Lots 30 and 31 Galiano Island Cowichan District Plan VIP76996 except that part in plan VIP76997 from Heritage Forest – HF to Community Housing 2 – CH2 as shown on Plan No. 1 attached to and forming part of this bylaw.

(ii) By adding Community Housing 2 (CH2) to the map legend.

### 3. SEVERABILITY

If any provision of this Bylaw is for any reason held to be invalid by a decision of any Court of competent jurisdiction, the invalid provision must be severed from the Bylaw and the decision that such provision is invalid must not affect the validity of the remaining provisions of the Bylaw.

READ A FIRST TIME THIS 1<sup>ST</sup> DAY OF MARCH 2021.

PUBLIC HEARING HELD THIS 16<sup>TH</sup> DAY OF JULY 2022.

READ A SECOND TIME THIS 16<sup>TH</sup> DAY OF JULY 2022.

READ A THIRD TIME THIS 16<sup>TH</sup> DAY OF JULY 2022.

APPROVED BY THE EXECUTIVE COMMITTEE OF THE ISLANDS TRUST THIS 3<sup>RD</sup> DAY OF AUGUST 2022.

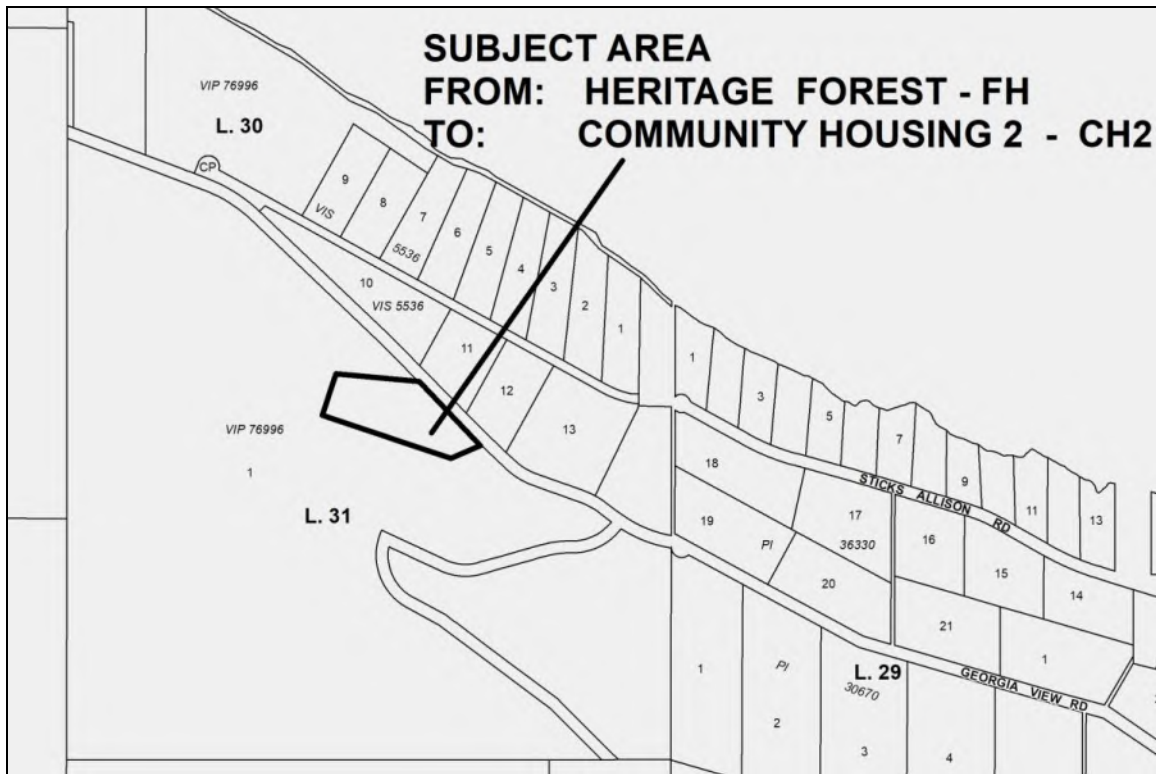
ADOPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

\_\_\_\_\_  
CHAIR

\_\_\_\_\_  
SECRETARY

GALIANO ISLAND LOCAL TRUST COMMITTEE  
BYLAW NO. 277

Plan No. 1



## DECLARATION(S) ATTACHED



Land Title Act

Charge

General Instrument – Part 1

VICTORIA LAND TITLE OFFICE

NOV 10 2022 15:18:50.001

**CB331857**

## 1. Application

Document Fees: \$76.32

**Sarah Strukoff**  
**YOUNG ANDERSON**  
**1616 - 808 Nelson Street**  
**Vancouver BC V6Z 2H2**  
**6046897400**

File No. 2-904

GIGARHS Housing Agreement (Community Forest)

## 2. Description of Land

| PID/Plan Number    | Legal Description                                                                                                     |
|--------------------|-----------------------------------------------------------------------------------------------------------------------|
| <b>025-936-107</b> | <b>LOT 1 DISTRICT LOTS 30 AND 31 GALIANO ISLAND COWICHAN DISTRICT PLAN VIP76996 EXCEPT THAT PART IN PLAN VIP76997</b> |

## 3. Nature of Interest

| Type            | Number | Additional Information |
|-----------------|--------|------------------------|
| <b>COVENANT</b> |        |                        |

## 4. Terms

Part 2 of this instrument consists of:

**(b) Express Charge Terms Annexed as Part 2**

## 5. Transferor(s)

**THE GALIANO CLUB, NO.S0001400**

## 6. Transferee(s)

**GALIANO ISLAND LOCAL TRUST COMMITTEE**  
2ND FLOOR, 1627 FORT STREET  
VICTORIA BC V8R 1H8

## 7. Additional or Modified Terms





Land Title Act

**Charge**

General Instrument – Part 1

**8. Execution(s)**

This instrument creates, assigns, modifies, enlarges or governs the priority of the interest(s) described in Item 3 and the Transferor(s) and every other signatory agree to be bound by this instrument, and acknowledge(s) receipt of a true copy of the filed standard charge terms, if any.

Witnessing Officer Signature

Execution Date

Transferor / Transferee / Party Signature(s)

\_\_\_\_\_  
**Guy Patterson**  
**Barrister & Solicitor**

Young, Anderson  
1616 - 808 Nelson Street  
Vancouver BC V6Z 2H2

Telephone: 604-689-7400

YYYY-MM-DD

**2022-11-09****THE GALIANO CLUB**

By their Authorized Signatory

\_\_\_\_\_  
**NAME: Judy Hayes**\_\_\_\_\_  
**NAME:****Officer Certification**

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the *Evidence Act*, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the *Land Title Act* as they pertain to the execution of this instrument.

Witnessing Officer Signature

Execution Date

Transferor / Transferee / Party Signature(s)

\_\_\_\_\_  
**Joseph R. Scafe**  
**Barrister & Solicitor**

Young, Anderson  
1616 - 808 Nelson Street  
Vancouver BC V6Z 2H2

Telephone: 604-689-7400

YYYY-MM-DD

**2022-11-10****GALIANO ISLAND LOCAL TRUST  
COMMITTEE**

By their Authorized Signatory

\_\_\_\_\_  
**NAME: Daniel Rogers, Galiano LTC  
Chair**\_\_\_\_\_  
**NAME:****Officer Certification**

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the *Evidence Act*, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the *Land Title Act* as they pertain to the execution of this instrument.

**Electronic Signature**

Your electronic signature is a representation that you are a designate authorized to certify this document under section 168.4 of the *Land Title Act*, RSBC 1996 c.250, that you certify this document under section 168.41 (4) of the act, and that an execution copy, or a true copy of that execution copy, is in your possession.

**Guy William  
Patterson TE3RRU**

**Digitally signed by  
Guy William Patterson  
TE3RRU  
Date: 2022-11-10  
15:15:32 -08:00**

*LAND TITLE ACT*TERMS OF INSTRUMENT – PART 2

---

**Housing Agreement and Section 219 Covenant**

THIS AGREEMENT DATED FOR REFERENCE THE \_\_\_\_\_ DAY OF, 20\_\_\_\_, IS BETWEEN:

**THE GALIANO CLUB**, a society incorporated under the laws of the province of British Columbia with number S0001400 and having its office at #141 Sturdies Bay Rd, PO Box 219, Galiano Island, BC V0N 1P0

(the "Owner")

**GULF ISLANDS GALISLE AFFORDABLE RENTAL HOUSING SOCIETY**, a society incorporated under the laws of the province of British Columbia with number S0069972 and having its office at #6-33 Manzanita Road, Galiano Island, BC, V0N 1P0

(the "Society");

AND:

**GALIANO ISLAND LOCAL TRUST COMMITTEE**, a corporation under the *Islands Trust Act*, having an office at 2<sup>nd</sup> Floor, 1627 Fort Street, Victoria, B.C., V8R 1H8

(the "Local Trust Committee")

WHEREAS:

- A. The Owner is the registered owner of the Lands situated at on Galiano Island, British Columbia, and legally described as:

PID: 025-936-107

Lot 1 District Lots 30 And 31 Galiano Island Cowichan District Plan VIP76996 Except That Part In Plan Vip76997

(the "Lands");

- B. The Local Trust Committee is considering the adoption of Galiano Island Land Use Bylaw 127, 1999 Amendment No. 1, 2020, to permit the development of affordable multi-family rental housing (the "Rezoning");
- C. Following the Rezoning, the Owner intends to subdivide the Lands and to transfer the Lot B Equivalent to the Society for the development and construction of affordable multi-family rental housing;
- D. The Society intends to rent units on Lot B Equivalent, by way of rental agreement, to Qualified Renters

at affordable rates;

- E. The Local Trust Committee may pursuant to Section 29 of the *Islands Trust Act* and Section 483 of the *Local Government Act*, enter into an agreement with an owner of land that includes terms and conditions regarding the occupancy, tenure and availability to specified classes of persons of dwelling units located on those lands;
- F. Section 219 of the *Land Title Act* permits the registration of a covenant of a negative or positive nature in favour of the Local Trust Committee in respect of the use of land or construction on land;
- G. The Owner and the Local Trust Committee wish to enter into this Agreement to provide rental housing on the Lands on the terms and conditions of this Agreement to have effect as both a covenant under section 219 of the *Land Title Act* and a housing agreement under section 483 of the *Local Government Act*; and
- H. The Local Trust Committee has, by bylaw, authorized the execution of this Agreement and the Owner has duly authorized the execution of this Agreement, and the Society has specifically endorsed this Agreement in anticipation of the Society becoming the registered owner of the Lot B equivalent, and developing and operating affordable rental housing in accordance with the terms of this Agreement.

THIS AGREEMENT is evidence that in consideration of \$1.00 paid by the Local Trust Committee to the Owner (the receipt of which is acknowledged by the Owner), and in consideration of the promises exchanged below, the Local Trust Committee and the Owner agree, as covenants granted by the Owner to the Local Trust Committee under Section 219 of the *Land Title Act*, and as a housing agreement between the Owner and the Local Trust Committee under Section 483 of the *Local Government Act*, as follows:

## Article 1: Definitions and Interpretation

### 1.1 Definitions – In this Agreement:

|                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
|-----------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| “Affordable Housing Funder” | means an entity with a mandate to create and promote affordable housing, such as BC Housing or CMHC, that provides a grant or preferential rate loan to support the development of Rental Housing Units on the Lands.                                                                                                                                                                                                                                    |
| “Annual Household Income”   | means the combined gross income of all adult members of a Household, as shown on line 150 of the preceding year’s T1 General Income Tax and Benefit return.                                                                                                                                                                                                                                                                                              |
| “BC Housing”                | means the British Columbia Housing Management Commission or BC Housings’ successor in function. For clarity, a “successor in function” of BC Housing will be a Crown Corporation, governmental department or other entity with a mandate from the provincial government to provide British Columbians with access to affordable, safe and appropriate housing that is accountable to the provinces’ Minister responsible for Housing or their successor. |
| “Business Days”             | means Monday to Friday inclusive except for those excluded days declared by                                                                                                                                                                                                                                                                                                                                                                              |

lawful authority as holidays.

|                                    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
|------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| "Census Profile"                   | means the most recently available census profile published by Statistics Canada for the Southern Gulf Islands, regional district electoral area census subdivision or, in the event that Southern Gulf Islands, regional district electoral area census subdivision is amended, eliminated or replaced, a successor census subdivision which includes Galiano Island;                                                                                                                                                                                                                      |
| "CMHC"                             | means Canada Mortgage and Housing Corporation or its successors in function.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
| "Dwelling"                         | means a dwelling as defined in the Galiano Island Land Use Bylaw 127, 1999.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| "Household"                        | means one or more individuals occupying the same Dwelling.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| Income of Couples with Children    | means the median total income of couple economic families with children as determined by Statistics Canada in the Census Profile.                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| Income of Couples without Children | means the median total income of couple economic families without children or other relatives as determined by Statistics Canada in the Census Profile.                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| Income of Lone-Parent Families     | means the median total income of lone-parent economic families as determined by Statistics Canada in the Census Profile.                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| Income of One-Person Households    | means the median total income of one-person households as determined by Statistics Canada in the Census Profile.                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| "Lands"                            | has the meaning ascribed in Recital A.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| "Lot B Equivalent"                 | has the meaning ascribed to it in section 3.2(b).                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| "Low and Moderate Income Limits"   | <p>means, as determined by BC Housing from time to time,</p> <ul style="list-style-type: none"> <li>a) for residential units with less than two (2) bedrooms, an Annual Household Income that does not exceed the median income for couples without children in British Columbia, as an example, for 2022 this figure is \$77,430; and</li> <li>b) for residential units with two (2) or more bedrooms, an Annual Household Income that does not exceed the median income for families with children in British Columbia, and as an example, for 2022 this figure is \$120,990.</li> </ul> |
| "Operating Agreement"              | means an agreement that sets out the amount, duration, and conditions of the subsidy provided by the provincial and/or federal governments, or an Affordable Housing Funder for the construction and/or operation of Rental Housing Units.                                                                                                                                                                                                                                                                                                                                                 |
| "Owner"                            | means the registered owner of the Lands, provided however that upon the execution and filing of the Release with the Land Title Office, it means the                                                                                                                                                                                                                                                                                                                                                                                                                                       |



registered owner of the Lot B Equivalent only.

|                              |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
|------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| “Permitted Housing Operator” | means the Gulf Islands Galisle Affordable Rental Housing Society, BC Housing, CMHC, a housing society, a non-profit housing corporation, or other entity approved by the Local Trust Committee in writing.                                                                                                                                                                                                                                                                                                                                                                                                                                |
| “Qualified Renter”           | means a person who meets the eligibility criteria for tenancy as set out in Schedule B and who meets the occupancy criteria set out in Section 2.3 of this Agreement and the Operating Agreement, if any.                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| “Release”                    | has the meaning ascribed in section 3.2(b).                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
| “Rental Housing Unit”        | means a Dwelling on the Lands in respect of which the construction, tenure, rent, and occupancy are restricted in accordance with this Agreement.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
| “Residential Tenancy Act”    | means the <i>Residential Tenancy Act</i> (British Columbia).                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| “Rezoning”                   | has the meaning ascribed in Recital B.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| “Statistics Canada”          | means the national statistics office or Statistics Canada’s successor in function.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| “Subdivide”                  | means to divide, apportion, consolidate or subdivide the Lands or any building on the Lands, or the ownership or right to possession or occupation of the Lands or any building on the Lands, into two or more lots, strata lots, parcels, parts, portions or shares, whether by plan, descriptive words or otherwise, under the <i>Land Title Act</i> , the <i>Strata Property Act</i> (British Columbia), or otherwise, and includes the creation, conversion, organization or development of “cooperative interests” or a “shared interest in land” as defined in the <i>Real Estate Development Marketing Act</i> (British Columbia). |
| “Tenancy Agreement”          | means a written tenancy agreement as defined in, and subject to, the Residential Tenancy Act.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
| “Tenant Default”             | has the meaning ascribed in section 2.3(d)(v).                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |

## 1.2 Interpretation –

Reference in this Agreement to:

- a) A “party” is a reference to a party in this Agreement;
- b) A particular numbered “article” or “section” or to a particular lettered “schedule” is a reference to the corresponding numbered or lettered article, section, or schedule of this Agreement;

- c) An “enactment” is a reference to an enactment as defined in the *Interpretation Act* and is a reference to any revision, amendment or re-enactment of, or replacement for, that enactment;
- d) Wherever the singular or gendered language is used in this Agreement, it shall be deemed to include the plural or all genders, or the body politic or corporate, where the context or the parties so require; and
- e) The Local Trust Committee includes a reference to its successors in function, including a municipality.

### **1.3 Headings**

The division of this Agreement into articles, sections and schedules is for convenience of reference only and does not affect its interpretation. The article and section headings used in this Agreement are for convenience of reference only and do not affect the interpretation of this Agreement.

### **1.4 Entire Agreement**

This is the entire agreement among the parties concerning its subject and may be amended only in accordance with section 3.16.

## **Article 2 – Rental Housing**

### **2.1 Agreement over the Lands**

Pursuant to section 219 of the *Land Title Act* and section 483 of the *Local Government Act*, the Owner covenants and agrees that:

- a) The Lands will not be developed, and no new building or structure will be constructed on the Lands unless the Owner constructs Rental Housing Units in accordance with this Agreement, any development permit or rezoning issued by the Local Trust Committee, and any building permit issued by the Capital Regional District.
- b) It will design, construct, and maintain the Rental Housing Units in a satisfactory state of repair and fit for habitation and will comply with this Agreement and all laws, including health and safety standards applicable to the Lands.
- c) If a building is demolished or is otherwise replaced, this Agreement shall continue to apply to the Lands and the construction on the Lands shall be subject to the requirements of this Agreement.

### **2.2 Minimum Construction Requirements**

All the Rental Housing Units will be designed and constructed to the same standard in terms of layout, skill, and materials.

### 2.3 Occupancy of Rental Housing Units

The Owner covenants and agrees that Rental Housing Units will only be occupied when all of the following criteria are met:

- a) the Household's Annual Household Income does not exceed the Low and Moderate Income Limits for the specified unit type at the time of application and initial occupancy;
- b) the Household is composed of at least one Qualified Renter;
- c) the Qualified Renter will occupy the Rental Housing Unit as its permanent, principal, and sole residence;
- d) the Qualified Renter has signed a Tenancy Agreement with the Owner, and the Tenancy Agreement includes;
  - i. a clause prohibiting subletting for short-term vacation rentals and in all other circumstances prohibiting subletting without obtaining prior Owner consent in accordance with section 2.7;
  - ii. notice of the existence of this Agreement and the occupancy restrictions applicable to the Rental Housing Unit, and notice that the Owner will provide to each Qualified Renter upon their request, a copy of this Agreement;
  - iii. a clause requiring the Qualified Renter to comply with the use and occupancy restrictions contained in this Agreement;
  - iv. a clause requiring Qualified Renters to seek prior permission of the Owner before engaging in a home business based out of the Rental Housing Unit; and
  - v. a clause confirming that a breach by the Qualified Renter of any of the provisions set out in 2.3(d)(i), 2.3(d)(iii) or 2.3(d)(iv) (each of which constitutes a "Tenancy Default") will entitle the Owner to end the tenancy for cause, in accordance with the Residential Tenancy Act, as a failure to comply with a material term

### 2.4 Amount of Rent Payable for Rental Housing Units

The Owner covenants and agrees that:

- a) Rent for 1-bedroom Rental Housing Units in a calendar year will on average be at or below 30% of the average of:
  - a. Income of One-Person Households; and
  - b. Income of Couples without Children.
- b) Rent for 2-bedroom Rental Housing Units in a calendar year will on average be at or below 30% of the average of:
  - a. Income of Couples with Children; and
  - b. Income of Lone-Parent Families.

- c) Rent for 3-bedroom Rental Housing Units in a calendar year will on average be at or below 30% of the Income of Couples with Children.
- d) It will not require any Qualified Renter under a Tenancy Agreement to pay any extra charges or fees for use of any common area or amenity, or for sanitary sewer, storm sewer, water utilities, property taxes and similar services. For clarity, this limitation does not apply to parking, cablevision, telecommunications, laundry, or gas or electricity utility fees or charges.

## **2.6 Policies/Rules and Regulations/Administration by Owner**

The Owner is authorized to make and administer rules, regulations and policies as reasonably necessary to fully implement and achieve the policy goals set out in this Agreement. Such rules, regulations and policies may include, but are not limited to, the following:

- a) Establishing and maintaining a wait list of potential Qualified Renters; and
- b) Establishing, administering and enforcing a rental policy applicable to the terms of this Agreement and in accordance with the *Residential Tenancy Act*.

## **2.7 No Sublease of Rental Housing Unit Unless Requirements Met**

The Owner will not consent to the sublease of a Tenancy Agreement, except in accordance with this Agreement, the Residential Tenancy Act, and the Owner's rules, regulations and policies. For greater clarity, the Owner will not consent to a sublease for the purposes of a short-term vacation rental, and the Owner will not otherwise consent to a sublease unless the sublessee meets the requirements set out in section 2.3.

## **2.8 Monitoring and Reporting to the Local Trust Committee**

The Owner must deliver to the Local Trust Committee once each year on or before July 1, a completed statutory declaration, substantially in the form attached as Schedule "A", sworn by the Owner. Additionally, the Local Trust Committee may request this statutory declaration up to one additional time in any calendar year, and the Owner must complete and supply the completed statutory declaration within 10 Business Days of receiving a request from the Local Trust Committee. The Owner irrevocably authorizes the Local Trust Committee to make reasonable inquiries it considers necessary in order to confirm compliance with this Agreement.

## **2.9 Operating Agreement Prevails**

The provisions in section 2.3 and 2.4 apply except if the Rental Housing Units are subject to an Operating Agreement which conflicts with all or any of them, in which case the Operating Agreement prevails to the extent of the conflict only.

Prior to execution of an Operating Agreement that the Owner expects to conflict with the provisions in sections 2.3 and 2.4 of this Agreement, the Owner shall provide the draft Operating Agreement to the Local Trust Committee. The Local Trust Committee may request that Affordable Housing Funder modify the terms of the Operating Agreement so that its terms do not conflict with sections 2.3 and 2.4 of this Agreement.

### **Article 3 – General Terms**

#### **3.1 Management**

The Owner covenants and agrees that:

- a) it will furnish, or cause a Permitted Housing Operator to furnish, good and efficient management of the Lands and the Rental Housing Units on the Lands;
- b) if and when the Local Trust Committee has reasonable grounds to believe that a continuing breach of this Agreement exists, it will permit the Local Trust Committee to inspect the Lands and any buildings at any reasonable time with reasonable notice, subject to the notice provisions of the Residential Tenancy Act; and
- c) if the Owner is not the Permitted Housing Operator, the Owner will at all times cause the Permitted Housing Operator to administer, manage and operate the Rental Housing Units and will cause the Permitted Housing Operator to administer, manage and operate the Rental Housing Units in accordance with all of the restrictions and requirements of this Agreement, and the Owner's obligations under this Agreement. For clarity, the Owner's engagement of a Permitted Housing Operator pursuant to this Agreement will not relieve the Owner from any of the Owner's obligations under this Agreement or any of the restrictions or requirements of this Agreement.

#### **3.2 Discharge**

- a) After the Rezoning, the Owner intends to subdivide the Lands as shown on the proposed subdivision plan attached hereto as Schedule "C" to create parcels equivalent in size and configuration to those labelled Lot 1 and Lot B.
- b) Upon Subdivision of the Lands and creation of a legal parcel equivalent in size, location and configuration of the parcel shown as Lot B on the proposed subdivision plan attached hereto (the "Lot B Equivalent"), if the Local Trust Committee, acting reasonably, is satisfied that the Lot B Equivalent is reasonably equivalent to the Lot B shown on the proposed subdivision plan and that, after a release is filed, this Agreement will remain on title and continue to bind the owner of the Lot B Equivalent, the Local Trust Committee will prepare and execute a release of this Agreement on any parcel that is not the Lot B Equivalent as soon as practicable (the "Release").
- c) Upon receipt of the executed Release from the Local Trust Committee, the owner of any parcel

that is not the Lot B Equivalent may file the Release in the Land Title Office.

- d) Once the Release has been executed and filed, any reference to Lands in this Agreement shall be construed as a reference to the Lot B Equivalent and not any parcel that is not the Lot B Equivalent.

### **3.3 Order to Comply**

If the Owner is in default of the performance or observance of this Agreement, the Local Trust Committee may give the Owner a notice of default requiring the Owner to comply with this Agreement within the reasonable time stated in the notice. The Owner agrees that any breach or default in the performance of this Agreement on its part must be corrected, to the satisfaction of the Local Trust Committee, within the time stated on the notice of default provided to the Owner by the Local Trust Committee.

### **3.4 Society Standing**

If the Owner is a society, the Owner must maintain its standing as a society under the *Society Act* and must not amend its Constitution in any manner that would prevent, or adversely affect, the ability of the Society to perform its obligations under this Agreement.

### **3.5 Specific Performance of Agreement**

The Owner agrees that the Local Trust Committee is entitled to obtain an order for specific performance of this Agreement and a prohibitory or mandatory injunction in respect of any breach by the Owner of this Agreement, in view of the public interest in restricting the occupancy of the Rental Housing Units. The Owner further acknowledges that a breach of this Agreement may constitute a breach of the Local Trust Committee's Land Use Bylaw.

### **3.6 Assignment**

The Owner acknowledges that the Local Trust Committee may delegate or assign the administration and management of this Agreement to a third party, and, in that event, any reference in this Agreement to the Local Trust Committee shall be interpreted as a reference to that party provided that the Local Trust Committee has so advised the Owner.

### **3.7 Indemnity**

The Owner shall indemnify and save harmless the Local Trust Committee and each of its elected officials, officers, directors, employees, and agents from and against all claims, demands, actions, loss, damage, costs, and liabilities for which any of them may be liable by reason of any act or omission of the Owner or its officers, directors, employees, agents or contractors or any other person for whom the Owner is by law responsible in relation to this Agreement, unless resulting from the respective gross negligence or unlawful acts of the Local Trust Committee or its elected officials, officers, directors, employees, and agents.



The Local Trust Committee shall indemnify and save harmless the Owner and each of its officers, directors, employees, agents or contractors or any other person for whom the Owner is by law responsible in relation to this Agreement, from and against all claims, demands, actions, loss, damage, costs and liabilities for which any of them may be liable by reason of any act or omission of the Local Trust Committee or its elected officials, officers, directors, employees, or agents, unless resulting from the respective gross negligence or unlawful acts of the Owner or its officers, directors, employees, agents or contractors or any other person for whom the Owner is by law responsible in relation to this Agreement.

This clause will survive the termination of this Agreement.

### **3.8 Local Trust Committee Powers Unaffected**

This Agreement does not limit the discretion, rights, duties or powers of the Local Trust Committee under any enactment or the common law, impose on the Local Trust Committee any duty or obligation, affect or limit any enactment relating to the use of the Lands, or relieve the Owner from complying with any enactment.

### **3.9 No Public Law Duty**

Wherever in this Agreement an act, determination, consent, approval or agreement of the Local Trust Committee is provided for, such act, determination, consent, approval or agreement may be done or made in accordance with the terms of this Agreement and no public law duty, whether arising from the principles of procedural fairness or the rules of natural justice shall have any application.

### **3.10 No Waiver**

No condoning, excusing or overlooking by a party of any default under this Agreement of the other party, nor any consent, approval, or agreement whether written or otherwise shall be taken to operate as a waiver by the non-defaulting party of any subsequent default or of the necessity for further consent, approval or agreement in respect of a subsequent matter requiring it under this Agreement, or in any way to defeat or affect the rights or remedies of the non-defaulting party.

### **3.11 Dispute Resolution**

Any matter in dispute between the parties under this Agreement, including any disputes as to whether a particular individual is eligible to occupy a Rental Housing Unit, must be referred to a single arbitrator if the parties can agree on one, and otherwise to three arbitrators, one to be appointed by each of the parties and the third by those two so appointed, and the matter must be resolved in accordance with the provisions of the *Arbitration Act* (British Columbia).

### **3.12 Notice on Title**

The Owner acknowledges and agrees that this Agreement constitutes both a covenant under Section 219 of the *Land Title Act* and a housing agreement under Section 483 of the *Local Government Act*, the Local Trust Committee is required to file a notice of housing agreement in the Land Title Office against

title to the Lands, and once such a notice is filed, this Agreement binds all persons who acquire an interest in the Lands as a housing agreement under Section 483 of the *Local Government Act*.

### **3.13 Covenant Runs with the Land**

Every obligation and covenant of the Owner in this Agreement constitutes both a contractual obligation and a covenant granted by the Owner to the Local Trust Committee in accordance with section 219 of the *Land Title Act* in respect of the Lands and this Agreement burdens the Lands and runs with it and binds the Owner's successors in title and binds every parcel into which it is consolidated or subdivided by any means, including, by subdivision or by strata plan.

### **3.14 Limitation on Owner's Obligations**

The Owner is only liable for breaches of this Agreement that occur while the Owner is the registered owner of the Lands, provided that once the Release has been executed and filed in accordance with section 3.2, the Owner is only liable for breaches of this Agreement that occur while the Owner is the registered owner of the Lot B Equivalent.

### **3.15 Amendment and Termination**

This Agreement may not be modified or amended except by bylaw of the Local Trust Committee, upon an agreement in writing between the Local Trust Committee and the Owner.

### **3.16 Notices**

Any notice required to be given pursuant to this Agreement shall be in writing and shall be given to the Owner or the Local Trust Committee, as the case may be, at the address first above written, or to any other address of which either the Owner or the Local Trust Committee may advise the others in writing in accordance with this paragraph. Notice to the Local Trust Committee must be addressed to the Secretary of the Islands Trust. If given in person or by facsimile transmission, such notice will be deemed to be received when delivered and, if mailed, such notice will be deemed to be received only when actually received by the party to whom it is addressed.

### **3.17 Enurement**

This Agreement is binding upon and enures to the benefit of the parties and their respective successors and permitted assigns.

### **3.18 Remedies Cumulative**

The remedies specified in this Agreement are cumulative and are in addition to any remedies of the parties at law or in equity. No remedy shall be deemed to be exclusive, and a party may from time to time have recourse to one or more or all of the available remedies specified herein or at law or in equity.

### **3.19 Severability**

If any term or provision of this Agreement, or its application to any person or circumstance shall to any extent be found to be invalid and unenforceable, the remainder of this Agreement, or the application of such term or provision to persons or circumstances other than those as to which it is invalid or unenforceable, shall not be affected, and each term and provision of this Agreement shall be valid and shall be enforced to the extent permitted by law.

### **3.20 Joint and Several**

In the case of more than one Owner, the grants, covenants, conditions, provisions, agreements, rights, powers, privileges and liabilities of the Owner shall be construed and held to be several as well as joint.

### **3.21 Further Acts**

The parties will do everything reasonably necessary to give effect to the intent of this Agreement, including execution of further instruments.

### **3.22 Governing Law**

This Agreement shall be governed by and construed in accordance with the laws of the province of British Columbia.

### **3.23 Joint Venture**

Nothing in this Agreement shall constitute the Owner as an agent, joint venture or partner of the Local Trust Committee or give the Owner any authority or power to bind the Local Trust Committee in any way.

### **3.24 Time of Essence**

Time is of the essence in this Agreement.

### **3.25 Further Assurances**

The parties shall execute and do all such further deeds, acts, things and assurances as they reasonably require to carry out the intent of this Agreement.

### **3.26 Priority**

The Owner agrees to do everything necessary at the Owner's expense to ensure that this Agreement is registered against title to the Lands with priority over all financial charges, liens and encumbrances registered or pending at the time of application for registration of this Agreement.

### **3.27 Deed and Contract**

By executing and delivering this Agreement each of the parties intends to create both a contract and a deed executed and delivered under seal.

As evidence of their agreement to be bound by the above terms, the owner and the Local Trust Committee each have executed and delivered this Agreement under seal by executing Part 1 of the *Land Title Act* Form C to which this Agreement is attached and which forms part of this Agreement, and the authorized signatory(ies) of the Society has executed these terms of instrument.

**GULF ISLANDS GALISLE AFFORDABLE  
RENTAL HOUSING SOCIETY** by its authorized  
signatory(ies):

Joanne Randle

Print Name:

[Signature]

Print Name:

**SCHEDULE "A"****OWNER STATUTORY  
DECLARATION**

CANADA

PROVINCE OF BRITISH COLUMBIA

IN THE MATTER OF A HOUSING AGREEMENT  
WITH THE GALIANO ISLAND LOCAL TRUST  
COMMITTEE ("Housing Agreement")

I, \_\_\_\_\_

declare that:

1. I am the \_\_\_\_\_ [director, officer, employee] of the [Owner's], the owner of the land known as \_\_\_\_\_, Galiano Island, legally described as Parcel Identifier: \_\_\_\_\_  
Legal Description: \_\_\_\_\_  
(the "Lands")
2. I make this declaration to the best of my personal knowledge.
3. This declaration is made pursuant to the Housing Agreement registered against the Lands.
4. For the period from \_\_\_\_\_ to \_\_\_\_\_, the Rental Housing Unit were used only by Qualified Renters (as defined in the Housing Agreement).
5. At no time during the last year were any of the Rental Housing Units used as a short-term vacation rental.
6. The rental payments charged for the Rental Housing Units were in compliance with the Housing Agreement.
7. No subletting of the Lands has been permitted.
8. I acknowledge and agree to comply with all of the Owner's obligations under the Housing Agreement, and other charges registered against the Lands and confirm that the Owner has complied with all of its obligations under these Agreements.
9. I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and pursuant to the *Canada Evidence Act*.

DECLARED BEFORE ME at \_\_\_\_\_, British Columbia, this \_\_\_\_ day of \_\_\_\_\_.

\_\_\_\_\_  
A Commissioner for taking Affidavits  
in British Columbia

\_\_\_\_\_  
Signature of person making declaration

**SCHEDULE "B"****Eligibility Criteria for Tenancy**

A Qualified Renter means a person aged 19 years or older who meets the financial and other requirements of the Housing Agreement (the "Agreement") and fits into at least one of the following categories, subject to the Operating Agreement, and which are not listed in any particular priority order:

- 1) Residents of Galiano Island;
- 2) Indigenous peoples with rights and responsibilities in and around what is known as Galiano Island, or, is considered by members of these First Nation communities to be part of the First Nation community.

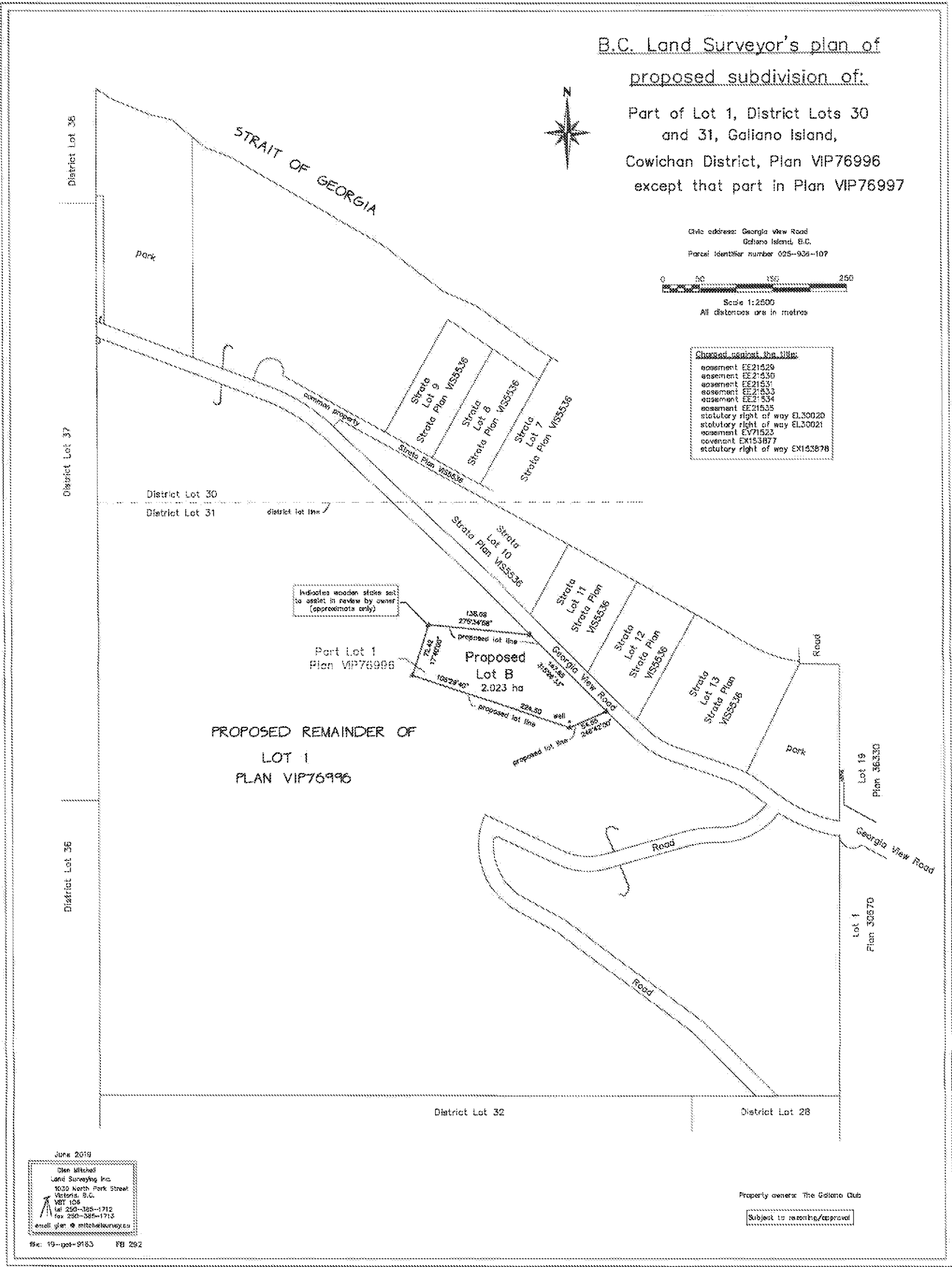
Except that where there are no persons meeting the categories specified in clause 1 or 2 above, who make an application to rent an available unit and the lack of applications from the categories specified above would result in a unit being vacant for more than one month, then a Qualified Renter may be a person aged 19 years or older who meets the financial and other requirements of the Agreement and fits into at least one of the following categories, which are not listed in any particular priority order:

- a. Previous resident of Galiano Island who has lived away from the island for a maximum of three consecutive years; or
- b. Non-resident who is hired to begin at least half-time work (20 hours per week) on Galiano Island; or
- c. Person with immediate family already living on Galiano Island. For greater clarity, immediate family means an individual to whom the person is related by blood, or by marriage, or common-law relationship, or by adoption..

Except that where there are no persons meeting the categories specified in clause 1 or 2, nor a, b, or c above, who make an application to rent an available unit and the lack of applications from the categories specified above would result in a unit being vacant for more than one month, then a Qualified Renter may be any person permitted by the Operating Agreement who meets the financial and other requirements of the Agreement.



SCHEDULE "C"





Related Document Number: **CB331857**  
Fee Collected for Document: **\$14.78**

I, Sarah Strukoff, Barrister & Solicitor, of 1616 - 808 Nelson Street, Vancouver, in the Province of British Columbia, SOLEMNLY DECLARE that:

1. The legal capacity in which the transferor holds the interest in land described in Item 2 of the above-noted document was inadvertently omitted.
2. Item 5 of document CB331857 is hereby amended to indicate the Transferor Capacity as "Trustee".
3. All parties consent to this amendment.

I make this declaration and know it to be true based on personal information and/or reasonable belief.

#### Electronic Signature

Your electronic signature is a representation that

- (a) You are a subscriber under section 168.6 of the *Land Title Act*, RSBC 1996 c.250, and that you are authorized to electronically sign this document by an e-filing direction made under section 168.22(2) of the act, or
- (b) You are a designate authorized to certify this application under section 168.4 of the *Land Title Act*, RSBC 1996, c.250, that you certify this application under section 168.43(3) of the act, and that the supporting document or a true copy of the supporting document, if a true copy is allowed under an e-filing direction, is in your possession, or
- (c) If the purpose of this declaration is to bring to the attention of the registrar an error, omission or misdescription in a previously submitted document under section 168.55 of the act, you certify that, based on your personal knowledge or reasonable belief, this declaration sets out the material facts accurately.

**Sarah Anastasia  
Strukoff ZBQQ24**

Digitally signed by  
Sarah Anastasia Strukoff  
ZBQQ24  
Date: 2022-12-05  
11:12:51 -08:00

Note: A Declaration cannot be used to submit a request to the Registrar for the withdrawal of a document.

## DECLARATION(S) ATTACHED



Land Title Act

Charge

General Instrument – Part 1

VICTORIA LAND TITLE OFFICE

NOV 10 2022 15:18:50.002

**CB331858**

## 1. Application

Document Fees: \$76.32

**Sarah Strukoff**  
**YOUNG ANDERSON**  
**1616 - 808 Nelson Street**  
**VANCOUVER BC V6Z 2H2**  
**6046897400**

File No. 2-904  
Section 219 Covenant

## 2. Description of Land

| PID/Plan Number    | Legal Description                                                                                                     |
|--------------------|-----------------------------------------------------------------------------------------------------------------------|
| <b>025-936-107</b> | <b>LOT 1 DISTRICT LOTS 30 AND 31 GALIANO ISLAND COWICHAN DISTRICT PLAN VIP76996 EXCEPT THAT PART IN PLAN VIP76997</b> |

## 3. Nature of Interest

| Type            | Number | Additional Information |
|-----------------|--------|------------------------|
| <b>COVENANT</b> |        |                        |

## 4. Terms

Part 2 of this instrument consists of:

**(b) Express Charge Terms Annexed as Part 2**

## 5. Transferor(s)

**THE GALIANO CLUB, NO.S0001400**

## 6. Transferee(s)

**GALIANO ISLAND LOCAL TRUST COMMITTEE**  
2ND FLOOR, 1627 FORT STREET  
VICTORIA BC V8R 1H8

## 7. Additional or Modified Terms



Land Title Act

**Charge**

General Instrument – Part 1

**8. Execution(s)**

This instrument creates, assigns, modifies, enlarges or governs the priority of the interest(s) described in Item 3 and the Transferor(s) and every other signatory agree to be bound by this instrument, and acknowledge(s) receipt of a true copy of the filed standard charge terms, if any.

Witnessing Officer Signature

Execution Date

Transferor / Transferee / Party Signature(s)

\_\_\_\_\_  
**Guy Patterson**  
**Barrister & Solicitor**

Young, Anderson  
1616 - 808 Nelson Street  
Vancouver BC V6Z 2H2

Telephone: 604-689-7400

YYYY-MM-DD

**2022-11-09****THE GALIANO CLUB**

By their Authorized Signatory

\_\_\_\_\_  
**NAME: Judy Hayes**\_\_\_\_\_  
**NAME:****Officer Certification**

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the *Evidence Act*, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the *Land Title Act* as they pertain to the execution of this instrument.

Witnessing Officer Signature

Execution Date

Transferor / Transferee / Party Signature(s)

\_\_\_\_\_  
**Joseph R. Scafe**  
**Barrister & Solicitor**

Young, Anderson  
1616 - 808 Nelson Street  
Vancouver BC V6Z 2H2

Telephone: 604-689-7400

YYYY-MM-DD

**2022-11-10****GALIANO ISLAND LOCAL TRUST  
COMMITTEE**

By their Authorized Signatory

\_\_\_\_\_  
**NAME: Daniel Rogers, Galiano LTC  
Chair**\_\_\_\_\_  
**NAME:****Officer Certification**

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the *Evidence Act*, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the *Land Title Act* as they pertain to the execution of this instrument.

**Electronic Signature**

Your electronic signature is a representation that you are a designate authorized to certify this document under section 168.4 of the *Land Title Act*, RSBC 1996 c.250, that you certify this document under section 168.41 (4) of the act, and that an execution copy, or a true copy of that execution copy, is in your possession.

**Guy William  
Patterson TE3RRU**

**Digitally signed by  
Guy William Patterson  
TE3RRU  
Date: 2022-11-10  
15:17:08 -08:00**

**PART 2 – TERMS OF INSTRUMENT****SECTION 219 COVENANT**

This Agreement dated for reference the \_\_\_\_ day of \_\_\_\_\_, 2022 is

AMONG:

**THE GALIANO CLUB**

#141 Sturdies Bay Rd, PO Box 219, Galiano Island, BC V0N 1P0

(the "Owner")

AND:

**GALIANO ISLAND LOCAL TRUST COMMITTEE**

Suite 200, 1627 Fort Street, Victoria, British Columbia, V8R 1H8

(the "Trust Committee")

GIVEN THAT:

- A. The Owner is the registered owner in fee simple of land more particularly described as:
- PID: 025-936-107  
Legal Description: Lot 1 District Lots 30 and 31 Galiano Island Cowichan District Plan VIP76996  
Except that Part In Plan VIP76997  
(the "Land");
- B. The Owner has applied to the Trust Committee to amend the Galiano Land Use Bylaw to authorize an affordable housing development on the Land and is seeking subdivision of the Land and transfer of Lot B Equivalent to Gulf Islands Galisle Affordable Rental Housing Society, which will own and develop Lot B Equivalent in accordance with this Agreement.
- C. Section 219 of the *Land Title Act* (British Columbia) provides that there may be registered as a charge against the title to land a covenant, whether of a negative or positive nature, in respect of the use of land;
- D. The Owner wishes to grant and the Trust Committee wishes to accept this covenant over the Land, restricting the use of the Land in the manner specified, and for certainty, nothing in this covenant should be construed as restricting the use of the Land under the Heritage Forest Zone of the Trust Committee's Land Use Bylaw No. 127, 1999, as of the date this Agreement is entered into (the "Land Use Bylaw").

This Agreement is evidence that in consideration of the premises and covenants herein contained, the payment of two dollars (\$2.00) by the Trust Committee to the Owner, and other good and valuable

consideration, the receipt and sufficiency of which are hereby acknowledged, the parties agree pursuant to s. 219 of the *Land Title Act* as follows:

#### Definitions

1. In this Agreement:

- (a) "Construction" means the construction of any building or structure on the Land, and includes any land alteration or other work on the Land in preparation for the construction of any building or structure.
- (b) "Development Area" means the area of the Land proposed for buildings or structures, driveways, parking lots, gardens, and a septic field, and specifically excludes the area shown on the Site Plan as within the "33 ft setback".
- (c) "Ecological Assessment Report" means the report prepared by Keith Erickson and dated January 18, 2021, a copy of which is attached to this Agreement as Schedule A.
- (d) "Groundwater Report" means the report submitted by Hy-Geo consulting and dated December 2, 2019, a copy of which is attached to this Agreement as Schedule B.
- (e) "Site Plan" means the portion of the Land described in the site plan for use and development, a copy of which is attached to this Agreement as Schedule C, whether or not the Land has been subdivided.
- (f) "Lot B Equivalent" has the meaning ascribed in Section 25.
- (g) "Project Well" means the well located on the Land, with the Well Identification number 46824.
- (h) "Release" has the meaning ascribed in Section 25.
- (i) "Tree Protection Zone" means an area surrounding a tree, having a diameter of 12 centimeter for every 1 centimeter of trunk diameter at breast height (1.3 meters above the ground).
- (j) "Water Management Plan" means the report prepared by MSR Solutions and dated March 15, 2022, a copy of which is attached to this Agreement as Schedule D.

#### Permitted Heritage Forest Zone Uses

2. None of the restrictions on use or development of the Land set out in this covenant shall apply to the use or development of any part of the Land that is within a "Heritage Forest" Zone in the Land Use Bylaw and is being used for uses, buildings and structures specifically permitted by the Land Use Bylaw.



### Ecological Protection Measures

3. The Owner shall not construct on or develop the Land except in accordance with the Site Plan, and in accordance with the recommendations of the Ecological Assessment Report, and in particular, but without limitation, the Owner shall:
  - (a) Not alter or develop the area of the Land shown on the Site Plan as lying within any of the “33 ft setback” or “30’ buffer” areas, except as may be specifically authorized or directed in writing by the Trust Committee, in its sole discretion, to ensure the ecological integrity of those areas, or their aesthetic value, or their ability to provide a visual screen between development on the Land and any adjacent lands;
  - (b) Establish a Tree Protection Zone around all trees identified as “Old-growth Douglas Fir” or “Large Diameter Arbutus” on the diagram that appears at page 15 of the Environmental Assessment Report;
  - (c) Retain as much forest cover and natural vegetation cover as practicable within the Development Area;
  - (d) Retain large diameter coarse woody debris and dead standing trees within undeveloped areas of the Land to provide wildlife habitat;
  - (e) Use only permeable materials or surfacing for parking lots and driveways on the Land;
  - (f) Create bioswales along driveways and downslope from parking areas and other impervious surfaces to manage surface runoff and promote infiltration back into the groundwater system;

### Construction Management, and Restoration

4. The Owner shall not start any Construction on the Land until the Owner has:
  - (a) established sturdy, high visibility fencing around every Tree Protection Zone, and around any other areas that are, in accordance with the Site Plan, to remain as natural areas;
  - (b) removed Scotch broom, holly and Himalayan blackberry from the developable area of the Land
  - (c) removed trees that cannot be preserved;
  - (d) established a water supply and storage system sufficient for firefighting purposes with a minimum of 90,850 litres of storage.
5. The Owner shall not carry out any site clearing from late February through August 31<sup>st</sup> in any year, or during periods of prolonged rainfall.
6. The Owner shall avoid any construction between July 1 – September 15 or, if construction during this period is the only option, irrigate all preserved trees using a drip method irrigation system or by hand with enough water supplied at regular intervals to encourage tree survival.

7. During and throughout any Construction the Owner shall:
  - (a) Maintain all fencing around the Tree Protection Zones and around other areas required to be fenced under 3(a), above;
  - (b) Minimize impacts to vegetation, and immediately revegetate/restore any areas where temporary damage is necessary for construction purposes;
  - (c) Avoid depositing soil or other fill in any Tree Protection Zone;
  - (d) Avoid excavation inside any Tree Protection Zone and, if excavation is required inside a Tree Protection Zone, it must only be carried out under the supervision of and as directed by a certified arborist, who shall be retained for the express purpose of providing recommendations and direction to minimize damage to the tree protection zone;
  - (e) Minimize soil compaction outside of the Development Area;
  - (f) Cover any soils exposed or deposited for a period of greater than two (2) weeks with tarps, which the Owner shall maintain in good repair throughout construction, or hydromulch the exposed soils (without seeds);
  - (g) Restrict the use of machinery and equipment to the minimum area necessary to carry out the authorized development;
  - (h) Control invasive exotic vegetation by requiring all contractors working on the Land to inspect and clean vehicle and equipment before entering or leaving the Land, and by manually removing invasive exotic vegetation on a regular basis
  - (i) Ensure all machinery and equipment used on the Land is inspected for leaks prior to operation;
  - (j) Not allow any vehicle fueling or refuelling on the Land except at a designated location with an impermeable surface, where spills can be contained;
  - (k) Ensure a spill response kit is on-site whenever machinery is being operated, and ensure all operators are trained in the proper use of the spill kit.
8. The Owner shall retain a qualified environmental monitor to evaluate, and if necessary, prescribe further mitigation measures during all phases of the development and construction process. The monitor should verify that recommendations are implemented and provide a signed letter of confirmation to the Local Trust Committee.
9. Immediately after construction, and before any residential use or occupancy of the Land, the Owner shall:
  - (a) restore any areas where soils were compacted due to construction, using the 'rough and loose' method; and,

- (b) retain a certified arborist to evaluate all preserved trees and provide a report to the Owner that summarizes findings including further mitigation measures if necessary, and the Owner shall implement those measures.

#### Groundwater Use Restrictions and Monitoring

- 10. The Project Well must be equipped with a totalizing flow meter to monitor well usage with a water level sounding tube installed for taking periodic water level measurements in the well and the Owner must maintain records of the total amount of water produced each month. These records shall be submitted to the Trust Committee on an annual basis to ensure that no excessive water demands, particularly during extended drought periods, are being placed on the well.
- 11. Water from the Project Well shall be treated with an appropriately designed and maintained ultraviolet irradiation (UV) or chlorination treatment system.
- 12. Water quality from the Project Well shall be monitored for bacteria and chemical quality including fluoride levels on a regular basis (minimum of once a year) and as directed by the local health authority to detect any changes that might occur over time that may require any additional treatment.
- 13. No irrigation system on the Land, or any use requiring irrigation, shall be connected to, supplied with or use any groundwater, and during the months of May through October, inclusive, none of the following uses of the Land shall be connected to, supplied with or otherwise use any groundwater:
  - a) Exterior maintenance of buildings, structures or landscaping, including any hard surfaces;
  - b) Vehicle washing;
  - c) Any other water-intensive exterior uses, but not including emergency uses or occasional recreational uses such as small wading pools or children's play.

#### Water Storage and Management

- 14. The Land must not be used or occupied for residential purposes until and unless the Owner has installed all of the following:
  - (a) Dedicated water storage with a capacity of at least 90,850 litres to meet the fire demand requirements;
  - (b) Dedicated water storage with a capacity of at least 2,750 litres to meet balancing storage requirements;
  - (c) Dedicated water storage with a capacity of at least 23,400 litres to meet emergency storage requirements.
- 15. The Owner shall install domestic water meters for all dwelling units on the Land, and no dwelling unit shall be occupied until its water meter has been installed and is functioning properly.

16. The Owner shall apply the stormwater design criteria set out in section 7 of the Water Management Plan, to any development or construction on the Land.

Character of Buildings

17. All buildings shall be constructed in accordance with the elevation drawings attached to this Agreement as Schedule E, subject to alterations that are reasonably contemplated by or aligned with Schedule E and any existing permits or approvals for the building.

Costs

18. The Owner covenants and agrees to perform all requirements and obligations of this Agreement at the Owner's sole cost and expense.

No Effect on Laws or Powers

19. This Agreement does not:
- (a) affect or limit the discretion, rights, duties or powers of the Trust Committee or the Capital Regional District under any enactment or at common law, including in relation to the use or subdivision of the Land;
  - (b) impose on the Trust Committee or the Capital Regional District any duty of care or other legal duty of any kind to the Owner or to anyone else;
  - (c) oblige the Trust Committee to enforce this Agreement, which is a policy matter within the sole discretion of the Trust Committee;
  - (d) affect or limit any enactment relating to the use or subdivision of the Land;
  - (e) relieve the Owner from complying with any enactment, including in relation to the use or subdivision of the Land.

Limitation on Obligations

20. The Owner is only liable for breaches of this Agreement caused or contributed to by the Owner or which the Owner permits or allows. The Owner is not liable for the consequences of the requirements of any enactments or law or any order, directive, ruling or government action thereunder. The Owner is liable only for breaches of this Agreement which occur while the Owner is the registered owner of any interest in the Land and then only to the extent of that interest.

Indemnity

21. Pursuant to section 219(6) of the Land Title Act, the Owner hereby indemnifies and saves harmless the Trust Committee and its elected and appointed officials, officers, employees and agents, from and against all loss, damage, cost, actions, suits, debts, expenses and harm of any kind whatsoever which the Trust Committee may at any time suffer or incur arising out of or related to this Agreement or any breach of it.

#### No Liability in Tort

22. The parties agree that this Agreement creates only contractual obligations. The parties agree that no tort obligations or liabilities of any kind exist between the parties in connection with the performance of or any default under or in respect of this Agreement. The intent of this section is to exclude tort liability of any kind and to limit the parties to their rights and remedies under the law of contract.

#### Covenant Runs With the Land

23. Every obligation and covenant of the Owner in this Agreement constitutes both a contractual obligation and a covenant granted under section 219 of the Land Title Act (British Columbia) in respect of the Land. This Agreement burdens the Land and runs with it and binds the successors in title to the Land.

#### Registration

24. The Owner agrees to do everything necessary, at the Owner's expense, to ensure that this Agreement is registered against title to the Land with priority over all financial charges, liens and encumbrances registered or pending registration in the Land Title Office at the time of application for registration of this Agreement.

#### Discharge

25. Upon subdivision of the Land and creation of a legal parcel equivalent in size, location and configuration to "Lot B" as shown on the Site Plan (the "**Lot B Equivalent**"), the Owner may prepare and deliver to the Local Trust Committee for execution a discharge of this Agreement from any parcel that is not the Lot B Equivalent (the "**Release**"). If the Local Trust Committee, acting reasonably, is satisfied that the Lot B Equivalent is reasonably equivalent to "Lot B" as shown on the Site Plan and that after the Release is filed, this Agreement will remain on title to and continue to bind any owner of the Lot B Equivalent,, the Local Trust Committee will execute the Release and return it to the Owner for filing in the Land Title Office. Once the Release has been registered, any reference to Land in this Agreement shall be construed as a reference to the Lot B Equivalent and not any parcel that is not the Lot B Equivalent.

#### Waiver

26. An alleged waiver of any breach of this Agreement is effective only if it is an express waiver in writing of the breach. A waiver by the Trust Committee of a breach of this Agreement by the Owner does not operate as a waiver of any other breach of this Agreement.

#### Severance

27. If any part of this Agreement is held to be invalid, illegal or unenforceable by a court having the jurisdiction to do so, that part is to be considered to have been severed from the rest of this Agreement and the rest of this Agreement remains in force unaffected by that holding or by the severance of that part.

#### No Other Agreements

28. This Agreement is the entire agreement between the parties regarding its subject and it terminates and supersedes all other agreements and arrangements regarding its subject.

Binding of Successors

29. This Agreement binds the parties to it and their respective successors, heirs, executors and administrators.

Further Acts

30. The Owner must do everything reasonably necessary to give effect to the intent of this Agreement, including execution of further instruments.

Deed and Contract

31. By executing and delivering this Agreement the Owner intends to create both a contract and a deed executed and delivered under seal.

As evidence of their agreement to be bound by the terms of this instrument, the parties each have executed the Land Title Office Form C which is attached hereto and which forms part of this Agreement.



SCHEDULE A

# ECOLOGICAL ASSESSMENT REPORT FOR PROPOSED AFFORDABLE HOUSING PROPERTY IN THE GALIANO COMMUNITY FOREST

Proposed Lot B - Part of Lot 1, DL30/31, Galiano  
Island, Cowichan District, VIP76996  
Except that part in Plan VIP76997  
January 18th, 2021

Prepared For  
Gulf Islands Galiano Affordable Rental Housing Society (GIGARHS)  
Lisa Gauvreau (President)

Keith Erickson R.P.Bio. (#2132)  
kericksongaliano@gmail.com  
355 Melissa Road, Galiano Island, BC, V0N 1P0



## Contents

|                                                                          |    |
|--------------------------------------------------------------------------|----|
| Introduction .....                                                       | 4  |
| Study Area .....                                                         | 4  |
| Scope of Work .....                                                      | 5  |
| Report Limitations .....                                                 | 5  |
| Description of Proposed Land Alteration / Development .....              | 6  |
| Adjacent Land Uses .....                                                 | 7  |
| Ecological Assessment .....                                              | 9  |
| Landscape Level Ecological Context .....                                 | 9  |
| Islands Trust Contiguous Forest Ecosystem Mapping .....                  | 9  |
| The Islands Trust Conservancy Regional Conservation Plan 2018-2027 ..... | 9  |
| Galiano Island Official Community Plan .....                             | 9  |
| Community Forest (Heritage Forest) Management Plan (CFMP) .....          | 10 |
| Ecosystems-At-Risk .....                                                 | 10 |
| Species-At-Risk .....                                                    | 11 |
| Hydrology .....                                                          | 12 |
| Ecosystem Description .....                                              | 13 |
| Methodology .....                                                        | 13 |
| General Description .....                                                | 13 |
| Ecological Community 1 .....                                             | 16 |
| Ecological Community 2 .....                                             | 19 |
| Ecological Community 3 .....                                             | 23 |
| Distribution of Ecosystem Types .....                                    | 27 |
| Summary of Significant Ecological Values .....                           | 28 |
| Biological Legacies .....                                                | 28 |
| Wildlife Habitat .....                                                   | 28 |
| Recommendations .....                                                    | 30 |
| Site Plan .....                                                          | 30 |
| Construction Management .....                                            | 32 |
| Timing and Monitoring .....                                              | 33 |
| Conclusion .....                                                         | 33 |

List of Maps

Map 1: Galiano Community Forest Location..... 4

Map 2: Proposed Affordable Housing Lot – Galiano Community Forest.....8

Map 3: Ecological Communities.....15

List of Figures

Figure 1: Preliminary Site Development Planation..... 6

Figure 2: Islands Trust Conservancy Contiguous Forest Map Clip.....9

Figure 3: Islands Trust Conservancy Regional Conservation Plan Clip.....9

Figure 4: OCP Schedule H - Steep Slope DPA Clip.....9

Figure 5: Minimize Fragmentation.....30

## Introduction

Keith Erickson (R.P.Bio.) was retained by the Gulf Islands Galisle Affordable Rental Housing Society (GIGARHS) to complete a baseline ecological assessment and report as part of its pre-development planning and rezoning application for Proposed Lot B - Part of Lot 1, DL30/31, Galiano Island, Cowichan District, VIP76996, Except that part in Plan VIP76997. It is understood that the Islands Trust is the local government jurisdiction for Galiano Island and is the approving body for the rezoning application.

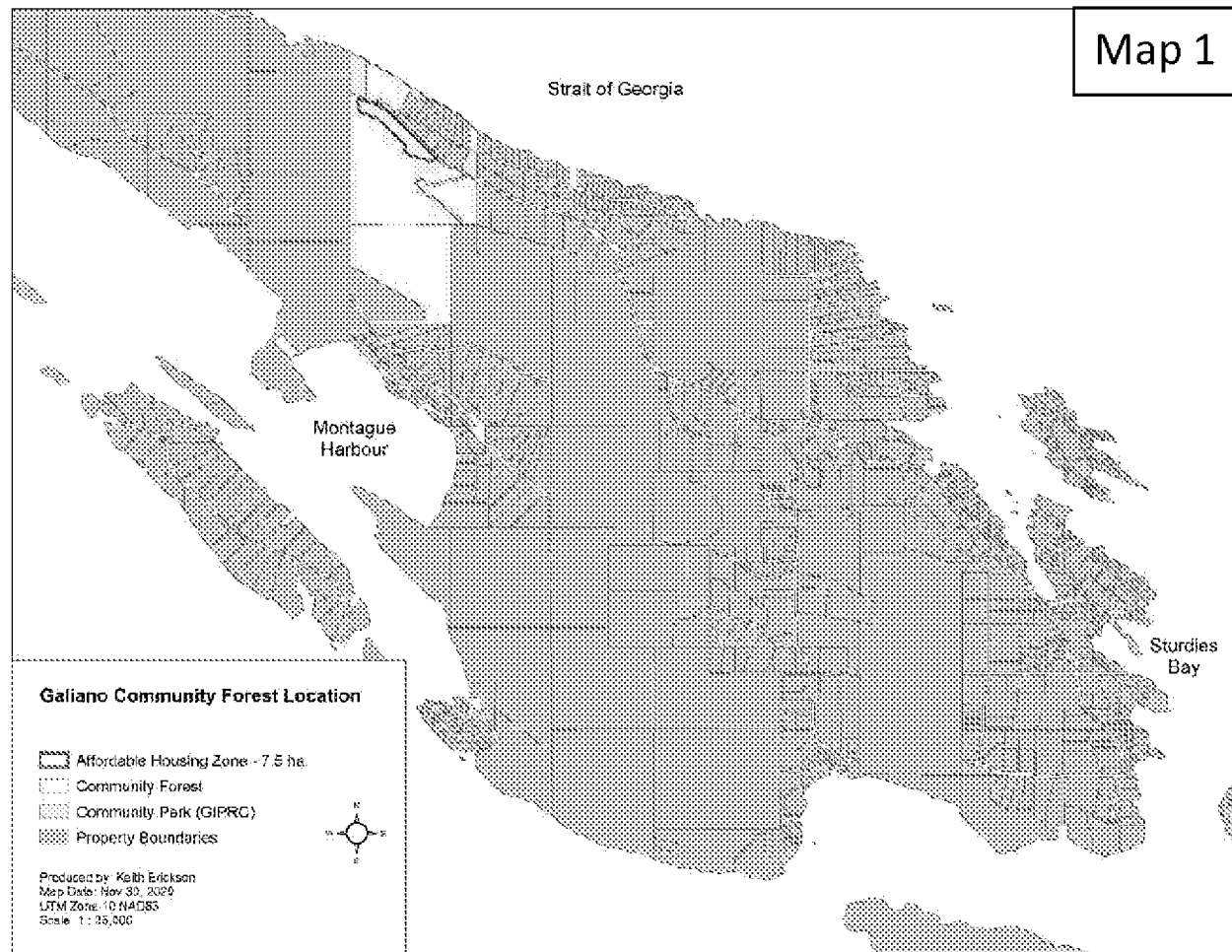
### Study Area

The Proposed Lot B (the Lot), is two hectares in size and is located within a broader 7.5 hectare 'Affordable Housing Zone' that is designated as such by the 'Community Forest (Heritage Forest) Management Plan - November 15, 2020' (CFMP). The CFMP has been adopted by the owners of the Property, the Galiano Club, as the governing document for the use of the land. The CFMP states:

*In December of 2005, The Galiano Club took ownership of just over 126 hectares or 311 acres of Community Forest. The Community Forest Lands are held in trust by the Galiano Club for the benefit of the Galiano Community, present and future.*

*The lands will be managed in a manner that maintains or enhances the integrity of ecosystems while contributing to the economic and social well being of the Galiano community.*

The area of study for this report is the 7.5 hectare 'Affordable Housing Zone'.



## Scope of Work

This report is being prepared with the understanding that the 'Affordable Housing Zone' is an agreed upon location where affordable housing use may occur. The report is focused on ecological considerations for the siting of a two-hectare lot within the 'Affordable Housing Zone' and the development of the proposed affordable housing infrastructure.

This report documents the current ecological conditions and values found within the 'Affordable Housing Zone', including sensitive elements that should be considered in determining the location of an affordable housing lot and that could constrain how such a lot might be developed. The report provides a list of recommended measures for reducing, mitigating, and/or minimizing the impacts of an affordable housing development on the ecosystems within and around the 'Affordable Housing Zone'. At the time the assessment was completed, plans for the development were in a conceptual design stage, waiting to be informed by recommendations from this report.

Site characteristics were mapped, inventoried, and described during two site visits on November 18<sup>th</sup> and 19<sup>th</sup> 2020. The assessment was also informed by the following documentation and mapping:

- Historical aerial photography (2005, 2009, 2013 and 2017)
- Baseline Report for REM 1, DL30 and 31 Plan VIP76997 and REM DL32, Plan 77822 Galiano Island, Cowichan Land District, British Columbia (2006, Erickson, Galiano Conservancy Assoc.)
- Community Forest (Heritage Forest) Management Plan – District Lots 30, 31, 32 Galiano Island, BC (2020, Community Forest Management Committee on behalf of the Galiano Club)
- Terrestrial Ecosystem Mapping of the Coastal Douglas-fir Biogeoclimatic Zone (2008, Madrone Environmental Services)
- Critical Habitat for Federally Listed Species-At-Risk. 03-Nov-2020. Environment and Climate Change Canada. (<https://catalogue.data.gov.bc.ca/dataset/critical-habitat-for-federally-listed-species-at-risk-posted->)
- B.C. Conservation Data Centre. 2020. BC Species and Ecosystems Explorer. B.C. Ministry of Environment, Victoria B.C. Available: <http://a100.gov.bc.ca/pub/eswp/> (30 Nov 2020).
- Galiano Island OCP Bylaw No. 108 Development Permit Areas Compilation Map.
- Islands Trust Conservancy Regional Conservation Plan 2018-2027. 2018.
- Contiguous Forest Mapping in the Islands Trust Area. 2020. Cabin Resource Management.
- GIGARHS Community Information Meeting Presentation Slides (November 28, 2020)

## Report Limitations

- 1) The scope of this report does not include any targeted species-at-risk surveys of the site.
- 2) The scope of this report does not include any targeted wildlife surveys of the site.
- 3) Vegetation inventory of the site is not comprehensive and is limited to species that are identifiable in late Fall.
- 4) Features of the site were mapped using a Trimble GeoXH 6000, with horizontal accuracy generally within 1m, but can be up to 5m.

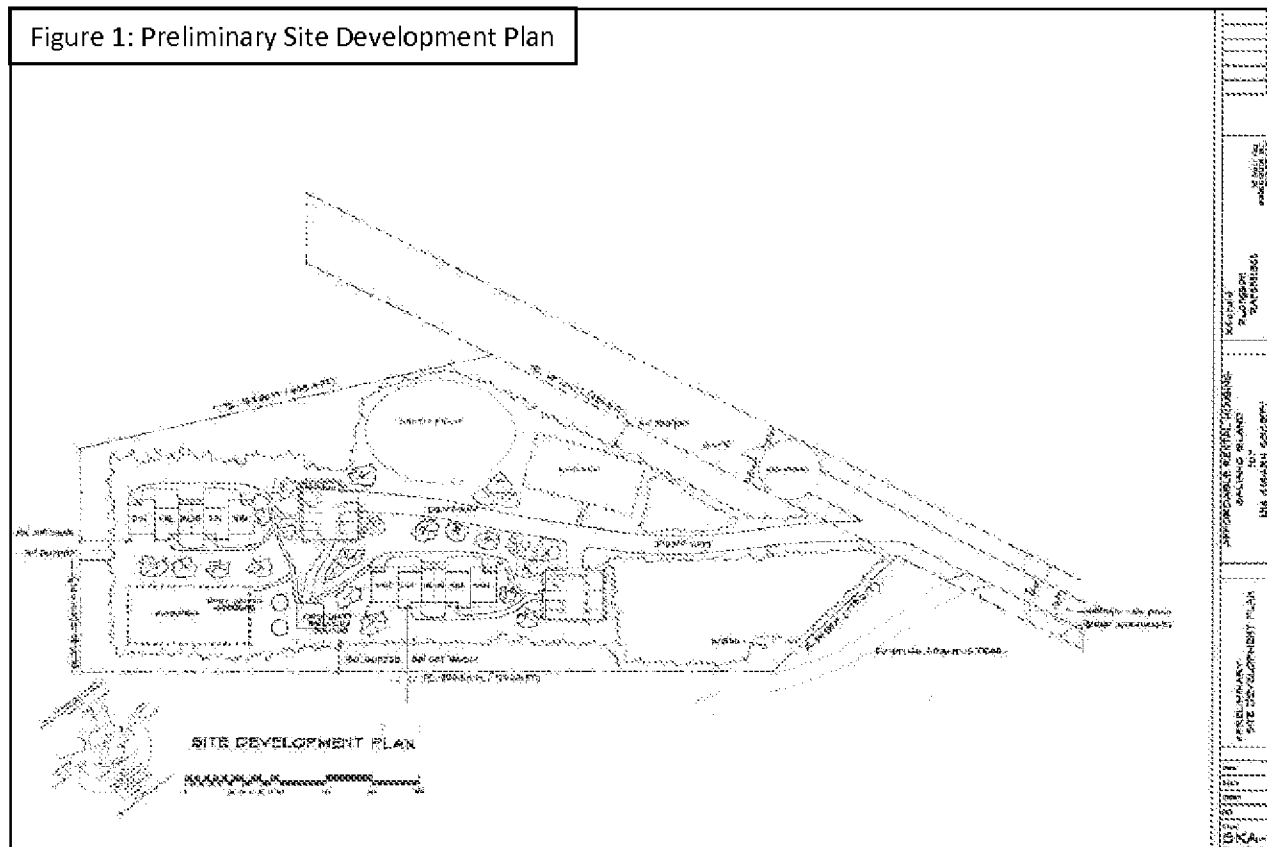
## Description of Proposed Land Alteration / Development

Communications with GIGARHS confirm that the development is in the conceptual planning phase. GIGARHS has identified and surveyed a two-hectare site at the eastern end of the 'Affordable Housing Zone' which is the subject area of their application for rezoning to the Islands Trust (Map 2). In addition to the preliminary layout (no pins established) of the proposed lot, GIGARHS has dug a series of test pits in aid of locating a suitable site for a septic system and has established a drilled well (locations shown on Map 3).

GIGARHS has indicated that the proposed development will consist of:

- A single two-hectare lot that is rezoned for the purpose of affordable community housing.
- 12 affordable rental housing dwellings along with associated infrastructure and services. Affordable rental housing will include a mix of one, two, and three-bedroom units. Use will be guided by a legally registered 'Housing Agreement'.
- 12 dwellings will be housed within two primary "six-plex" structures.
- Supporting services and infrastructure include a common building, cistern, parking lots, drilled well, driveway, power lines, septic tanks, a septic field, community garden.
- Forested buffer around edges of development area and property boundary.

Figure 1: Preliminary Site Development Plan



## Adjacent Land Uses

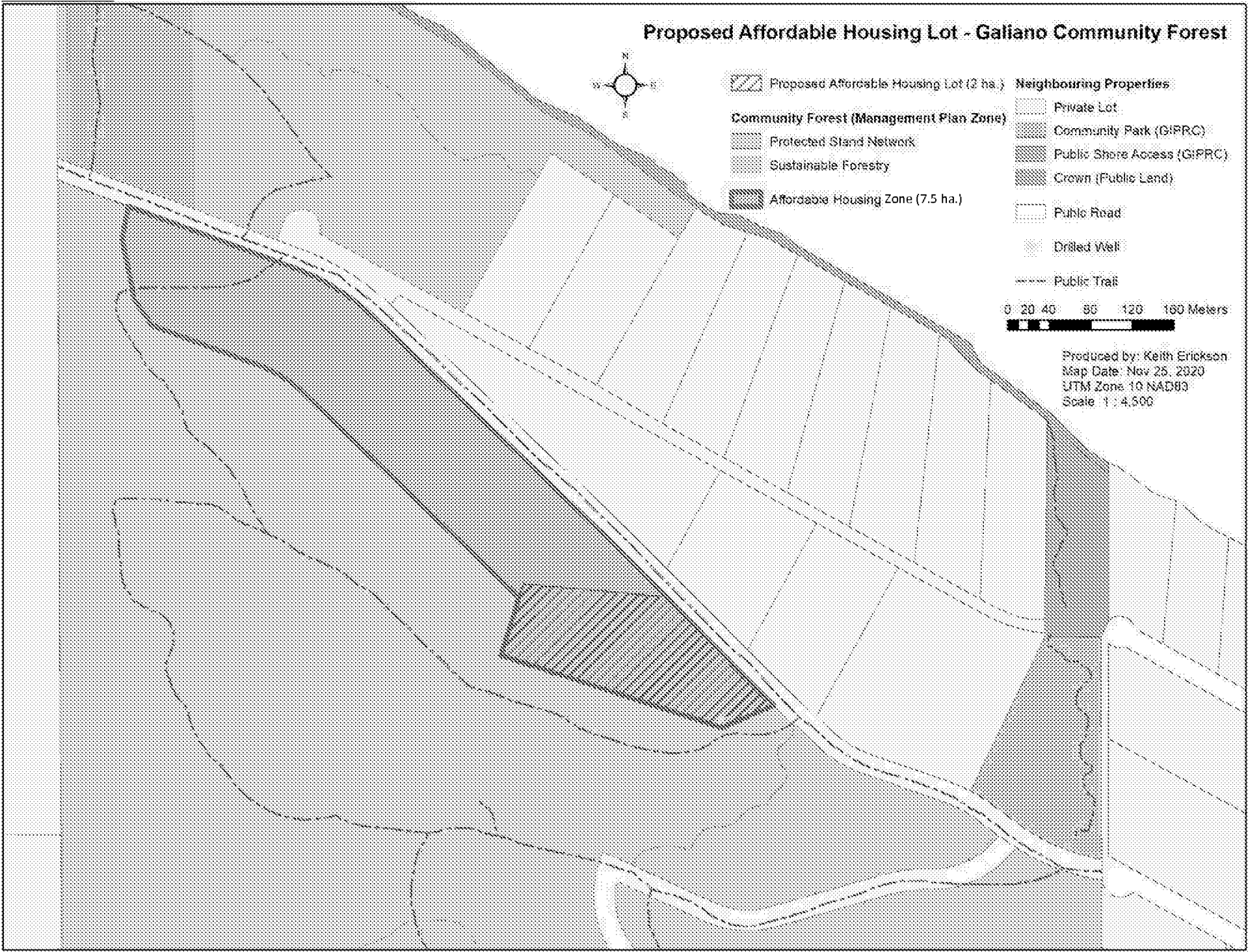
The 'Affordable Housing Zone' is a designation of the Community Forest Management Plan (2020). The Management Plan has designated all of the area surrounding the 'Affordable Housing Zone' as 'Sustainable Forestry Zone' where low impact recreation (hiking / horseback riding etc.), educational activities, ecological restoration and sustainable forestry activities can take place. Though not directly abutting the 'Affordable Housing Zone', a large area to the southeast has been designated as 'Protected Stand Network' where nature protection is the primary goal with low impact recreation, educational and ecological restoration activities also permitted.

The entire northeast boundary of the 'Affordable Housing Zone' is also the boundary of the Community Forest and abuts a Public Road Dedication. There is a gravel road running the length of the subject area that was used as the primary route for logging activity that spanned the entire length of Galiano Island's east side. The gravel road is not currently constructed to public standard and is blocked from public vehicular traffic use by a gate at the end of Georgia View Road proper. The road is used regularly as a walking route by local residents and visitors. On the other side of the Road Dedication there is a residential strata subdivision zoned Rural Residential in the Galiano Island Land Use Bylaw (Bylaw 127, 1999). The strata lots adjacent to the 'Affordable Housing Zone' have been developed for residential and related purposes including the construction of houses, cottages, gardens, driveways, power lines and other clearings and related services.

There are CRD Community Parks located directly to the north (northwest) of the Affordable Housing Zone, on the other side of the Road Dedication, and a couple of hundred meters to the east. These are managed by the Galiano Island Parks and Recreation Commission for low impact recreation and include hiking trails.

The large District Lots to the west are zoned for Forestry use.

Locations of adjacent land uses are shown on Map 2 below.





## Ecological Assessment

### Landscape Level Ecological Context

#### Islands Trust Contiguous Forest Ecosystem Mapping

Ranks the forest cover in the 'Affordable Housing Zone' as "Recruitment Forest – Class 2". It is located on the margin of a tract of 'Anthropogenic Area' synonymous with the residential strata subdivision to the northeast.

'Recruitment Forest' is defined as a forested area stands in early structural stages and includes forests in stages of development up to the pole/sapling stage.

'Class 2' is defined as moderate disturbance, where road coverage and density of structures is moderate.

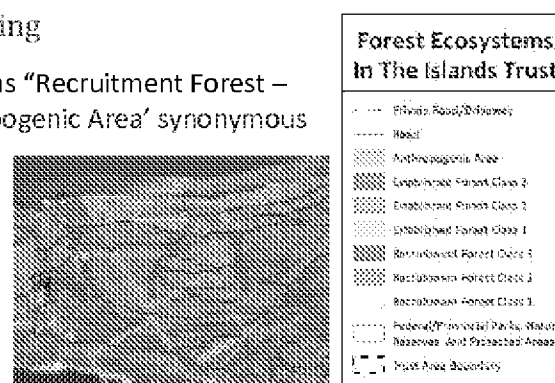


Figure 2: Crop from *ITC Contiguous Forest MapBook\_V3\_LowRes*

#### The Islands Trust Conservancy Regional Conservation Plan 2018-2027

Shows the 'Affordable Housing Zone' as part of the Heritage Forest which has been classified as "Protected Area". Portions of the residential strata subdivision immediately to the northeast are shown as medium relative ecological value, while areas along the shoreline are shown as high ecological value.

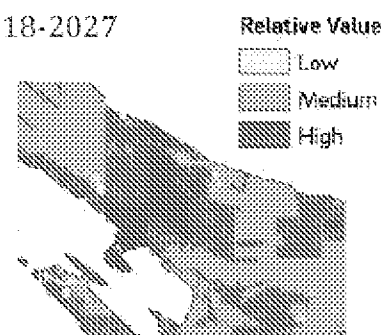


Figure 3: Crop from *ITC Regional Conservation Plan 2019 – 2027 – P72*

#### Galiano Island Official Community Plan

There are no sensitive ecosystems documented within the study area by Islands Trust Conservancy Sensitive Ecosystem Mapping (MAPIT), nor by the Galiano Island Official Community Plan Schedule H DPA 5 Sensitive Ecosystems, Bylaw No. 108, 1995.

There is a small sliver identified as a 'moderate hazard' in Development Permit Area 7 – Steep Slope Hazard (Galiano Island OCP Bylaw No. 108 DEVELOPMENT PERMIT AREAS COMPILATION MAP).

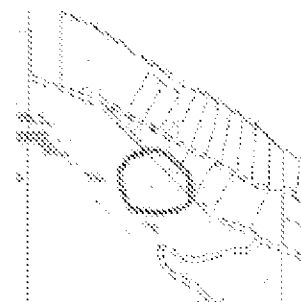


Figure 4: Crop from *Schedule I Development Permit Area 7 Steep Slope Hazard Bylaw No. 108, 1995* - sliver circled in black

### Community Forest (Heritage Forest) Management Plan (CFMP)

The 'Affordable Housing Zone' was delineated within the CFMP according to both practical and ecological criteria. The selection criteria prevented the Affordable Housing Zone from including ecosystems deemed to be of high ecological and wildlife value, at a property-wide scale. According to the CFMP (2020, Galiano Club):

*The Affordable Housing Zone includes areas of the Properties that satisfy all the following criteria:*

1. *Access: Must have frontage on Public Road Dedication.*
2. *Minimize forest fragmentation.*
3. *Not within the Protected Stand Network.*
4. *Adjacent to existing rural residential areas and related services.*

*The Protected Stand Network is composed of areas characterized by one or more of the following criteria:*

1. *Rare and sensitive ecosystems: streams, wetlands, mature forest, cliffs, rocky outcrops, shoreline shrub/herb dominated areas, steep slopes > 55%*
2. *Ecosystem types with wet soils.*
3. *Ecosystem types with dry, poor and relatively shallow soils*
4. *Riparian zones – 50m buffer around all aquatic features*
5. *Ridge and scree slope zones – 20m buffer around all cliff areas*
6. *Areas providing connectivity with neighbouring Parks or Protected Areas and between areas characterized by criteria 1 through 5 within the Properties.*

*Common or zonal ecosystems found within the Properties but not included within the Protected Stand Network as a result of criteria 1 through 5 constitute areas that provide connectivity under criteria 6.*

*These criteria were applied to 'Ecosystem Type' mapping and associated data provided in the Baseline Report. The data was analyzed using a Geographic Information System.*

### Ecosystems At Risk

Small, patchy microsites characterized by a developing Douglas-fir / dull Oregon-grape Ecological Community (*Pseudotsuga menziesii* / *Berberis nervosa*) were observed within the patches of 65-year-old young forest in the study area (Ecological Community 2a shown on Map 3).

This BC Conservation Data Centre ranks the status of this community as "Critically imperilled" in BC and "imperilled" globally:

| Scientific Name                                         | English Name                       | Biogeoclimatic Units | Provincial | BC List | Global | COSEWIC | SARA |
|---------------------------------------------------------|------------------------------------|----------------------|------------|---------|--------|---------|------|
| <i>Pseudotsuga menziesii</i><br><i>Berberis nervosa</i> | Douglas-fir / dull<br>Oregon-grape | CDFrm/01             | S1 (2018)  | Red     | G2     | N/A     | N/A  |

The small occurrences within the study area are not included in the BC Conservation Data Centre mapped occurrence (Occurrence ID 8621, Shape ID 55731) that covers a substantial portion of Galiano Island. This is likely due to the extent of fragmentation from roads, deforestation, converted lands and residential development in and around the study area.

### Species-At-Risk

No red or blue listed species-at-risk were directly observed, and no occurrences were identified for the Affordable Housing Zone by the BC Conservation Data Centre or by iNaturalist. No targeted species-at-risk surveys were completed as part of this assessment.

There is no critical habitat for Federally listed species-at-risk shown to occur within the Affordable Housing Zone. Source: iMAP, compiled by the Canadian Wildlife Service on behalf of Environment and Climate Change Canada (<https://catalogue.data.gov.bc.ca/dataset/critical-habitat-for-federally-listed-species-at-risk-posted->)

The Community Forest (Heritage Forest) Management Plan lists species that were observed or are certain to occur within the Community Forest lands. The list was compiled in 2005 and is applicable broadly to the entire Community Forest, including riparian, wetland, stream, cliff, ridge, and other habitats that are not found within the 'Affordable Housing Zone'. The 2005 list includes several species designated as 'at-risk' by the BC Conservation Data Centre. These are listed below with their relevant at-risk status along with an assessment of their potential use or, presence within the study area. Potential use of the study area is based on interpretation of species habitat requirements found in B.C. Conservation Data Centre Species Summaries (accessed December 3<sup>rd</sup>, <https://a100.gov.bc.ca/pub/eswp/>).

| Scientific Name         | English Name           | Prov.        | BC List | COSEWIC   | SARA       | Potential use of Study Area |
|-------------------------|------------------------|--------------|---------|-----------|------------|-----------------------------|
| <i>Chordeiles minor</i> | Common Nighthawk       | S4B (2015)   | Yellow  | SC (2018) | 1-T (2010) | Not likely to occur         |
| <i>Contopus cooperi</i> | Olive-sided Flycatcher | S3S4B (2015) | Blue    | SC (2018) | 1-T (2010) | May be present              |

| Scientific Name                | English Name                        | Prov.        | BC List | COSEWIC    | SARA        | Potential use of Study Area |
|--------------------------------|-------------------------------------|--------------|---------|------------|-------------|-----------------------------|
| <u>Falco peregrinus anatum</u> | Peregrine Falcon, anatum subspecies | S2? (2011)   | Red     | NAR (2017) | 1-SC (2012) | Not likely to occur         |
| <u>Hirundo rustica</u>         | Barn Swallow                        | S3S4B (2015) | Blue    | T (2011)   | 1-T (2017)  | Not likely to occur         |
| <u>Patagioenas fasciata</u>    | Band-tailed Pigeon                  | S3S4 (2015)  | Blue    | SC (2008)  | 1-SC (2011) | May be present              |
| <u>Rana aurora</u>             | Northern Red-legged Frog            | S3 (2016)    | Blue    | SC (2015)  | 1-SC (2005) | Foraging Non-breeding       |

In addition there is one nearby element occurrences documented on iMAP shown to occur within Montague Provincial Park

|                              |                     |           |           |          |     |                     |
|------------------------------|---------------------|-----------|-----------|----------|-----|---------------------|
| <u>Megascops kennicottii</u> | Western Screech-Owl | S4 (2015) | No Status | T (2012) | 1-T | Not likely to occur |
|------------------------------|---------------------|-----------|-----------|----------|-----|---------------------|

## Hydrology

Generally, the 'Affordable Housing Zone' is located on the mid to lower portion of a gentle northeast facing slope and is characterized by well drained sandy soils with a high coarse fragment content over top of sandstone bedrock. There are no stream channels or other evidence of concentrated surface water flow observed within the area. A ditch was mapped along the upslope side of the lower portion of an old logging road bisecting Proposed Lot B, but no water was observed. Surface water was observed at points along the ditch located within the Public Road dedication (Georgia View extension). There were also a few small puddles observed within Ecological Community 3c where soils were particularly compacted and rutted from previous disturbance. Sub-surface water flow is slowing and accumulating in these areas associated with the lower portion or toe of the slope. This is compounded by further flow restriction from compacted soil layers associated with the constructed public road and disturbed areas within Ecological Community 3c.

## Ecosystem Description

### Methodology

For the purposes of this report, the study area was divided into 3 primary ecological communities according to slope position, soils, disturbance history and observed vegetation. Each community and its variation are described and documented based on field observations from site visits conducted on November 18<sup>th</sup> and 19<sup>th</sup>, 2020. Documentation includes mapping, inventory, and photographs. Documentation also includes the identification, mapping and measuring of all observed remnant old-growth and large diameter (>60cm) trees. The locations of the ecological communities are shown in relation to photo points, other mapped features, and proposed property boundaries on Map 3 below. The inventory was focused within the area defined as the “Affordable Housing Zone”, delineated with the Galiano Club’s ‘Community Forest (Heritage Forest) Management Plan (2020).’ The field survey at times extended slightly beyond the boundaries of the “Affordable Housing Zone” and GIS based ecosystem mapping extended to the natural boundary of the communities to provide context for the subject area.

The format for the description of ecosystem types has been adapted from the Field Manual for Describing Terrestrial Ecosystems - Site and Vegetation forms (Land Management Handbook #25 2<sup>nd</sup> Edition, BC Ministry of Environment, Lands, and Parks / BC Ministry of Forests, 2008. Percent cover estimates for vegetation provide a general sense of the relative abundance of species. Site series were determined from an examination of soils and vegetation and are based on the Field Guide to Site Identification and Interpretation for the Vancouver Forest Region (Land Management Handbook #28, BC Ministry of Forests Research Branch, 1994). Site Series were also referenced with data from the ‘Terrestrial Ecosystem Mapping of the Coastal Douglas-fir Biogeoclimatic Zone’ (2008, Madrone Environmental Services). A Trimble GeoXH 6000 GPS was used to accurately identify boundaries and other features such as roads and large diameter trees.

### General Description

The Affordable Housing Zone is a roughly 200-meter wide strip that runs along side the Georgia View public road extension. It is located on a gradual northeast facing slope that transitions from the toe of a narrow bench where the public road is located up through to the mid slope position. Generally, the area is characterized by rapidly to well drained, sandy soils with a high content of platy, sandstone coarse fragments, over fractured sandstone bedrock. Soil depth is variable, from very shallow (<20cm to bedrock) to moderate (1m to bedrock). The forest is considered ‘zonal’ in the Coastal Douglas-fir Biogeoclimatic Zone and is classified by the 2008 Terrestrial Ecosystem Mapping (TEM) as follows:

- Lower bench portion: Shrubby CDFmm/01s forest: Douglas-fir – salal, with shallow soils<sup>1</sup>, and trees generally less than 10m tall.

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<sup>1</sup> s = shallow soils: 20–100 cm to bedrock

- Mid-slope portion: 70% shrub (less than 10m tall) CDFmm/01ks forest: Douglas-fir – salal on a cool aspect<sup>2</sup> and with shallow soils, and 30% young (30 to 80-years-old) CDFmm/01ks forest.

The Douglas-fir – salal (CDFmm/01) ecosystem is the most common on Galiano Island and comprises over 60% of the forested Coastal Douglas-fir Zone landscape.

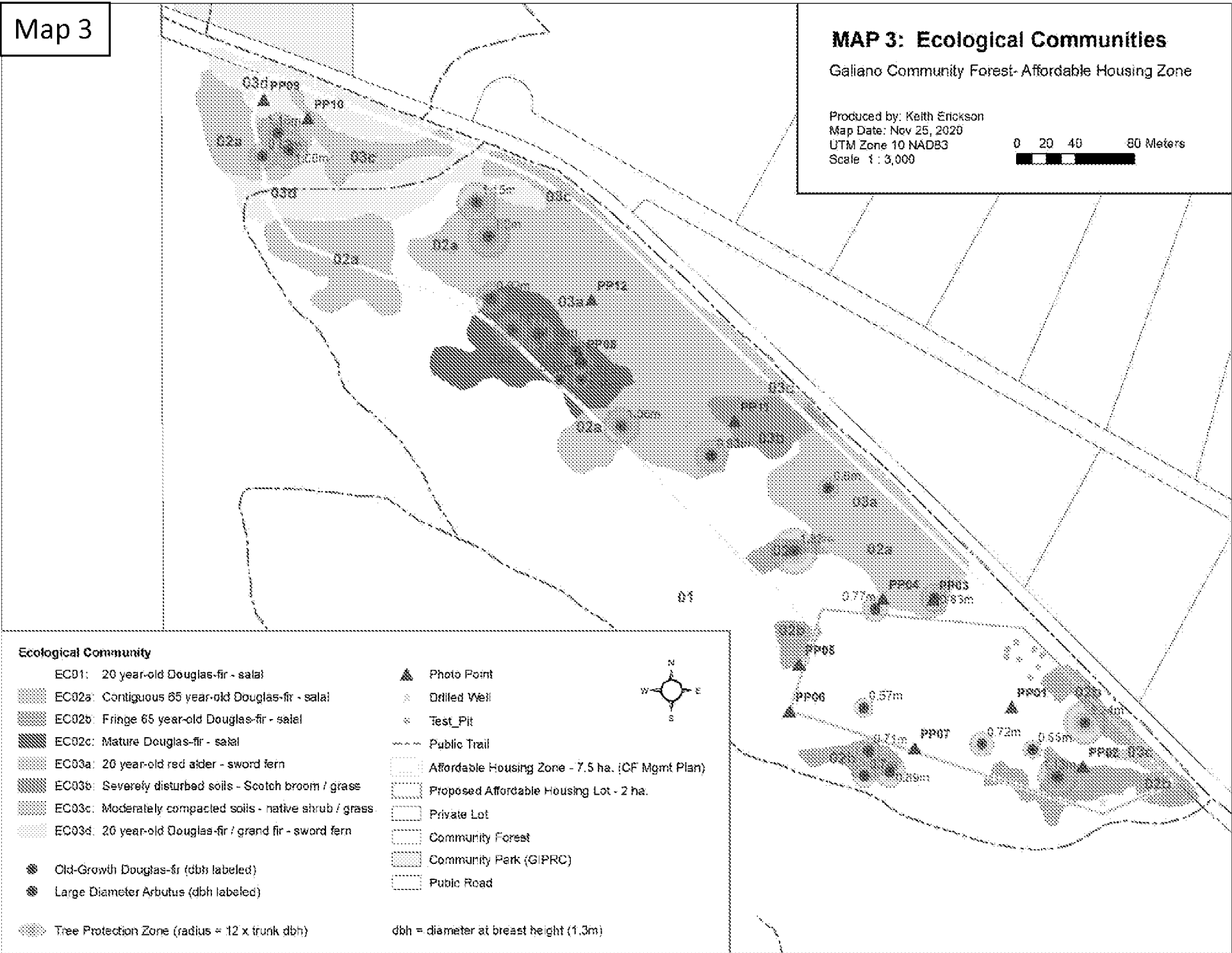
Ground based field observations generally confirms the TEM mapping classification, identifying two primary age classes of forest, ~20-years-old (5.1 ha or 68%) and ~65-years-old (2.4 ha or 32%).

The immature 20-year-old forest has been further divided according to slight variation in soil moisture, consisting of a dryer Douglas-fir – salal dominated component (2.6 ha. / 35%) along with moister red alder – sword fern dominated component (2.5 ha / 33%). Within the slightly moister area, the survey picked up further variation associated with disturbance to the soils, delineating two small areas where soils are compacted (0.37 ha.) and one small area that appears to have been subject to soil and gravel extraction (0.2 ha.).

The young 65-year-old Douglas-fir dominated forest includes scattered remnant old-growth Douglas-fir trees along with several large diameter arbutus trees.

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<sup>2</sup> k = cool aspect: occurs on aspects 285°–135°, on moderately steep slopes (35%–100% in the CWH and CDF)



### Ecological Community 1

**Description:** Ecological Community 01 is characterized by a gentle, northeast slope with medium to shallow depth, rapidly drained soils and a regenerating, Douglas-fir dominated, pole forest canopy. Salal and Oregon-beaked moss dominate the understory, occurring alongside scattered evergreen huckleberry shrubs and climbing Western trumpet honeysuckle vines. The forest remains somewhat patchy, with a matrix of dense trees and relatively sparse understory interwoven with open canopy gaps where shrub and moss growth are plentiful. The community also includes scattered individual or small clusters of remnant trees that were not cut during the most recent logging. These include young Western redcedar, Douglas-fir and Arbutus trees, some older Arbutus trees with exceptionally large trunk diameters and a few old-growth Douglas-fir trees.

There are patches scattered throughout where bedrock approaches the surface and soils are shallow. Vegetation in these areas transitions from Oregon-beaked moss as a dominant moss cover to step moss with patches of electrified cattail moss. While salal persists, there is occurrence of Oregon-grape. Soils in these areas are slightly drier and poorer than deeper sites.

This community was logged roughly 20 years ago. It was part of a larger clear-cut that left small patches and individual young trees that were generally not large enough for commercial purposes. The logging also spared a few remnant veteran trees, likely for seeding purposes. It appears logging was completed with extensive machine use resulting in widespread soil compaction of varying degrees with shallow soil areas being most severely affected.

If left to natural succession, this community will continue as a dense Douglas-fir dominated canopy with little understory diversity as it becomes a young forest. As it ages it will naturally thin during the stem exclusion phase, slowly opening over the next century and moving into a more diverse, Douglas-fir dominated zonal mature forest.





Photo Point 01 @ 0°: Representative of EC01 with a septic test pit in the foreground showing the sandy soils with high platy sandstone coarse fragment content.



Photo Point 06 @ 75°: Representative of EC01 taken from the southwest corner of the proposed Lot B



Photo Point 07 @ 0°: Representative of EC01 salal dominated gap on a steeper 25% mid slope grade.

|                          |          |                             |           |                        |          |
|--------------------------|----------|-----------------------------|-----------|------------------------|----------|
| <b>EC</b>                | 01       | <b>Slope:</b>               | 15–25%    | <b>Aspect:</b>         | 30°      |
| <b>Structural Stage:</b> | Pole     | <b>Meso-slope Position:</b> | Mid-lower | <b>Site Series:</b>    | CDFmm/01 |
| <b>Soil Nutrients</b>    | Poor-med | <b>Soil Moisture</b>        | 2 - 3     | <b>Canopy Closure:</b> | 50%      |

| <b>Vegetation Species</b>                             | <b>A1</b> | <b>A2</b> | <b>A3</b> | <b>B1</b> | <b>B2</b> | <b>C</b> | <b>D</b> | <b>Notes</b> |
|-------------------------------------------------------|-----------|-----------|-----------|-----------|-----------|----------|----------|--------------|
| <i>Pseudotsuga menziesii</i> (Douglas-fir)            | 1         |           | 1         | 45        | T         |          |          |              |
| <i>Thuja plicata</i> (Western red cedar)              |           |           |           | T         | T         |          |          |              |
| <i>Arbutus menziesii</i> (arbutus)                    |           |           | 1         | 2         |           |          |          |              |
| <i>Tsuga heterophylla</i> (Western hemlock)           |           |           |           | T         | T         |          |          |              |
| <i>Abies grandis</i> (grand fir)                      |           |           |           | T         | T         |          |          |              |
| <i>Gaultheria shallon</i> (salal)                     |           |           |           | 1         | 30        |          |          |              |
| <i>Alnus rubra</i> (red alder)                        |           |           | T         |           |           |          |          |              |
| <i>Berberis nervosa</i> (dull Oregon-grape)           |           |           |           |           | T         |          |          |              |
| <i>Vaccinium ovatum</i> (evergreen huckleberry)       |           |           |           | T         | 5         |          |          |              |
| <i>Polystichum munitum</i> (sword fern)               |           |           |           |           |           | T        |          |              |
| <i>Vaccinium parvifolium</i> (red huckleberry)        |           |           |           |           | T         |          |          |              |
| <i>Lonicera ciliosa</i> (Western trumpet honeysuckle) |           |           |           | T         | T         |          |          |              |

|                                                                 |       |    |        |    |       |    |       |    |
|-----------------------------------------------------------------|-------|----|--------|----|-------|----|-------|----|
| <i>Rubus ursinus</i> (trailing blackberry)                      |       |    |        |    |       |    |       |    |
| <i>Pteridium aquilinum</i> (bracken fern)                       |       |    |        |    |       | T  |       |    |
| <i>Trientalis latifolia</i> (western star flower)               |       |    |        |    |       | T  |       |    |
| <i>Rubus leucodermis</i> (blackcap)                             |       |    |        |    | T     |    |       |    |
| <i>Cytisus scoparius</i> (Scotch broom)                         |       |    |        |    | T     |    |       |    |
| <i>Galium triflorum</i> (sweet-scented bedstraw)                |       |    |        |    |       | T  |       |    |
| <i>Rubus discolor</i> (Himalayan blackberry)                    |       |    |        | T  | T     |    |       |    |
| Grass spp.                                                      |       |    |        |    |       | T  |       |    |
| <i>Eurhynchium oregonum</i> (Oregon beaked-moss)                |       |    |        |    |       |    | 40    |    |
| <i>Rhytidiadelphus triquetrus</i> (electrified cat's-tail moss) |       |    |        |    |       |    | T     |    |
| <i>Hylocomium splendens</i> (step moss)                         |       |    |        |    |       |    | 2     |    |
| <i>Dicranum sp.</i>                                             |       |    |        |    |       |    |       |    |
| <i>Polytrichum juniperinum</i> (Juniper haircap moss)           |       |    |        |    |       |    |       |    |
| <b>Cover by Layer (%)</b>                                       | Tree: | 50 | Shrub: | 35 | Herb: | <1 | Moss: | 40 |

**Soils:** Rapidly drained. Thin Ah over variable depth of sandy B horizon with high content of coarse fragments, over fractured sandstone bedrock.

**Recommendations/notes:**

- Avoid disturbance to veteran trees and root zones.
- Dense Douglas-fir areas would benefit from thinning treatments and limbing dead branches to 2m. This will reduce fire hazard and increase biodiversity.

## Ecological Community 2

**Description: Ecological Community 02a** is an older version of Ecological Community 01, characterized by young Douglas-fir dominated canopy roughly 65 years in age, with a salal, evergreen huckleberry and Oregon-beaked moss dominated understory. Site conditions are consistent with Ecological Community 01, a gentle, northeast slope with medium to shallow depth, rapidly drained soils. Arbutus and Western redcedar are scattered throughout in the sub-canopy along with the odd dominant, remnant old-growth Douglas-fir tree.

**Ecological Community 02b** is a minor variant of 2a with less of a uniform Douglas-fir dominated canopy. These are fringe sites with more edge and less interior area and more influence from Ecological Community 01. There is a higher percentage of Arbutus and Western redcedar interspersed with 'encroaching' younger 20-year-old Douglas-fir.

**Ecological Community 02c** is another variant. It is distinguished by a higher density of old-growth Douglas-fir trees, giving the community more of a mature forest character. There is a larger component of coarse woody debris along with a slightly more diverse herb and moss layers.



Photo Point 03 @ 310°: Representative of EC02a.



Photo Point 05 @ 310°: Representative of EC02b.





Photo Point 02 @ 230°: Representative of EC02b



Photo Point 08 @ 180°: Representative of EC02c – mature forest characteristics.

|                          |               |                             |           |                        |          |
|--------------------------|---------------|-----------------------------|-----------|------------------------|----------|
| <b>EC</b>                | 02            | <b>Slope:</b>               | 15-20%    | <b>Aspect:</b>         | 35°      |
| <b>Structural Stage:</b> | Young Forest  | <b>Meso-slope Position:</b> | Mid-lower | <b>Site Series:</b>    | CDFmm/01 |
| <b>Soil Nutrients</b>    | Poor - medium | <b>Soil Moisture</b>        | 2 - 3     | <b>Canopy Closure:</b> | 60%      |

| <b>Vegetation Species</b>                                       | <b>A1</b> | <b>A2</b> | <b>A3</b> | <b>B1</b> | <b>B2</b> | <b>C</b> | <b>D</b> | <b>Notes</b> |
|-----------------------------------------------------------------|-----------|-----------|-----------|-----------|-----------|----------|----------|--------------|
| <i>Pseudotsuga menziesii</i> (Douglas-fir)                      | 1         | 55        | 2         | 1         | T         |          |          |              |
| <i>Thuja plicata</i> (Western redcedar)                         |           | T         | 2         | T         |           |          |          |              |
| <i>Arbutus menziesii</i> (arbutus)                              |           | T         | 1         | T         |           |          |          |              |
| <i>Salix scouleriana</i> (Scouler's willow)                     |           |           |           | T         |           |          |          |              |
| <i>Abies grandis</i> (grand fir)                                |           |           |           | T         | T         |          |          |              |
| <i>Gaultheria shallon</i> (salal)                               |           |           |           |           | 40        |          |          |              |
| <i>Alnus rubra</i> (red alder)                                  |           |           | T         | T         |           |          |          |              |
| <i>Berberis nervosa</i> (dull Oregon-grape)                     |           |           |           |           | T         |          |          |              |
| <i>Polystichum munitum</i> (sword fern)                         |           |           |           |           |           | T        |          |              |
| <i>Vaccinium ovatum</i> (evergreen huckleberry)                 |           |           |           | T         | 5         |          |          |              |
| <i>Lonicera ciliosa</i> (Western trumpet honeysuckle)           |           |           |           | T         | 1         |          |          |              |
| <i>Lonicera hispidula</i> (hairy honeysuckle)                   |           |           |           |           | T         |          |          |              |
| <i>Rubus ursinus</i> (trailing blackberry)                      |           |           |           |           | T         |          |          |              |
| <i>Pteridium aquilinum</i> (bracken fern)                       |           |           |           |           |           | T        |          |              |
| <i>Trientalis latifolia</i> (western star flower)               |           |           |           |           |           | T        |          |              |
| <i>Digitalis purpurea</i> (foxglove)                            |           |           |           |           |           | T        |          |              |
| <i>Cytisus scoparius</i> (Scotch broom)                         |           |           |           | T         | T         |          |          |              |
| <i>Calypso bulbosa</i> (fairyslipper)                           |           |           |           |           |           | T        |          |              |
| <i>Goodyera oblongifolia</i> (rattlesnake plantain)             |           |           |           |           |           | T        |          |              |
| <i>Grass spp.</i>                                               |           |           |           |           |           | T        |          |              |
| <i>Eurhynchium oregonum</i> (Oregon beaked-moss)                |           |           |           |           |           |          | 35       |              |
| <i>Rhytidiadelphus triquetrus</i> (electrified cat's-tail moss) |           |           |           |           |           |          | 1        |              |
| <i>Hylocomium splendens</i> (step moss)                         |           |           |           |           |           |          | 10       |              |
| <i>Dicranum sp.</i>                                             |           |           |           |           |           |          | T        |              |
| <i>Polytrichum juniperinum</i> (Juniper haircap moss)           |           |           |           |           |           |          | T        |              |
| <b>Cover by Layer (%)</b>                                       | Tree:     | 60        | Shrub:    | 45        | Herb:     | 1        | Moss:    | 45           |

**Soils:** Rapidly drained. Thin Ah over variable depth of sandy B horizon with high content of coarse fragments, over fractured sandstone bedrock.

**Recommendations/notes:**

- Avoid disturbance to small patches of red listed Douglas-fir – Oregon-grape community on shallow soiled slightly convex (raised) microsites.
- Avoid disturbance to veteran trees and root zones.
- Avoid disturbance to EC02c with high concentration of veteran trees and mature characteristics.
- Opportunity for modest thinning treatments of young Douglas-fir to achieve more desirable density to maintain understory diversity as surrounding pole forest grows up and reduces light penetration from edges. This could also reduce fire risk.

### Ecological Community 3

**Description:** Ecological Community 03 is characterized by well-drained soils on a flat to gentle, moisture receiving, lower or toe slope. Soils are slightly moister and slightly richer than those in Ecological Community 01. **Ecological Community 03a** is dominated by a roughly 20-year-old red alder canopy with scattered, suppressed Douglas-fir in the sub-canopy. Scouler's willow, bitter cherry, big-leaf maple, grand fir and Western redcedar are also peppered throughout the stand. Sword fern is the dominant cover in the understory with dense salal patches mixed in, along with scattered salmonberry and evergreen huckleberry plants.

The community includes significant variation mainly due to differences in soil disturbance. **Ecological Community 03b** appears to have been used for gravel extraction, with exposed bedrock observed throughout the site and steep cut bank slopes around its edges. Organic material was scraped off and mineral soil was removed for road building purposes. Remaining soil is also now severely compacted. Vegetation in EC03b is dominated by Scotch broom (25% cover) and agronomic grasses (35% cover) and includes a patch of gorse. There are a few scattered red alder trees and Douglas-fir seedlings and saplings growing on the site, with both increasing in cover towards the edges where soils are less compacted.

Areas characterized by **Ecological Community 03c** exhibit compacted soils and were likely used as landing or sorting areas during past logging events. These disturbed sites are dominated by agronomic grasses (50% cover) with patches of salal (15%), sword fern (15%) scattered throughout. There is modest pole and sapling tree cover including red alder (15%), Scouler's willow, bitter cherry, Western redcedar, Douglas-fir (5%) and grand fir. Scotch broom (1%) and Himalayan blackberry were also observed. Some pooling of surface water was observed in the odd depression in these sites – moisture moving through the soil column accumulates due to the toe slope position combined with the soil compaction.

**Ecological Community 03d** is characterized by a conifer dominated canopy with scattered patches of red alder. Douglas-fir is the primary species occurring alongside grand fir and Western redcedar and the odd bitter cherry. Sword fern and salal are co-dominant in the understory.



Photo Point 12 @ 325°: Representative of EC03a – red alder dominated canopy.



Photo Point 11 @ 270°: Representative of EC03b – broom and grass dominated gravel extraction site.





Photo Point 10 @ 135°: Representative of EC03c – old landing / sorting areas with compacted soils.



Photo Point 09 @ 290°: Representative of EC03d – Douglas-fir, grand fir dominated canopy.

|                          |       |                             |       |                        |             |
|--------------------------|-------|-----------------------------|-------|------------------------|-------------|
| <b>EC:</b>               | 03    | <b>Slope:</b>               | 2-10% | <b>Aspect:</b>         | 10-20°      |
| <b>Structural Stage:</b> | Mixed | <b>Meso-slope Position:</b> | Knoll | <b>Site Series:</b>    | CDFmm/01-04 |
| <b>Soil Nutrients</b>    | C-D   | <b>Soil Moisture</b>        | 3-4   | <b>Canopy Closure:</b> | 60%         |

| <b>Vegetation Species</b>                           | <b>A1</b> | <b>A2</b> | <b>A3</b> | <b>B1</b> | <b>B2</b> | <b>C</b> | <b>D</b> | <b>Notes</b> |
|-----------------------------------------------------|-----------|-----------|-----------|-----------|-----------|----------|----------|--------------|
| <i>Thuja Plicata</i> (western red cedar)            | T         |           |           | T         | T         |          |          |              |
| <i>Pseudotsuga menziesii</i> (Douglas-fir)          | T         | T         |           | 10        | T         |          |          |              |
| <i>Acer macrophyllum</i> (big-leaf maple)           |           | T         |           |           |           |          |          |              |
| <i>Abies grandis</i> (grand fir)                    |           | T         |           | 1         | T         |          |          |              |
| <i>Tsuga heterophylla</i> (western hemlock)         |           | T         |           | T         |           |          |          |              |
| <i>Alnus rubra</i> (red alder)                      |           | 50        |           | 10        |           |          |          |              |
| <i>Prunus emarginata</i> (bitter cherry)            |           | T         |           |           |           |          |          |              |
| <i>Salix scouleriana</i> (Scouler's willow)         |           | T         |           | T         |           |          |          |              |
| <i>Rubus spectabilis</i> (salmon berry)             |           |           |           | T         | T         |          |          |              |
| <i>Cytisus scoparius</i> (Scotch broom)             |           |           |           | 1         | T         |          |          |              |
| <i>Gaultheria shallon</i> (salal)                   |           |           |           | T         | 10        |          |          |              |
| <i>Ilex aquifolium</i> (English holly)              |           |           |           |           | T         |          |          |              |
| <i>Polystichum munitum</i> (sword fern)             |           |           |           |           |           | 40       |          |              |
| <i>Mahonia aquilinum</i> (tall Oregon-grape)        |           |           |           |           | T         |          |          |              |
| <i>Lonicera hispidula</i> (hairy honeysuckle)       |           |           |           | T         |           |          |          |              |
| <i>Rubus discolor</i> (Himalayan blackberry)        |           |           |           | T         | T         |          |          |              |
| <i>Rubus ursinus</i> (trailing blackberry)          |           |           |           |           | T         |          |          |              |
| <i>Pteridium aquilinum</i> (bracken fern)           |           |           |           |           |           | 1        |          |              |
| <i>Fragaria vesca</i> (woodland strawberry)         |           |           |           |           |           | T        |          |              |
| <i>Rosa nootkensis</i> (Nootka rose)                |           |           |           | T         |           |          |          |              |
| <i>Vaccinium ovatum</i> (evergreen huckleberry)     |           |           |           |           | T         |          |          |              |
| <i>Achlys triphylla</i> (vanilla leaf)              |           |           |           |           |           | 1        |          |              |
| <i>Digitalis purpureum</i> (foxglove)               |           |           |           |           |           | T        |          |              |
| <i>Trientalis latifolia</i> (broad-leaf starflower) |           |           |           |           |           | T        |          |              |
| <i>Senecio jacobaea</i> (tansy ragwort)             |           |           |           |           |           | T        |          |              |
| <i>Hypochaeris radicata</i> (hairy cats-ear)        |           |           |           |           |           | T        |          |              |
| <i>Grass spp.</i>                                   |           |           |           |           |           | 5        |          |              |
| <i>Cirsium arvense</i> (Canada thistle)             |           |           |           |           |           | T        |          |              |
| <i>Cirsium vulgare</i> (bull thistle)               |           |           |           |           |           | T        |          |              |
| <i>Eurhynchium oreganum</i> (Oregon beaked moss)    |           |           |           |           |           |          | 10       |              |
| <i>Rhytidiadelphus loreus</i> (lanky moss)          |           |           |           |           |           |          | T        |              |
| <i>Hylocomium splendens</i> (step moss)             |           |           |           |           |           |          | T        |              |
| <i>Dicranum sp.</i>                                 |           |           |           |           |           |          | T        |              |
| <b>Cover by Layer (%)</b>                           | Tree:     | 60        | Shrub:    | 25        | Herb:     | 50       | Moss:    | 10           |

**Soils:** Soils are well to moderately well drained. Moderate Ah over sandy B horizon with moderate content of coarse fragments, over fractured sandstone bedrock. Soils in EC03b and 03C are compacted.

**Recommendations/notes:**

- Ecology and hydrology of EC03b and EC03c would benefit from 'rough and loose' soil decompaction treatment. More information on this technique can be found @ <https://www.cclmportal.ca/resource/making-sites-rough-and-loose-soil-adjustment-technique>

**Distribution of Ecosystem Types**

The table below summarizes the size of each Ecological Community within the entire study area (Affordable Housing Zone), within Proposed Lot B, and within the remainder of the Affordable Housing Zone if Lot B were to be subdivided and removed.

| Ecological Community | Affordable Housing Zone |           | Proposed Lot B |            | Remainder  |                |
|----------------------|-------------------------|-----------|----------------|------------|------------|----------------|
|                      | Area (ha.)              | % of Zone | Area (ha.)     | % of Lot B | Area (ha.) | % of Remainder |
| 01                   | 2.6                     | 35%       | 1.67           | 83.5%      | 0.93       | 17%            |
| 02a                  | 1.66                    | 22%       |                |            | 1.66       | 30%            |
| 02b                  | 0.39                    | 5%        | 0.3            | 15.0%      | 0.09       | 2%             |
| 02c                  | 0.38                    | 5%        |                |            | 0.38       | 7%             |
| 03a                  | 1.21                    | 16%       |                |            | 1.21       | 22%            |
| 03b                  | 0.2                     | 3%        |                |            | 0.2        | 4%             |
| 03c                  | 0.37                    | 5%        | 0.03           | 1.5%       | 0.34       | 6%             |
| 03d                  | 0.69                    | 9%        |                |            | 0.69       | 13%            |
| TOTAL                | 7.5                     |           | 2.0            |            | 5.5        |                |

## Summary of Significant Ecological Values

### Biological Legacies

While the entire area has been logged at different times, there remains about two dozen old-growth Douglas-fir trees and large diameter arbutus that are relatively rare and highly valued on Galiano. These features generally occur within and on the edges of the small 65-year old-forest patches described as Ecological Community 02. The highest concentration of these veteran trees is found in Ecological Community 2c, where cumulatively they result in more of a mature or old forest character.

There are a couple of small microsites on shallow soiled, slightly convex shaped microsites within Ecological Community 2a where examples of the red listed, Douglas-fir – dull Oregon-grape plant community appear to be developing.

### Wildlife Habitat

By nature of the property level planning that determined the extent of the ‘Affordable Housing Zone’, there are no highly valued wetland, stream or riparian forest areas within the study area, nor are there any rare habitats such as woodlands.

While formal inventory of wildlife was not included within the scope of this study, a general assessment of wildlife habitat has been derived from the ecological conditions present on the site. The following summarizes excerpts from a paper *Diversifying Forest Structure to Promote Wildlife Biodiversity in Western Washington Forests* (Washington State University Extension - EM044. 2012. Kevin W. Zobrist, Thomas M. Hinckley. Washington State University) which provides a distillation and summary of the extensive body of scientific literature on the subject (direct quotes in italics):

*To meet the ecological needs of a broad range of species, structural diversity is needed, both in individual stands of trees and in the broader landscape, to provide a variety of habitat elements. This means having a three-dimensional variety of shapes, sizes, structures, and spatial arrangements in the forest.*

Dense, even aged, single species stands support few wildlife species due to sparse understory vegetation and lack of structural complexity. Open, mixed species, mixed age stands tend to support a robust and diverse understory cover and layered forest canopy, providing habitat for more wildlife species.

Species diversity also plays a major role in determining the quality of wildlife habitat.

*A mixture of different conifer species, especially shade-tolerant species such as western hemlock and western redcedar, provides different tree sizes, live-crown lengths, and shapes. A mix of both conifer and hardwood species provides a broader variety of shelters and food sources for wildlife.*

*Hardwoods provide particularly important habitat elements for all sorts of wildlife including small mammals and birds. Even small amounts of hardwood canopy cover in an otherwise coniferous forest*

*can greatly increase the abundance of birds. Hardwood species that produce hard and soft mast (nuts and berries, respectively) are particularly important wildlife food sources. This includes both tree and understory shrub species.*

Areas of highest wildlife significance within the study area are where structural and species diversity are highest. These include:

- Areas around large remnant old-growth trees, considered as legacy structures which hold valuable genetic diversity, likely include refugia for remnant soil flora and fauna in and around their root systems, and provide dominant structural components as large live trees and throughout their full cycle as large snags and ultimately large woody debris on the ground.
- Areas characterized by EC 03 where there is a higher diversity of tree species, there are large stands of red alder (hardwood), and the understory is robust and diverse. This includes the shrub and grass dominated compacted areas (EC03b and EC03c) which provide more open, non-treed gaps utilized by birds, bats, and other species.
- Areas along the edges of the young forest patches where the 65-year-old stands meet the immature, 20-year-old stands. These areas provide slightly higher structural diversity due to the varied canopy heights along the edges.

Of least value to wildlife are the dense, single aged, Douglas-fir dominated conditions described within EC 01. This stand is entering into the 'stem exclusion stage' when the canopy quickly closes, understory vegetation cover and diversity is reduced, and the salal dominated gaps diminish in size or disappear.



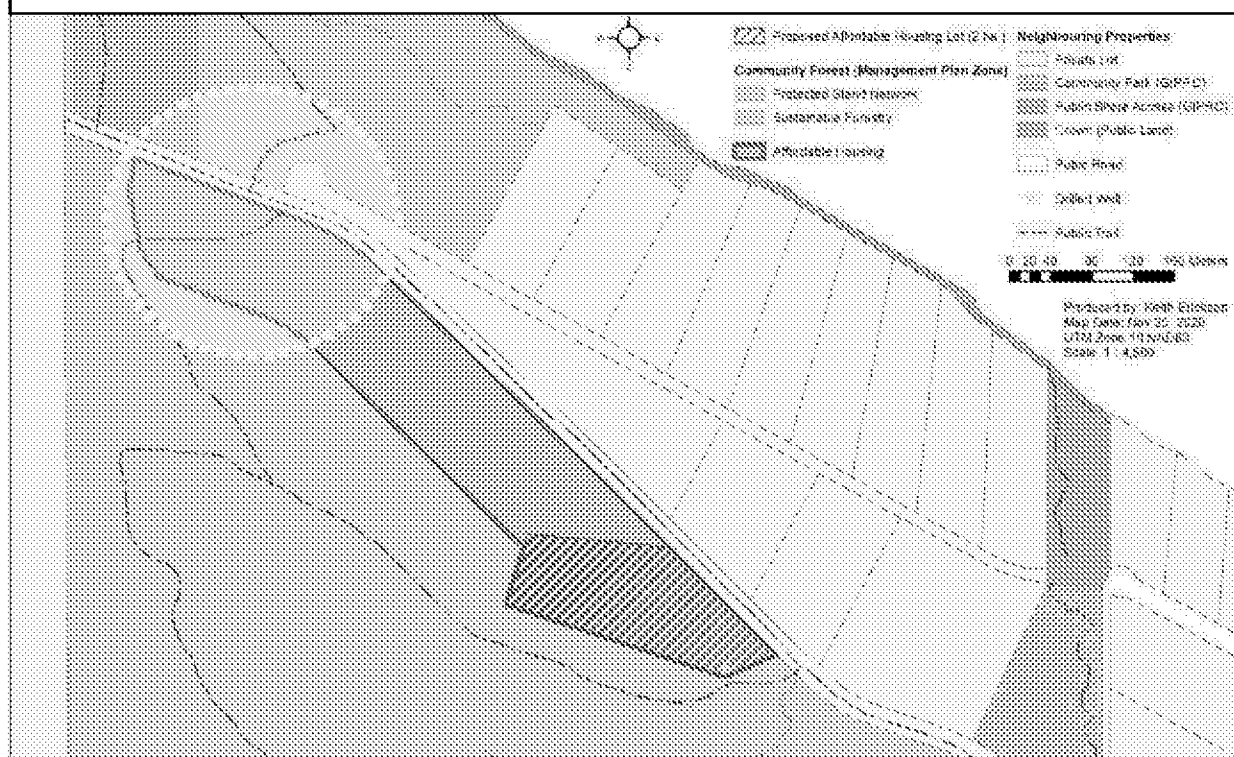
Photo Point 04 @ 310": Shows structural diversity found in transitional edges between EC02a on right, to EC01 on left. Dominant old-growth Douglas-fir trees in background rise up above the canopies of both communities.

## Recommendations

### Site Plan

- 1) Minimize landscape fragmentation by locating development in areas adjacent to existing residential lots and use. Avoid locating development in the northwestern portion of the 'Affordable Housing Zone' (see yellow highlighted area in Figure 5 below) where there is a contiguous tract of undeveloped forest land (with exception of the Road Dedication) extending from the southern portion of the Community Forest through the CRD Community Park and northern shoreline portion of the Community Forest to the Georgia Strait. It is also noted that this area contains an established public foot trail.

Figure 5: Minimize Fragmentation - Yellow circle shows area where development should not occur



- 2) Minimize the encroachment of the development footprint into young, 65-year-old forest ecosystems found in Ecological Communities 02a and 02b.
- 3) Avoid any disturbance to Ecological Community 02c where remnant old-growth tree density is highest and mature forest structure is emerging.
- 4) Minimize encroachment of the development footprint into the slightly more diverse immature forest ecosystems found in Ecological Community 03a and 03d.
- 5) Focus development within areas of least structural and species diversity, in this case Ecological Community 01, where a dense, single-storied, Douglas-fir dominated stand is regenerating.

- 6) Focus the development footprint on established roads and areas where soils are already heavily disturbed and compacted as much as possible.
- 7) Reduce fragmentation of the forest by keeping the development compact and minimizing the required footprint for structures and services. For example, place gardens to the north of buildings so tree clearing required for the building footprint also provides light for garden.
- 8) Protect biological legacies. Retain, and establish a Tree Protection Zone around old-growth Douglas-fir trees and large diameter arbutus trees.
  - a) Tree Protection Zone areas indicated on Map 3 represent the Critical Rooting Zone around each mapped tree. The 'trunk diameter method' was used, creating a protection zone radius that is equal to 12 centimeters for every one centimeter of trunk diameter measured at breast height (1.3m).
  - b) **Recommend consulting with a certified arborist** to determine the health of all old-growth or large diameter trees within the development area, to assess the impacts to these trees from the proposed development, and to provide specific recommendations for protection and establishment of the critical rooting zones.
- 9) Retain as much forest structure and natural vegetation cover as possible within the development area. Retain large diameter coarse woody debris and dead standing trees (snags) within undeveloped areas of the proposed Lot to provide wildlife habitat.
- 10) Within the development, minimize the area of impervious surfaces. Consider use of permeable materials for parking lot construction. "Permeable pavement surfaces are made of either a porous material that enables stormwater to flow through it or nonporous blocks spaced so that water can flow between the gaps. Stormwater flows into and is stored in an underlying stone reservoir. Permeable pavement is commonly used on roads, paths and parking lots subject to light vehicular traffic, such as cycle-paths, service or emergency access lanes, road and airport shoulders, and residential sidewalks and driveways." ([https://en.wikipedia.org/wiki/Permeable\\_paving](https://en.wikipedia.org/wiki/Permeable_paving))
- 11) Minimize soil compaction and disturbance required for development through design that narrows or focuses required movement between buildings and infrastructure and reduces need for clearings.
- 12) Minimize soil compaction to areas outside of the infrastructure footprint during the construction phase. Restore any areas outside of the development footprint where soils were temporarily compacted due to construction using the 'rough and loose' method. Also consider restoring areas that were previously compacted (skid roads, logging landing sites) from logging activities. More information on the 'rough and loose' technique can be found @ <https://www.cclmportal.ca/resource/making-sites-rough-and-loose-soil-adjustment-technique>
- 13) Create bioswales along driveways and downslope from parking areas and other impervious surfaces to manage surface runoff and promote infiltration back into the groundwater system. Consider

construction of a rain garden or retention wetland in series with bioswales to provide additional capture of excess runoff from impermeable surfaces (roofs, parking areas) and promotion of infiltration.

- 14) Install rainwater catchment and storage systems to reduce roof runoff and reduce pressure on groundwater resources.
- 15) Incorporate 'wildlife zones' into the design where no ongoing use occurs. Restoration and wildlife enhancement measures should be focused in these areas.

### Construction Management

- 16) Establish temporary high visibility fencing around the perimeter of each Tree Protection Zone prior to any site preparation or construction.
- 17) Minimize impacts to vegetation during the construction process, and immediately revegetate/restore any areas where temporary damage is necessary for construction purposes. Include measures such as the erection of temporary fencing (snow fence) to ensure construction activities and storage materials do not encroach into areas that are to remain natural.
- 18) Retain any large diameter coarse woody debris material from areas that are cleared for the development footprint to use for restoration or enhancement of natural areas outside the footprint.
- 19) Any soils exposed or deposited for a period of greater than two (2) weeks should be covered and maintained by means of tarps in good repair and/or hydromulch (without seeds).
- 20) The use of machinery and equipment should be restricted to the minimum area for the construction of the development.
- 21) Control invasive exotic vegetation – remove Scotch broom, holly and Himalayan blackberry within the development area. Contractors should inspect their equipment and vehicles to ensure they do not transport invasive plant species seeds onto or off the property. All equipment should be washed prior to arrival. Manual removal of weeds should be performed on a regular basis.
- 22) All machinery and equipment should be inspected for leaks prior to operation.
- 23) Machinery and equipment should ideally be refuelled offsite or at a designated location on an impermeable surface where spills can be contained. A spill response kit is to be on site during all periods when machinery is being operated and all operators are to be trained in the use of the spill kit.



### Timing and Monitoring

- 24) Site clearing should not be completed during sensitive breeding season, generally from late February through August for most species.
- 25) Site clearing should be undertaken during dry weather and not during periods of prolonged rainfall.
- 26) Monitor, evaluate, and if necessary, employ further mitigation measures during all phases of the development and construction process.

## Conclusion

In conclusion and further to the assessment, there are no ecological concerns that appear to constrain an application for rezoning and development of the proposed Lot B (seen on Map 2) for affordable housing. The proposed configuration directly addresses recommendations #1 through #5 (see table below). Remaining recommendations provide guidance for minimizing the ecological impacts of the proposed development and are meant to inform the design of the detailed site plan and the construction process.

| Lot Siting Recommendation                                                                                                                                                                                    | Results of Proposed Lot B Configuration                                                                                                                                                                                    |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1) Minimize landscape fragmentation by locating development in areas adjacent to existing residential lots and use. Avoid locating development in the northwestern portion of the 'Affordable Housing Zone'. | Proposed Lot B is in the southeast corner of the Affordable Housing Zone adjacent to existing residential development.                                                                                                     |
| 2) Minimize encroachment into young, 65-year-old forest ecosystems found in Ecological Communities 02a and 02b.                                                                                              | <ul style="list-style-type: none"> <li>Ecological Community 2b accounts for 0.3 ha. or 15% of Proposed Lot B.</li> <li>Ecological Communities 02a/b account for 2.05 ha. or 27% of the Affordable Housing Zone.</li> </ul> |
| 3) Avoid Ecological Community 02c where remnant old-growth tree density is highest and mature forest structure is emerging.                                                                                  | Proposed Lot B does not include any portion of Ecological Community 02c.                                                                                                                                                   |
| 4) Minimize encroachment into the slightly more diverse immature forest ecosystems found in Ecological Community 03a and 03d.                                                                                | Proposed Lot B does not include any portion of Ecological Communities 03a or 03d.                                                                                                                                          |
| 5) Focus development within areas of least structural and species diversity - Ecological Community 01, where a dense, single-storied, Douglas-fir dominated stand is regenerating.                           | <ul style="list-style-type: none"> <li>Ecological Community 01 accounts for 1.67 ha. or 83.5% of Proposed Lot B.</li> <li>Ecological Community 01 accounts for 2.6 ha. or 35% of the Affordable Housing Zone.</li> </ul>   |

**SCHEDULE B**

**REPORT ON  
PROPOSED WATER SUPPLY FOR,  
AFFORDABLE RENTAL HOUSING PROJECT,  
GALIANO ISLAND**

**Georgia View Road  
Galiano Island, Cowichan District**

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December 2, 2019

## EXECUTIVE SUMMARY

This report assesses the potable water supply requirements for a proposed affordable housing project to be comprised of 12 residential units on a 7.5 hectare parcel along Georgia View Road on Galiano Island. The proposed water supply for the residences would be provided by an existing deep bedrock well designated WID 46824 that was drilled in September 2018.

Maximum daily water demand of the facility is estimated to be 5819 L/day, equivalent to a continuous pumping rate of 4.041 L/min (0.89 lpm or 1.07 USgpm).

Based on the results of the 72.0 hour pumping test, the long-term yield of the well was determined to be readily capable of meeting the daily demand while providing a significant drawdown safety factor (91.9%) that would accommodate any seasonal water level fluctuations or potential interference effects with existing neighbouring wells. At a pumping rate 1.07 USgpm, use of the well should not have any significant or detrimental quantity or quality effect on any of the other wells in the region.

Water quality of the proposed project well met or exceeded the *Guidelines for Canadian Drinking Water* (Federal-Provincial-Territorial Committee on Drinking Water, 2017) for all parameters analyzed except for total coliforms at 8 CFU /100mL. No E. Coli. were detected. Presence of elevated levels of total coliforms reported may be the result of naturally occurring coliforms such as decaying organic present in the bedrock formations at depth and not necessarily linked to any surface water sources or sources of contamination. The low level of total coliforms reported can be effectively eliminated with chlorination or ultraviolet irradiation treatment.

Presence of fluoride at 1.10 mg/L, just below the drinking water guideline of 1.5 mg/L, may warrant further monitoring as excessive levels of fluoride can be a health concern, and may cause dental or skeletal fluorosis. Presence of hydrogen sulphide at low concentrations can cause an aesthetically undesirable "rotten egg" odour but is not of a health concern. Aeration of the water prior to use would assist in reducing low levels of hydrogen sulphide.

## TABLE OF CONTENTS

|                                                         | Page |
|---------------------------------------------------------|------|
| <b>EXECUTIVE SUMMARY .....</b>                          | 2    |
| <b>INTRODUCTION .....</b>                               | 5    |
| Scope of Work .....                                     | 5    |
| Topography and Drainage .....                           | 6    |
| Climate .....                                           | 6    |
| Hydrogeologic Conditions .....                          | 6    |
| Regional Water Level Fluctuations .....                 | 9    |
| <b>EXISTING WELLS .....</b>                             | 9    |
| <b>ESTIMATED WATER SUPPLY DEMAND .....</b>              | 11   |
| <b>RECENT (2018) PUMP TESTING OF PROJECT WELL .....</b> | 13   |
| Results .....                                           | 14   |
| <b>CONCLUSIONS .....</b>                                | 18   |
| <b>RECOMMENDATIONS .....</b>                            | 20   |
| <b>CLOSURE .....</b>                                    | 20   |
| <b>REFERENCES .....</b>                                 | 21   |

## LIST OF FIGURES

|                                                                                                                                                     |   |
|-----------------------------------------------------------------------------------------------------------------------------------------------------|---|
| Figure 1. General location of proposed development area.                                                                                            | 7 |
| Figure 2. Normal monthly precipitation data for climate station ID. 1014931 on Mayne Island.                                                        | 8 |
| Figure 3. Outcrop of fractured Gabriola Formation sandstone southwest of property along Georgia View Road looking southwesterly, November 13, 2018. | 8 |
| Figure 4. Groundwater level trend from October 1 to November 19, 2018 compared to historic maximum and minimum data for Observation Well 258.       | 9 |

|            |                                                                                                                          |    |
|------------|--------------------------------------------------------------------------------------------------------------------------|----|
| Figure 5.  | Location of proposed well for development and neighbouring wells.                                                        | 11 |
| Figure 6.  | Water levels in the project well prior to December pumping test<br>Indicating a general falling trend in early December. | 15 |
| Figure 7.  | Semi-logarithmic drawdown plot for project well during 72.0<br>hour test.                                                | 15 |
| Figure 8.  | Water levels in nearby observation well during 72.0 hour pumping<br>test of project well.                                | 16 |
| Figure 9.  | Water level in project well after 72.0 hour pumping test.                                                                | 17 |
| Figure 10. | Conductivity readings of the discharge from the pumped well<br>During the 72.0 hour pumping test.                        | 17 |

#### **LIST OF TABLES**

|          |                                                                                                                                             |    |
|----------|---------------------------------------------------------------------------------------------------------------------------------------------|----|
| Table 1. | Summary of reported water wells in vicinity of proposed<br>Development.                                                                     | 10 |
| Table 2. | Estimated potable water supply demand.                                                                                                      | 12 |
| Table 3. | Monthly 2018 precipitation data for North Pender climate station<br>(Climate ID.1015638) compared to 1981-2010 normals for<br>Mayne Island. | 14 |
| Table 4. | Summary of water quality analyses.                                                                                                          | 19 |

#### **LIST OF APPENDICES**

|             |                                                                                                    |
|-------------|----------------------------------------------------------------------------------------------------|
| Appendix A: | Proof of Water for Subdivision in the Southern Gulf Islands<br>Using Occupancy Daily Demand Volume |
| Appendix B: | Well Record for Well WID 46824                                                                     |
| Appendix C: | Summary of 72.0 hour Pumping Test on Well WID 46824                                                |
| Appendix D: | Laboratory Water Quality Analyses                                                                  |

## **REPORT ON PROPOSED WATER SUPPLY FOR, AFFORDABLE RENTAL HOUSING PROJECT, GEORGIA VIEW ROAD GALIANO ISLAND**

### **INTRODUCTION**

In early November 2018, Hy-Geo Consulting was retained by R. Dewinetz to provide hydrogeological engineering services for a proposed affordable housing project to be comprised of 12 residential units on a 7.5 hectare parcel along Georgia View Road on Galiano Island. The proposed water supply for the residences would be provided by an existing deep bedrock well designated WID 46824 that was drilled in September 2018.

The proposed development is located south of the northwest undeveloped extension of Georgia View Road along the northeast coast of Galiano Island (Figure 1). The water supply for the development will need to meet the requirements of *Official Community Plan* Policy 2e, under Section III Services, Water Supply (Galiano Island Local Trust Committee, 2011). This policy states that,

“Any rezoning application involving an increase in density or intensity of use should be required to provide an assessment of the availability of sustainable, long-term groundwater. Any additional density or intensity of use that would negatively affect the quality or quantity of groundwater should not be permitted in critical groundwater areas.”

This report assesses the overall water supply requirements for the proposed development and provides an opinion on the feasibility of meeting the water demands using the existing well on the property. An assessment is also provided on the potential effects of the proposed groundwater use on neighbouring wells and overall groundwater quality and quantity in the region.

### **Scope of Work**

Scope of the work carried out by Hy-Geo-Consulting included:

- (a) reviewing existing hydrogeologic data and reports for the project area including topography, geology, climatic and well record information;
- (b) reviewing in detail the proposed standards and procedures for well capacity testing to be carried out by Red Williams Well Drilling Ltd.;
- (c) conducting site visits to examine local geologic, topographic, drainage, existing well conditions on and in the vicinity of the property, monitoring progress of pump testing carried out by Red Williams Well Drilling Ltd., and collecting water quality samples for laboratory analyses;

- (d) assessing the potential effects of the proposed groundwater use on neighbouring wells and overall groundwater quality and quantity in the region; and
- (e) preparing a final report suitable for submission to the Galiano Island Local Trust Committee and VIHA for meeting their respective requirements.

## **Topography and Drainage**

The subject property area (Figure 1) is situated between elevations 40 to 60 metres above sea level, along a relatively uniform northeast facing slope that rises to elevations of over 180 metres to the south. Overland surface drainage is conveyed by drainage ditches along Georgia View Road towards the southwest and culverts towards the northeast. There are no significant surface streams on the property.

## **Climate**

The climate of Galiano Island is characterized by cool dry summers and humid mild winters. Based on records from 1951 to 1980 (Environment Canada, 198\_) the normal annual precipitation for a climate station on Galiano Island was 33.7 inches (856 mm). More recent precipitation data for the period 1981-2010, reported by Government of Canada (2018a) for a climate station on nearby Mayne Island showed a normal annual precipitation of 842 mm. With the absence of a current climate station on Galiano Island, the Mayne Island climate station may be considered representative of the general longer-term (monthly) precipitation patterns on Galiano (Figure 2). Over 90% of this total annual amount fell as rain with over 60% of the total falling during the period from November to February. Precipitation normally follows a seasonal cycle, with highest rainfall during the fall, winter and early spring months while the summer months are subject to drought conditions. Global climate models (Allen *et al.*, 2008) suggest precipitation may increase slightly in the future, particularly during the winter months. The most recent (2018) precipitation data for the region is available for climate station 1015638 on North Pender Island (Government of Canada, 2018b).

## **Hydrogeologic Conditions**

The general groundwater conditions of Galiano Island have been reported by Harrison (1994), Kohut and Johanson (1998) and Waterline Resources Inc. (2011). Galiano is comprised of sedimentary clastic rocks belonging to the Nanaimo Group of Late Cretaceous age (Muller and Jeletzky, 1970). The development property and surrounding region is principally underlain by the Gabriola Formation that is dominantly sandstone with some shale (mudstone) interbeds. An exposure of the Gabriola Formation near the property is shown in Figure 3.

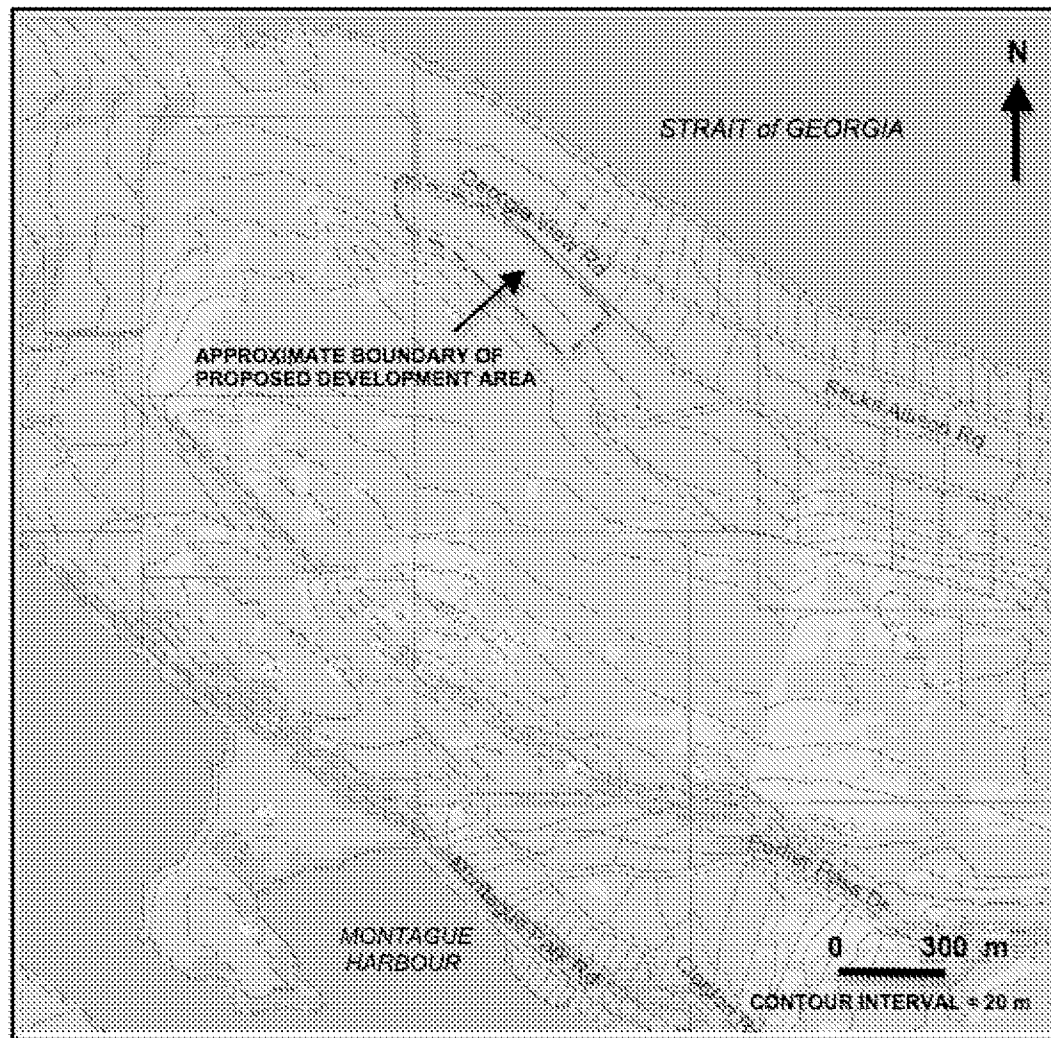


Figure 1. General location of proposed development area. Base map from Islands Trust (2018).

Groundwater on the island is found primarily in open fractures in the bedrock formations. These fractures constitute the major zones for groundwater storage and movement. The development property lies entirely within the Cook Cove groundwater region as outlined by Kohut and Johanson (1998). In 1998, Kohut and Johanson estimated the demand to groundwater in storage ratio in this region to be relatively low at 0.04. Existing well density at that time was also determined to be very low to low at 0.017 wells/acre. Since 1998, well drilling in the region appears to have added 7 new wells in the groundwater region based on available well records at the Ministry of Environment's WELLS database (Ministry of Environment, 2018a). Field checking in the vicinity of the proposed development area also identified an additional 7 wells not currently in the database. This would have increased the well density to approximately 0.03 wells/acre; still within the very low to low range for this region.



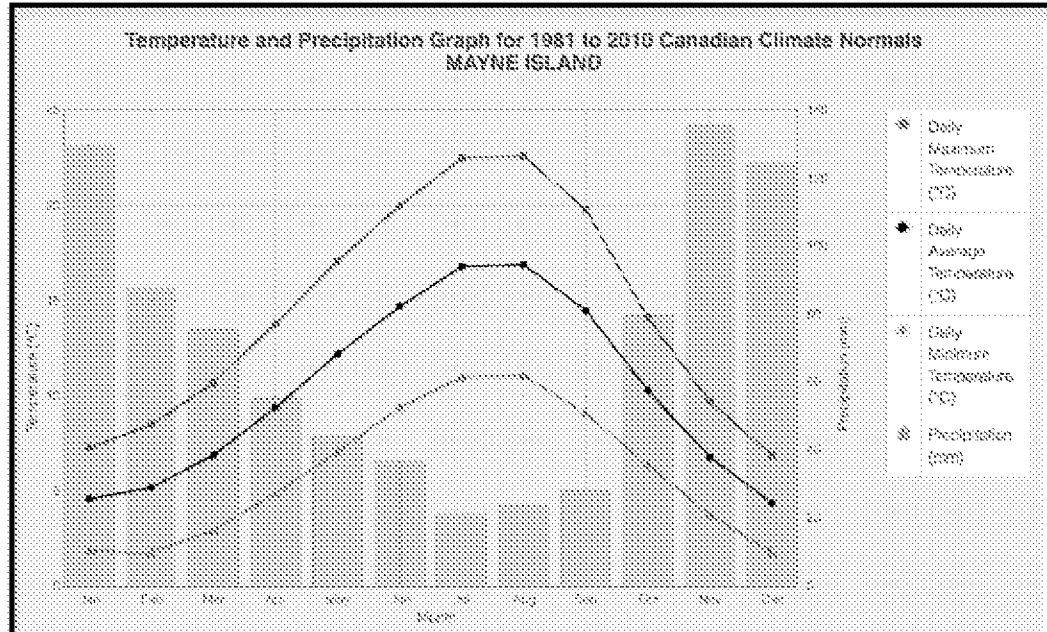


Figure 2. Normal monthly precipitation data for climate station ID. 1014931 on Mayne Island. Graph from Government of Canada (2018a).



Figure 3. Outcrop of fractured Gabriola Formation sandstone southwest of property along Georgia View Road looking southwesterly, November 13, 2018.

## Regional Water Level Fluctuations

From historic observation well data in the Gulf Islands, groundwater levels in bedrock wells generally rise and fall with the seasons, in response to available precipitation, becoming highest during the late fall and winter months. Water levels then normally decline during the dry summer months reaching seasonal lows in the late fall months (Kohut *et al.*, 1984). Figure 4 shows the groundwater level trend for Provincial Observation Well 258, situated near Sturdies Bay from October 1 up to November 19, 2018. During most of October 2018 the water level was close to historic minimums before rising rapidly with subsequent rainfall events in November to near historic maximum levels. The significance of this trend is discussed further in the section on pump testing of the project well.

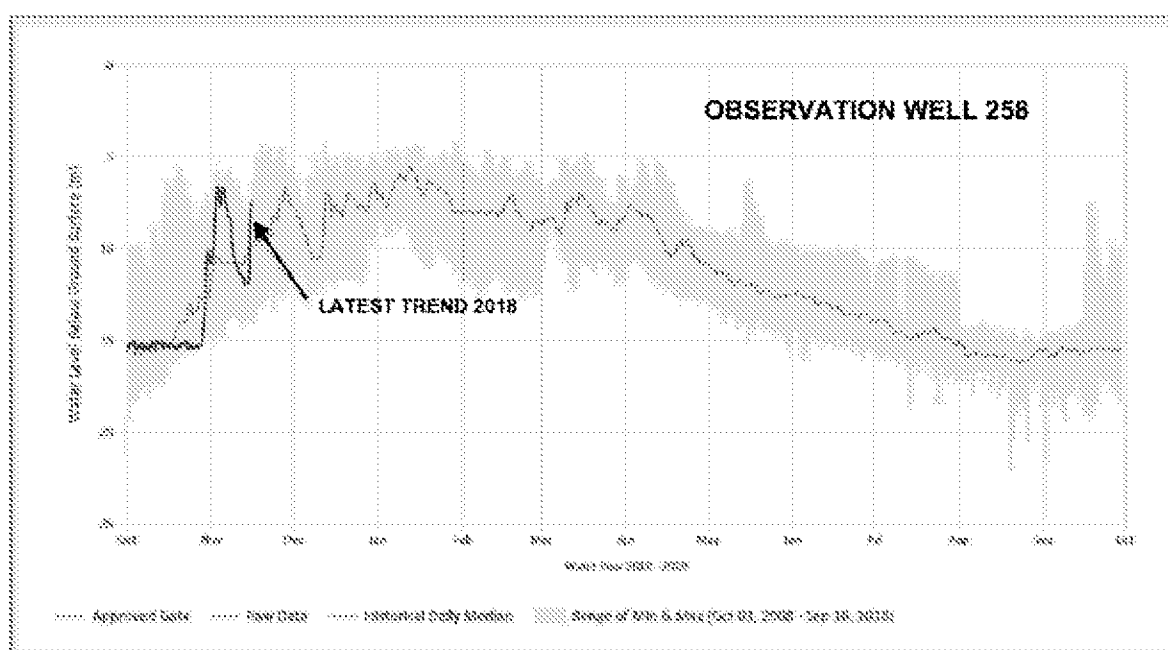


Figure 4. Groundwater level trend from October 1 to November 19, 2018 compared to historic maximum and minimum data for Observation Well 258. Adapted from Ministry of Environment (2018b).

## EXISTING WELLS

Figure 5 shows the location of all known and reported water wells within the vicinity of the development property. Table 1 provides a brief description of the most closest wells including the existing well on the property WID 46824. Wells currently within the Ministry of Environment's WELLS database (2018a and 2018c) are identified with a Ministry well tag number (WTN) that is a unique computer generated identification number. In recent years, the Ministry has also provided well identification plate (WID) plate numbers to well drillers for attaching to the casing of new wells for identification in the field. Figure 5 also includes well locations identified in the field not currently registered in the WELLS database.

Table 1. Summary of reported water wells in vicinity of proposed development.

| Well Tag No. (WTRN) | Well Identification No. (WID) | Depth Drilled (feet) | Depth Well Drilled (m) | Diameter (in) | Diameter (mm) | Driller's Estimated Yield Value | Yield Unit Description | Water Depth (feet) | Water Depth (m) | Depth to Bedrock (feet) | Depth to Bedrock (m) | Construction Start Date | General Remarks                                                                       | Legal District Lot | Legal Plan | Lot No.       | Address                  | Original Owner                                        | Well Use         |
|---------------------|-------------------------------|----------------------|------------------------|---------------|---------------|---------------------------------|------------------------|--------------------|-----------------|-------------------------|----------------------|-------------------------|---------------------------------------------------------------------------------------|--------------------|------------|---------------|--------------------------|-------------------------------------------------------|------------------|
|                     | 46824                         | 220                  | 67.06                  | 6             | 15.24         | 5                               | USGPM                  | 38                 | 11.58           | 6                       | 1.83                 | 12-Sep-18               | fracture in shale 207-208 feet, 5 Usgpm                                               | 31                 | 76986      | Part of Lot 1 | Georgia View Road        | Gulf Island Galiano Affordable Rental Housing Society | Water Supply     |
| 60598               |                               | 300                  | 91.44                  | 6             | 15.24         | 4                               | USGPM                  | 6.7                | 2.04            | 2                       | 0.61                 | 15-Jul-94               | fracture at 290 with approx. 4 gpm                                                    | 31                 |            | 2             |                          | Galiano Properties 411323 BC Ltd.                     | Private Domestic |
| 60588               |                               | 200                  | 60.96                  | 6             | 15.24         | 18                              | USGPM                  | 15.9               | 4.85            | 1                       | 0.30                 | 15-Jul-94               | fracture at 185 with approx. 18 gpm                                                   | 30/31              |            | 5             | 14524 Sticks Allison Rd. | Galiano Properties 411323 BC Ltd.                     | Private Domestic |
| 60587               |                               | 240                  | 73.15                  | 6             | 15.24         | 4                               | USGPM                  | flows              |                 | 4                       | 1.22                 | 15-Jul-94               | fracture at 230 with approx. 4 gpm                                                    | 30/31              |            | 8             | 1656 Sticks Allison Rd.  | Galiano Properties 411323 BC Ltd.                     | Private Domestic |
| 60596               |                               | 480                  | 146.30                 | 6             | 15.24         | 30                              | USGPM                  | 6.6                | 2.01            | 1                       | 0.30                 | 15-Jul-94               | fracture at 470 with approx. 30 gpm                                                   | 30/31              |            | 12            |                          | Galiano Properties 411323 BC Ltd.                     | Private Domestic |
| 59021               |                               | 420                  | 128.02                 | 6             | 15.24         | 0.75                            | USGPM                  | flows              |                 | 1                       | 0.30                 | 22-Jul-89               | fracture at 408 with approx. 0.75 gpm                                                 | 29                 | 36330      | 1             | 1134 Sticks Allison Rd.  | F. Moffat                                             | Private Domestic |
| 48252               |                               | 440                  | 134.11                 | 6.25          | 15.88         | 2.5                             | USGPM                  |                    |                 | 6                       | 1.83                 |                         | water at 422 feet, 2.5 gpm                                                            | 29                 | 30670      | 18            | 1155 Sticks Allison Rd.  | J.E. Anderson & Assoc.                                | Private Domestic |
| 48292               |                               | 200                  | 60.96                  | 6             | 15.24         | 3                               | USGPM                  |                    |                 | 7                       | 2.13                 | 17-Jun-81               |                                                                                       | 29                 | 30670      | 4             | 986 Sticks Allison Rd.   | Galiano Properties 411323 BC Ltd.                     | Private Domestic |
| 62680               | same location as 91057        | 200                  | 60.96                  | 6             | 15.24         | 0.4                             | USGPM                  | flows              |                 | 3                       | 0.91                 |                         |                                                                                       | 31                 |            | 1             |                          | Galiano Properties 411323 BC Ltd.                     | Private Domestic |
| 62679               |                               | 200                  | 60.96                  | 6             | 15.24         | 1.0+                            | USGPM                  | 10                 | 3.05            | 3                       | 0.91                 | 02-Jul-95               | 20-125 sandstone with shale seams with approx. 0.5 gpm, 125-170 water increasing to 1 |                    |            | 13            |                          | Galiano Properties 411323 BC Ltd.                     | Private Domestic |
| 60597               |                               | 200                  | 60.96                  | 6             | 15.24         | 5                               | USGPM                  | 21.2               | 6.46            | 2                       | 0.61                 | 15-Jul-94               | fracture at 190 feet with approx. 5 gpm                                               | 30                 |            | 10            | 1784 Sticks Allison Rd.  | Galiano Properties 411323 BC Ltd.                     | Private Domestic |
| 74610               |                               | 262                  | 79.86                  | 6             | 15.24         | 20                              | USGPM                  | flows              |                 | 2                       | 0.61                 | 14-Apr-93               | water source 240-282 feet, 20+ gpm                                                    | 29                 | 36330      | 19            | 1236 Georgia View Road   | D. Olsen                                              | Private Domestic |
| 63032               |                               | 300                  | 91.44                  | 6             | 15.24         | 2                               | GPM                    | flows              |                 | 3                       | 0.91                 | 18-Jun-91               | source of water 2 gpm at 280 feet                                                     | 29                 | 36330      | 3             | 1058 Sticks Allison Rd.  | G. Newstead                                           | Private Domestic |
|                     |                               | 140                  | 42.67                  | 6             | 15.24         | 4                               | GPM                    |                    |                 | 0                       | 0.00                 | 08-Apr-04               | sandstone with fracture at 80 feet, yield increasing to 4 gpm                         |                    |            | 12            | 1417 Sticks Allison Rd.  | Galiano Properties 411323 BC Ltd.                     | Private Domestic |
|                     |                               | 200                  | 60.96                  | 6             | 15.24         | 4                               | IGPM                   |                    |                 |                         |                      |                         | sandstone with fracture at 175 feet yielding approx. 4 lgpm                           |                    |            | 17            | 1487 Sticks Allison Rd.  | Galiano Properties 411323 BC Ltd.                     | Private Domestic |
| 91057               |                               | 200                  | 60.96                  |               |               | 1.5                             | USGPM                  |                    |                 |                         |                      | 07-Mar-95               | fracture at 140 feet, 1 gpm, 140-200 water increasing 1.5                             | 30                 |            | 1             |                          | Galiano Properties 411323 BC Ltd.                     | Private Domestic |

Data from BC Water Resources Atlas and Groundwater Well Search (Ministry of Environment, 2018b and 2018c), Red Williams Well Drilling Ltd., and field inventory 2018.

Note that data has not been field verified in all instances.

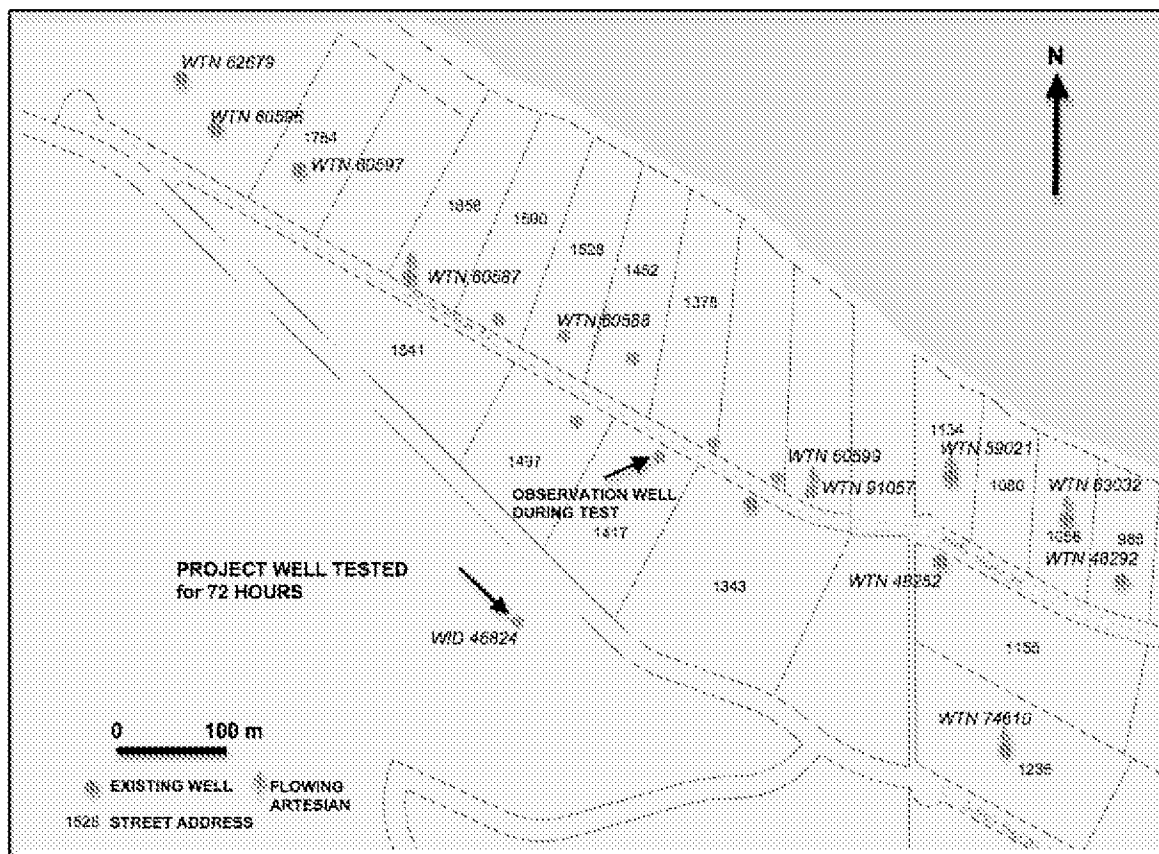


Figure 5. Location of proposed well for development and neighbouring wells. Basemap modified from Ministry of Environment (2018c).

## ESTIMATED WATER SUPPLY DEMAND

The proposed development is to be comprised of:

- 12 residential units in two six-plexes, with each six-plex having
  - 2, one bedroom units with one bathroom,
  - 2, two bedroom units with one bathroom, and
  - 2, three bedroom units with one bathroom plus one half bath.

Indoor water use for conventional water systems, based on the *Design Guidelines for Rural Residential Community Systems* (Ministry of Forests, Lands & Natural Resource Operations, 2012) suggests that a minimum of 230 L/capita/day or 50.6 Imperial gallons/capita/day be considered for a water system design. Government of Canada (2018c) reports a similar water use figure of 251 L/day per capita for metered urban household water systems monitored across Canada in 2011.

Maximum day demand (MDD) or the single highest total 24 hour daily water consumption occurring over a one year period would normally include indoor usage, water loss allowance and irrigation demand components. For the proposed development it is intended that the residential demand would be supplied by the project well WID 46824. The water loss allowance for system leaks for a new water

system would be minimal. It is also proposed that irrigation/community garden watering demands for the proposed development would be met by a rainwater catchment system to be developed.

It is anticipated that residents of the proposed development will practice water conservation measures and water-saving appliances will be incorporated in all of the units including dual-flush toilets, low flow fixtures, water efficient appliances and faucet aerators to reduce water consumption. Overall, water maximum day demand (MDD) per unit, therefore, could be effectively reduced to about 40 Imperial gallons/capita/day (181.84 L/capita/day). Table 2 summarizes the overall water supply demand for the units based on the maximum day demand (MDD) of 40 Imperial gallons/capita/day. The rationale for estimating the maximum day demand (MDD) for the proposed affordable housing facility is outlined in Appendix A.

Total daily water demand of the facility is estimated to be 5819 L/day, equivalent to a continuous pumping rate of 4.041 L/min (0.89 Imp gals/minute or 1.07 US gals/minute). In terms of 12 residential units for the planned affordable housing development, the average water use is estimated at 484.9 L/day/connection. This figure, is more than twice the average range of 45 to 56 USgals/day/connection (170.3 to 212.0 L/day/connection) recorded from 6 metered water systems on Mayne Island over a three year period from 2012 to 2015. For comparative purposes the estimated average water use figure of 484.9 L/day/connection for the proposed development is close to and within the annual water use figures reported for the metered Sticks Allison Water System on Galiano Island. The latter however, has a large service area and water use also includes water system leaks, water system maintenance and operational use (e.g. water main flushing, filter system backwashing), potential unauthorized use and fire-fighting use.

Table 2. Estimated potable water supply demand.

| Unit   | Description      | Estimated Full Time Occupancy # persons | Maximum Daily Demand (MDD) L/unit/day <sup>1</sup> | Maximum Daily Demand (MDD) IMPgals/unit/day <sup>2</sup> | Maximum Annual Demand IMPgals/unit/year |
|--------|------------------|-----------------------------------------|----------------------------------------------------|----------------------------------------------------------|-----------------------------------------|
| 1      | Single Residence | 1                                       | 181.84                                             | 40                                                       | 14600                                   |
| 2      | Single Residence | 1                                       | 181.84                                             | 40                                                       | 14600                                   |
| 3      | Single Residence | 1                                       | 181.84                                             | 40                                                       | 14600                                   |
| 4      | Single Residence | 1                                       | 181.84                                             | 40                                                       | 14600                                   |
| 5      | Family Residence | 3                                       | 545.52                                             | 120                                                      | 43800                                   |
| 6      | Family Residence | 3                                       | 545.52                                             | 120                                                      | 43800                                   |
| 7      | Family Residence | 3                                       | 545.52                                             | 120                                                      | 43800                                   |
| 8      | Family Residence | 3                                       | 545.52                                             | 120                                                      | 43800                                   |
| 9      | Family Residence | 4                                       | 727.36                                             | 160                                                      | 58400                                   |
| 10     | Family Residence | 4                                       | 727.36                                             | 160                                                      | 58400                                   |
| 11     | Family Residence | 4                                       | 727.36                                             | 160                                                      | 58400                                   |
| 12     | Family Residence | 4                                       | 727.36                                             | 160                                                      | 58400                                   |
| Totals | All Units        | 32                                      | 5818.88 L/day                                      | 1280 IMPgals/day                                         | 467200 IMP gals/year                    |

<sup>1</sup> Based on 181.84 L/capita/day

<sup>2</sup> Based on 40 Imp gals/capita/day

## RECENT (2018) PUMP TESTING OF PROJECT WELL WID 46824

The existing well on the property (WID 46824) is a 6 inch (15 mm) diameter bedrock well drilled in September 2018 to a depth of 220 feet (67.06 m) by Red Williams Well Drilling Ltd. The well driller's record indicates shale from 6 to 220 feet (1.83 to 67.06 m) with a water-bearing fracture at 207 to 209 feet (63.09 to 63.70 m), yielding 5 USgpm (18.9 L/min). Non-pumping water level recorded after drilling was 38 feet (11.58 m) below the top of casing with a stickup of 2 feet (0.61 m). A copy of the driller's well record is provided in Appendix B.

Mapping by Kohut and Johanson (1998) indicates that the project well is situated within a regional groundwater discharge area where groundwater levels are close to ground surface much of the year. A number of the wells down slope of the development area were flowing artesian when they were drilled (Figure 5).

A minimum 72 hour pumping test is the recommended standard for assessing bedrock wells for community water systems due to uncertainties associated with bedrock aquifers (Ministry of Environment, 2010). Prior to conducting the test on the project well, a Diver™ water level datalogger was set in the well to record water levels for a period of 20 days.

The project well (WID 46824) was subsequently pump tested by Red Williams Well Drilling Ltd., for 72.0 hours from December 9 to December 12, 2018. Pumped water was discharged approximately 150 feet (45.72 m) down slope away from the wellhead towards the northeast. Manual water level readings were taken in the project well during the test at prescribed intervals (Ministry of Environment, 2010) and a transducer set in the well also recorded water levels at one minute intervals. Water levels in the closest neighbouring well, 200 m distance, at 1417 Sticks Allison Road (Figure 5) were also monitored during and after the pumping test, both manually and with a Diver™ water level datalogger. Pumping of the project well was followed by manually measuring the recovery water level at prescribed intervals for 75 minutes and for a further 18.8 hours with the installed transducer. After removal of the transducer, a Diver™ water level datalogger was then set in the project well to record water levels for about 5 days following the pumping test.

Water samples were taken from the project well near the end of the test and delivered within 20 hours of sampling with ice packs to the Maxxam laboratory in Saanich for analysis of chemical and bacteriological parameters. One of the samples was also field filtered by A. Kohut for determination of dissolved metals. All samples were unadulterated and taken from the project well and delivered to the laboratory by A. Kohut.

Precipitation in 2018 as observed at climate station 1015638 on North Pender Island during the months prior to the pumping test was slightly below normal as shown in Table 3. During the ten day period prior to the test, 5.2 mm of rain was recorded at the North Pender Island climate station and during the days of the test 45.4 mm of rain was recorded. As previously discussed, regional groundwater levels as recorded in Observation Well 258 were near historic maximum levels. While pump testing carried out during the driest period of the year (late summer early fall) would have been

preferred, provision of a large drawdown safety factor, much greater than 30% of the available drawdown, was given consideration for estimating the long term well yield.

Table 3. Monthly 2018 precipitation data for North Pender climate station (Climate ID.1015638) compared to 1981-2010 normals for Mayne Island.

| Month     | Precipitation in 2018 (mm) | Monthly Precipitation Normal (mm) | Percent of Normal | Cumulative Percent of Normal |
|-----------|----------------------------|-----------------------------------|-------------------|------------------------------|
| January   | 186.4                      | 129.9                             | 143.5             | 143.5                        |
| February  | 60.3*                      | 87.7                              | 68.8              | 113.4                        |
| March     | 39.4*                      | 75.4                              | 52.3              | 97.6                         |
| April     | 88.8                       | 55.3                              | 160.6             | 107.6                        |
| May       | 1.8*                       | 44                                | 4.1               | 96.0                         |
| June      | 12.0*                      | 36.9                              | 32.5              | 90.6                         |
| July      | 3.4                        | 21.2                              | 16.0              | 87.1                         |
| August    | 2                          | 23.8                              | 8.4               | 83.1                         |
| September | 71.8                       | 28                                | 256.4             | 92.8                         |
| October   | 76.8                       | 79.9                              | 96.1              | 93.2                         |
| November  | 131.8                      | 135.4                             | 97.3              | 94.0                         |
| December  | 126.4*                     | 124.5                             | 101.5             | 95.1                         |

\* Incomplete data.

Data from Government of Canada (2018b).

## Results

Well test data, drawdown and recovery plots for the project well are provided in Appendix C. Appendix D contains a copy of the analytical laboratory report from Maxxam Analytics.

Figure 6 illustrates the water level fluctuations in the project well prior to pump testing. Daily tidal effects are evident in the graph and a significant rainfall recharge event was recorded November 26 and 27 when 54.6 mm of rain was recorded at the Pender Island climate station from November 25 to November 28. After November 27 water levels show a declining trend. No significant Interference effects from neighbouring wells were observed in the project well.

The pumping test was started at 3:00 pm on December 9 and ended at 3:00 pm on December 12. Figure 7 shows the drawdown in the project well during pumping. Flow was measured manually using approximate 4 and 5 US gallon buckets and with a flow meter. The initial pumping rate was held at an average rate of 1.94 USgpm for the first day of the test as stabilized conditions were achieved then subsequently increased to an average rate of 3.14 USgpm for the second day and finally to an average of 5.15 USgpm for the last day of the test.

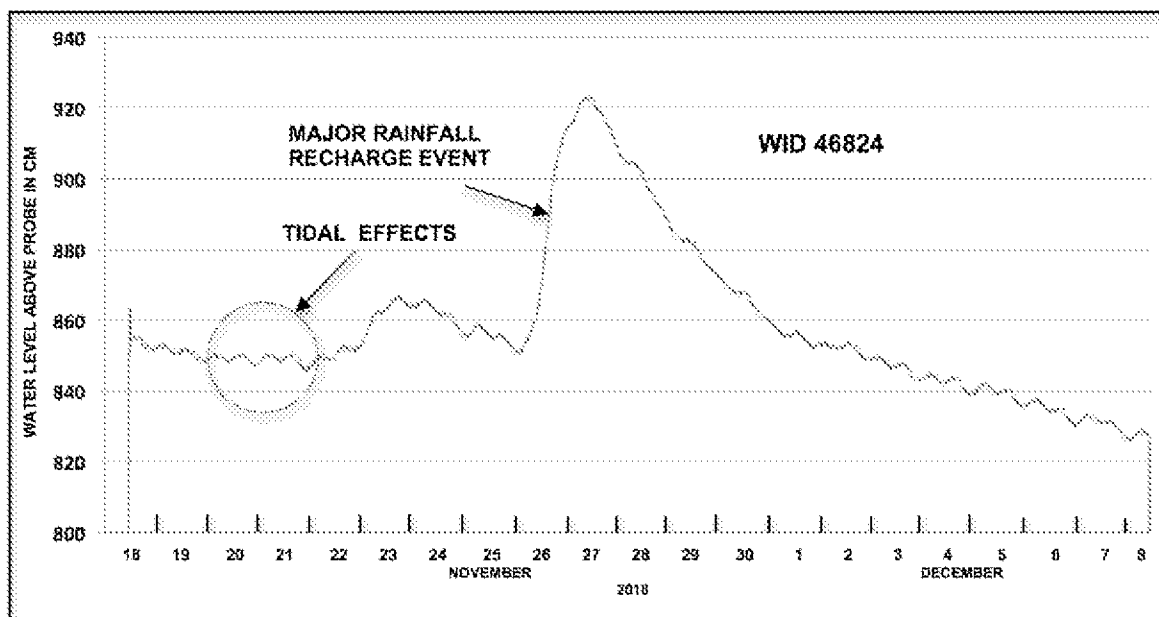


Figure 6. Water levels in the project well prior to December pumping test. Indicating a general falling trend in early December. Daily tidal effects are evident in the graph.

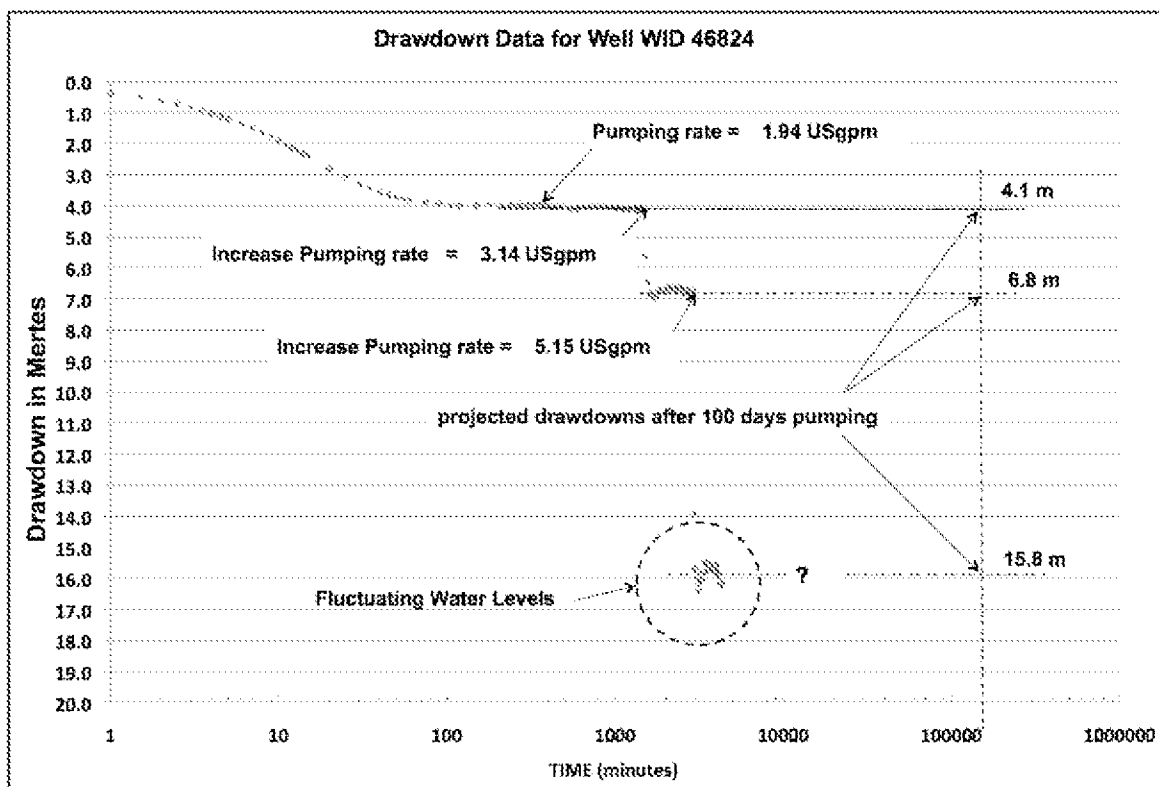


Figure 7. Semi-logarithmic drawdown plot for project well during 72.0 hour test.

The water level initially stabilized after the first day of testing. After 2880 minutes pumping the water level again stabilized at the increased rate. During the last day of the test the water level fluctuated over a range of about 0.9 m.



Average drawdown in the project well at the end of the test was 15.83 m indicating a specific capacity of 0.215 USgpm per metre of drawdown based on an overall average pumping rate of 3.41USgpm. Approximately 26% of the available drawdown (61.405 m) to the major water bearing fracture at a depth of 63.090 m (207 feet) in the well was utilized at the end of the test. Water level recovery was 95 percent complete 1130 minutes after pump shutdown (Figure C2, Appendix C).

No discernible well interference (water level lowering) was recorded in the nearby observation well at 1417 Sticks Allison Road during the pumping test (Figure 8). After the pumping test, water levels in the observation well began to rise, likely in response to heavy rainfall events that occurred on December 11 and 12.

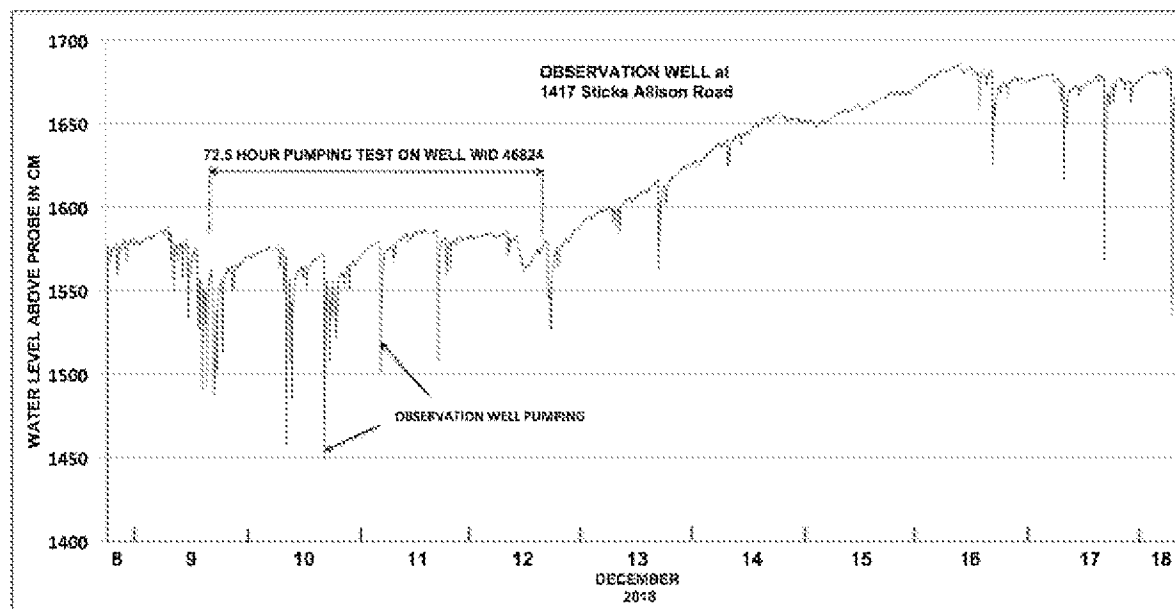


Figure 8. Water levels in nearby observation well during 72.0 hour pumping test of project well.

Water levels recorded in the pumped well after pumping (Figure 9) indicated water levels recovered a further 0.5 m on December 13.

Utilizing the stabilized specific capacity of 0.215 USgpm per metre of drawdown, measured at the end of the pumping test, and the water demand requirements of 1.07 USgpm indicates that 4.977 metres of drawdown, or only 8.1% of the available drawdown of 61.405 m would be utilized under long-term pumping conditions. This would provide a relatively large safety factor of 91.9% of the available drawdown in the well to accommodate, seasonal water level fluctuations and any potential nearby well interference effects.

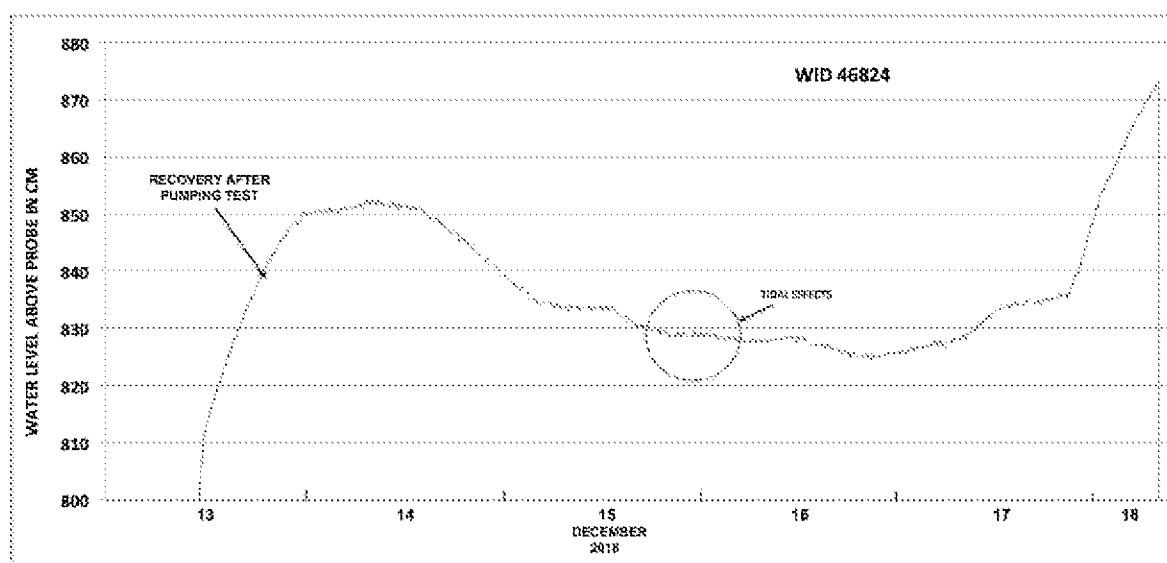


Figure 9. Water level in project well after 72.0 hour pumping test.

Conductivity readings taken of the discharge from the pumped well during the test (Figure 10) indicate a decreasing trend during the test from around 260  $\mu\text{S}/\text{cm}$  near the start of the test to just above 220  $\mu\text{S}/\text{cm}$  at the end of the test. Given the proximity of the project well to the coast, no evidence of sea water intrusion or upconing of salt water was detected.

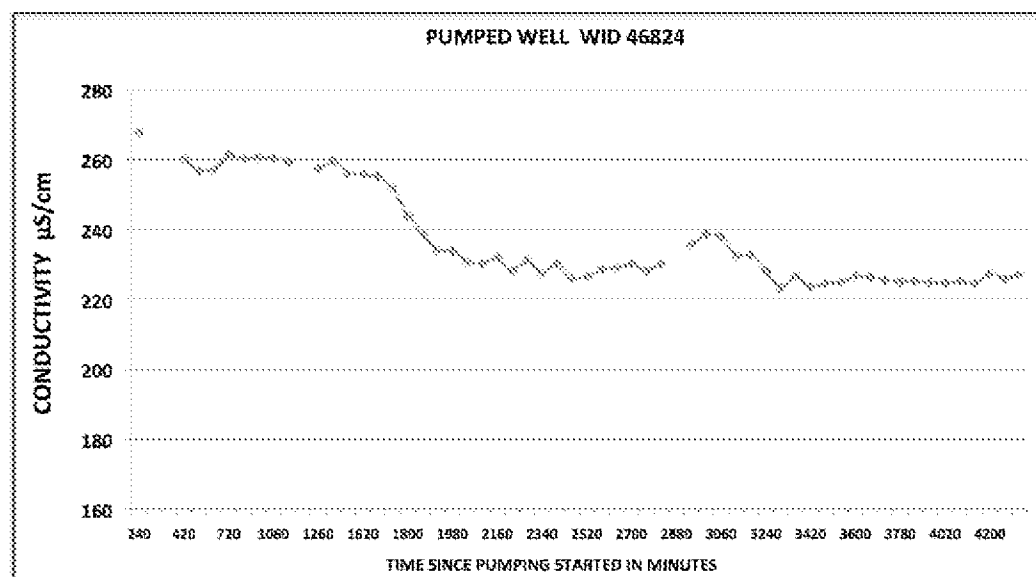


Figure 10. Conductivity readings of the discharge from the pumped well during the 72.0 hour pumping test.

Results of the recent water quality analyses for the project well are shown in Table 4. Based on the laboratory results of the December 12, 2018 sampling, the water quality of the project well met or exceeded the *Guidelines for Canadian Drinking Water* (Federal-Provincial-Territorial Committee on Drinking Water, 2017) for all parameters

analyzed except for total coliforms at 8 CFU /100mL. No E. Coli. were detected. Presence of elevated levels of total coliforms reported may be the result of naturally occurring coliforms such as decaying organic present in the bedrock formations at depth and not necessarily linked to any surface water sources or sources of contamination.

Fluoride was reported at 1.10 mg/L, just below the drinking water guideline of 1.5 mg/L. Elevated levels of fluoride may warrant further monitoring as they are of a health concern and may causing dental or skeletal fluorosis. A slight hydrogen sulphide odour from the well discharge was observed in the field during pump testing. Low levels of total organic carbon (1.3 mg/L) and sulphide (0.039 mg/L) as hydrogen sulphide were reported in the analysis. Hydrogen sulphide at low concentrations can cause an aesthetically undesirable "rotten egg" odour but is not of a health concern. Aeration of the water prior to use would assist in reducing the levels of hydrogen sulphide.

## CONCLUSIONS

1. The potable water source for the development will be a 6 inch (15 mm) diameter bedrock well designated WID 46824 that was drilled in September 2018 to a depth of 220 feet (67.06 m) by Red Williams Well Drilling Ltd.
2. Based on the results of a 72.0 hour pumping test conducted in December 2018, the long-term yield of the project well (WID 46824) has been conservatively estimated at 1.07 USgpm thereby meeting the anticipated water demands of the proposed development while employing a large drawdown safety factor in the well of 91.9%. Provision of a relatively large safety factor will adequately accommodate any seasonal water level fluctuations and nearby well interference effects from neighbouring wells. Utilization of the well at a pumping rate of 1.07 USgpm will have minimal effects on neighbouring wells.
3. Laboratory analysis of samples taken at the end of the pumping test indicate that the water quality of the project well met or exceeded the *Guidelines for Canadian Drinking Water* (Federal-Provincial-Territorial Committee on Drinking Water, 2017) for all parameters analyzed except for total coliforms at 8 CFU /100mL. No E. Coli. were detected. The level of total coliforms reported can be effectively eliminated with chlorination or ultraviolet irradiation treatment. Presence of fluoride at 1.10 mg/L, just below the drinking water guideline of 1.5 mg/L may warrant further monitoring. Aeration of the water prior to use would assist in reducing low levels of hydrogen sulphide.

Table 4. Summary of water quality analyses.

| Parameter/Site and Sampling Date         | WELL WID 46824<br>Dec. 12/18 | WELL WID 46824<br>Oct. 12/18 | Canadian DWQ Guideline 2017 | Units     |
|------------------------------------------|------------------------------|------------------------------|-----------------------------|-----------|
| <b>PHYSICAL TESTS</b>                    |                              |                              |                             |           |
| True Colour                              | 9.3                          |                              | < or = 15                   | TCU       |
| Conductivity                             | 223                          |                              |                             | µS/cm     |
| Total Hardness (CaCO <sub>3</sub> )      | 19.8                         |                              |                             | mg/L      |
| pH                                       | 7.66                         |                              | 7.0-10.5                    | pH units  |
| Total Dissolved solids (TDS)             | 148                          |                              | < or = 500                  | mg/L      |
| Turbidity                                | 0.66                         |                              | < 1.0                       | NTU       |
| <b>DISSOLVED ANIONS</b>                  |                              |                              |                             |           |
| Alkalinity (Total as CaCO <sub>3</sub> ) | 95.7                         |                              |                             | mg/L      |
| Alkalinity (PP as CaCO <sub>3</sub> )    | < 1.0                        |                              |                             | mg/L      |
| Bicarbonate                              | 117                          |                              |                             | mg/L      |
| Carbonate                                | < 1.0                        |                              |                             | mg/L      |
| Hydroxide                                | < 1.0                        |                              |                             | mg/L      |
| Dissolved Chloride                       | 10                           |                              | < or = 250                  | mg/L      |
| Fluoride                                 | 1.10                         |                              | 1.5                         | mg/L      |
| Nitrate (N)                              | 0.104                        |                              | 10                          | mg/L      |
| Nitrite (N)                              | < 0.0050                     |                              | 1                           | mg/L      |
| Total Organic Nitrogen (N)               | 0.009                        |                              |                             | mg/L      |
| Total Ammonia (N)                        | < 0.050                      |                              |                             | mg/L      |
| Nitrate plus Nitrite (N)                 | 0.104                        |                              |                             | mg/L      |
| Total Nitrogen (N)                       | 0.173                        |                              |                             | mg/L      |
| Total Organic Carbon (C)                 | 1.3                          |                              |                             | mg/L      |
| Total Phosphorus (P)                     |                              |                              |                             | mg/L      |
| Dissolved Sulphate                       | 3.8                          |                              | < or = 500                  | mg/L      |
| <b>TOTAL METALS</b>                      |                              | <b>DISSOLVED METALS</b>      |                             |           |
| Aluminum                                 | 84.6                         | 59.8                         |                             | µg/L      |
| Antimony                                 | < 0.50                       | < 0.50                       | 5                           | µg/L      |
| Arsenic                                  | < 0.10                       | < 0.10                       | 10                          | µg/L      |
| Barium                                   | < 1.0                        | < 1.0                        | 1000                        | µg/L      |
| Beryllium                                | < 0.10                       | < 0.10                       |                             | µg/L      |
| Bismuth                                  | < 1.0                        | < 1.0                        |                             | µg/L      |
| Boron                                    | 521                          | 514                          | 5000                        | µg/L      |
| Cadmium                                  | < 0.010                      | < 0.010                      | 5                           | µg/L      |
| Chromium                                 | < 1.0                        | < 1.0                        | 50                          | µg/L      |
| Cobalt                                   | < 0.20                       | < 0.20                       |                             | µg/L      |
| Copper                                   | 3.34                         | 1.96                         | < or = 1000                 | µg/L      |
| Iron                                     | 47.9                         | 24.6                         | < or = 300                  | µg/L      |
| Lead                                     | 0.20                         | < 0.20                       | 10                          | µg/L      |
| Manganese                                | 20.8                         | 20.1                         | < or = 50                   | µg/L      |
| Mercury                                  | < 0.0020                     |                              | 1                           | µg/L      |
| Molybdenum                               | 3.9                          | 3.7                          |                             | µg/L      |
| Nickel                                   | < 1.0                        | < 1.0                        |                             | µg/L      |
| Selenium                                 | < 0.10                       | < 0.10                       | 50                          | µg/L      |
| Silicon                                  | 6310                         | 5150                         |                             | µg/L      |
| Silver                                   | < 0.020                      | < 0.020                      |                             | µg/L      |
| Strontium                                | 24.2                         | 29.0                         |                             | µg/L      |
| Thallium                                 | < 0.010                      | < 0.010                      |                             | µg/L      |
| Tin                                      | < 5.0                        | < 5.0                        |                             | µg/L      |
| Titanium                                 | < 5.0                        | < 5.0                        |                             | µg/L      |
| Uranium                                  | < 0.10                       | < 0.10                       | 20                          | µg/L      |
| Vanadium                                 | < 5.0                        | < 5.0                        |                             | µg/L      |
| Zinc                                     | < 5.0                        | < 5.0                        | < or = 5000                 | µg/L      |
| Zirconium                                | 0.13                         | < 0.10                       |                             | µg/L      |
| Calcium                                  | 7.58                         | 7.96                         |                             | mg/L      |
| Magnesium                                | 0.226                        | 0.221                        |                             | mg/L      |
| Potassium                                | 0.122                        | 0.122                        |                             | mg/L      |
| Sodium                                   | 43.5                         | 44.3                         | < or = 200                  | mg/L      |
| Total Sulphide (as H <sub>2</sub> S)     | 0.039                        |                              |                             | mg/L      |
| Total Sulphide                           | 0.037                        |                              |                             | mg/L      |
| Sulphur                                  | < 3.0                        | < 3.0                        |                             | mg/L      |
| <b>MICROBIOLOGICAL</b>                   |                              |                              |                             |           |
| Heterotrophic Plate Count                | 10                           |                              |                             | CFU/ml    |
| Iron Bacteria                            | 8980 to 15800                |                              |                             | CFU/ml    |
| Sulphate reducing bacteria               | < 75                         |                              |                             | CFU/ml    |
| Total Coliforms                          | 8.0                          |                              | ND                          | CFU/100ml |
| Escherichia Coli (E. Coli)               | 0                            |                              | ND                          | CFU/100ml |

\* Turbidity guideline applies to a surface water source or a groundwater source under the direct influence of surface water.

Red font indicates exceedances.

ND means none detectable.

## RECOMMENDATIONS

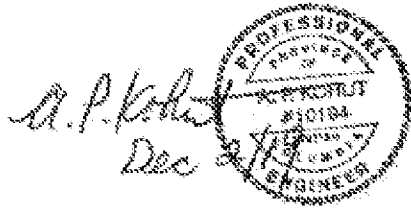
1. When put into operation the project well (WID 46824) should be equipped with a totalizing flow meter and records should be kept of the total amount of water produced each month. These records should also be reviewed on an annual basis to ensure that no excessive water demands, particularly during extended drought periods, are being placed on the well.
2. The well should be equipped with an appropriately-sized submersible well pump with the base of the pump set just above a depth of 63.09 m (207 feet), to enable effective cooling of the submersible pump motor.
3. The well should not be over pumped or subject to frequent on and off cycling of the pump.
4. As a precautionary measure against any future potential sources of coliform bacteria, water from the existing well source should be treated with an appropriately designed and maintained ultraviolet irradiation (UV) or chlorination treatment system.
5. Water quality from the well should be monitored for bacteria and chemical quality including fluoride levels on a regular basis (minimum of once a year) and as directed by the local health authority to detect any changes that might occur with time that may require any additional treatment.
6. A water licence will likely be required for use of the project well for water supply purposes. Application can be made to the Ministry of Forests, Lands and Natural Resource Operations in Nanaimo. Information on the application process can be found at:  
FrontCounterBC <http://www.frontcounterbc.gov.bc.ca/info/>  
Copies of this report may be used to support the application.

## CLOSURE

This report was prepared in accordance with generally accepted engineering, hydrogeological and consulting practices. It is intended for the prime use of R.W. Dewinetz and G.L. Longson, in connection with its purpose as outlined under the scope of work for this project. This report is based on data and information available to the author from various sources at the time of its preparation and the findings of this report may therefore be subject to revision. Data and information supplied by others has not been independently confirmed or verified to be correct or accurate in all cases. Any errors, omissions or issues requiring clarification should be brought to the attention of the author. The author retains full copyright of the material contained in the report. The author and Hy-Geo Consulting accepts no responsibility for damages suffered by any third party as a result of any unauthorized use of this report.

Respectfully submitted:

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Senior Hydrogeologist



Hy-Geo Consulting

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## APPENDIX A

### Proof of Water for Subdivision in the Southern Gulf Islands Using Occupancy Daily Demand Volumes

The following information and evidence provides a rationale for estimating reasonable estimates of anticipated water supply demands for rental housing projects in the Gulf Islands of southern British Columbia. This material has been prepared to support proposed applications for affordable housing projects on Galiano Island. Table 1, Appendix A, provides a summary and comparison of the various water supply figures referred to in this brief document.

#### Background

Currently, proof of water requirements for subdivision on Galiano Island are outlined in *Standards for Potable Water Supply*, Sections 13.22 to 13.28 under the *Subdivision and Development Regulations of Land Use Bylaw No. 127, 1999* (Galiano Island Local Trust Committee, 2019). The specific volume required on each lot for residential use including a cottage is 2275 litres per day (i.e. 2275 L/day per residential lot). This volume is deemed to be reasonable for subdivision purposes to meet the anticipated water demands for a residence and cottage in a rural setting. While this figure does not specify the number of occupants that may be served, one could safely suggest that it would be enough water to meet the needs of 2 to 3 residents including a small garden and perhaps 1 or 2 pets or farm animals.

Residential water use under *Bylaw No. 127* may be equated with “domestic purpose” as defined under the *Water Sustainability Act* of British Columbia wherein “**domestic purpose**, means the use of water for household purposes by the occupants of, subject to the regulations, one or more private dwellings, other than multi-family apartment buildings, including, without limitation, hotels and strata titled or cooperative buildings, located on a single parcel, including, without limitation, the following uses:

- (a) drinking water, food preparation and sanitation;
- (b) fire prevention;
- (c) providing water to animals or poultry kept
  - (i) for household use, or
  - (ii) as pets;
- (d) irrigation of a garden not exceeding 1 000 m<sup>2</sup> that is adjoining and occupied with a dwelling;”

In Section 22.8 under **Section 22 Precedence of rights**, the *Water Sustainability Act* recognizes the date of first use and right to use **2000 litres of water per day for each private dwelling** on a parcel or the amount of water the engineer is satisfied the person has been using for domestic purposes.

Also In Section 22.10 and 22.11 in situations where precedence of water use is being enforced, the occupants of one private dwelling are not prohibited from diverting water for essential household use where "**essential household use** means the use by the occupants of one private dwelling of not more than **250 litres of water per day** for

- (a) drinking water, food preparation and sanitation, and
- (b) providing water to animals or poultry that are kept
  - (i) for household use, or
  - (ii) as pets."

It should be noted that all of the figures reported above refer to water use for a residential lot, household, or dwelling(s) and not water use per occupant.

### **Anticipated Water Demands**

In a report to the Islands Trust entitled, *Galiano Groundwater Regulation Review*, Waterline Resources (2012) advises that while the volumes provided in *Land Use Bylaw No. 127*, may be reasonable in certain situations, they recommend that "a more quantitative approach be taken to assess the water supply demand on a site specific basis (lot by lot and/or subdivision by subdivision). In this manner, more realistic water demand volumes are considered at the subdivision application stage." Waterline Resources (2012) further recommends that, "As part of the subdivision application, the applicant shall attempt to assess actual water supply demand based on reasonable estimates given the proposed subdivision plan."

Indoor water use for conventional water systems, based on the *Design Guidelines for Rural Residential Community Systems* (Ministry of Forests, Lands & Natural Resource Operations, 2012) suggests that a minimum of 230 L/capita/day or 50.6 Imperial gallons/capita/day be considered for a water system design. Government of Canada (2018) reports a similar water use figure of 251 L/day per capita for metered urban household water systems monitored across Canada in 2011. Maximum day demand (MDD) or the single highest total 24 hour daily water consumption occurring over a one year period would normally include indoor usage, water loss allowance and irrigation demand components.

Based on a comprehensive report by Dieter *et al.*, for the United States, the national average consumption for public-supplied domestic water use in 2015 was 82 USgals/day/capita (310.4 L/day/capita) with a range of 35 to 186 USgals/day/capita (132.5 to 704.1 L/day/capita), depending upon the particular State.

## Metered Water System Use

Metered water systems in the Gulf Islands provide some direct evidence of realistic water demand volumes where groundwater use has been metered for several years. Some examples are as follows:

### *Mayne Island*

In 2015, Hy-Geo Consulting examined metered water data from 2012 to 2015 for 6 water systems on Mayne Island involving a total of 620 residential connections (Ministry of Environment, 2015). The results of that analysis are summarized in Table 2, Appendix A. The average daily water use per connection for all systems ranged from 28 to 105 USgals/day (106.0 to 397.5 L/day) with a combined total average ranging from 45 to 56 USgals/day/connection (170.3 to 212.0 L/day/connection).

### *Sticks Allison Water System, Galiano Island*

The 2016 Annual Report of the Sticks Allison Water System (CRD, 2019) indicates that that annual metered water use for 34 residential connections ranged from 396.0 to 538.4 L/day/connection during the 5 year period from 2012 to 2017. These figures also include water system leaks, water system maintenance and operational use (e.g. water main flushing, filter system backwashing), potential unauthorized use and fire-fighting use. The Sticks Allison Water System obtains its drinking water from a deep well situated approximately 1500 m east of the proposed housing project on Georgia View Road. The water service area is relatively extensive compared to an affordable housing facility.

### *Trincomali Improvement District, Pender Island*

As an example of domestic water use on Pender Island, Henderson (1997) reported some metered 1993-1994 water use figures for 18 residential property owners of the Trincomali Improvement District. At the time the District had 79 out of 104 property owners connected to the water system and metered. Water use figures ranged from 6 to 110 lgal/day/connection (27.3 to 500.1 L/day/connection) during the February-March period, averaging 58.7 lgal/day/connection (266.9 L/day/connection). These figures, however, reflect winter use which would be significantly lower than summer use.

Table 1, Appendix A. Summary and comparison of the various water supply figures referred to in this brief document.

| Reference Source                                                                    | Requirements or Allocation (per lot or per dwelling) | Requirements (per capita or per occupant) | Reported Average Water Use (per capita or per occupant) | Reported Average Water Use (per connection) |
|-------------------------------------------------------------------------------------|------------------------------------------------------|-------------------------------------------|---------------------------------------------------------|---------------------------------------------|
| Galiano Land Use Bylaw No. 127                                                      | 2275 L/day per residential lot                       |                                           |                                                         |                                             |
| WSA Section 22.8 Precedence of rights                                               | 2000 L/day per private dwelling                      |                                           |                                                         |                                             |
| WSA Sections 22.10 and 22.11 Precedence of rights                                   | 250 L/day per private dwelling                       |                                           |                                                         |                                             |
| <i>Design Guidelines for Rural Residential Community Systems</i> (British Columbia) |                                                      | 230 L/day/capita                          |                                                         |                                             |
| Government of Canada (2018)                                                         |                                                      |                                           | 251 L/day/capita                                        |                                             |
| Dieter <i>et al.</i> , (2018) for United States                                     |                                                      |                                           | 310 L/day/capita                                        |                                             |
| Mayne Island Water Systems (Ministry of Environment, 2015)                          |                                                      |                                           |                                                         | 170 to 212 L/day/connection                 |
| Sticks Allison Water System (CRD, 2019)                                             |                                                      |                                           |                                                         | 396 to 538 L/day/connection                 |
| Trincomali Improvement District (Henderson, 1997)                                   |                                                      |                                           |                                                         | 266.9 L/day/connection                      |

WSA, Water Sustainability Act  
CRD, Capital Regional District

Table 2, Appendix A. Metered water use for Mayne Island water systems, from Ministry of Environment (2015).

| Mayne Island Water Systems                      | # of Connections | Total Annual Water Use (USgals) |          |         | Average Daily Water Use per connection (USgals/day) |      |      |
|-------------------------------------------------|------------------|---------------------------------|----------|---------|-----------------------------------------------------|------|------|
|                                                 |                  | 2012                            | 2013     | 2014    | 2012                                                | 2013 | 2014 |
| Bennett Bay <sup>1</sup> Waterworks District    | 133              | 1495790                         | 1429233  | 1445850 | 31                                                  | 29   | 30   |
| Lighthouse Point <sup>1</sup> Waterworks        | 99               | 1013800                         | 1002500  | 1012300 | 28                                                  | 28   | 28   |
| Skana <sup>2</sup> Water Service                | 38               | 981392                          | 907424   | NA      | 71                                                  | 65   | NA   |
| Surfside <sup>3</sup> Park Estates              | 64               | 2448856                         | 2112039  | NA      | 105                                                 | 90   | NA   |
| Village Point <sup>1</sup> Improvement District | 221              | 5733000                         | 5341000  | 4899360 | 71                                                  | 66   | 61   |
| Unnamed Water Service                           | 65               | 982929                          | 1133746  | 1121486 | 41                                                  | 48   | 47   |
| Totals:                                         | 620              | 12655767                        | 11925943 | 8478996 |                                                     |      |      |
| Averages:                                       |                  |                                 |          |         | 56                                                  | 53   | 45*  |

1 pers. comm., Bill Waring MISS

2 [https://www.crd.bc.ca/docs/default-source/crd-document-](https://www.crd.bc.ca/docs/default-source/crd-document-library/committeedocuments/skanawaterservicecommittee/20140514/skana2014agm.pdf?sfvrsn=2)

[library/committeedocuments/skanawaterservicecommittee/20140514/skana2014agm.pdf?sfvrsn=2](https://www.crd.bc.ca/docs/default-source/crd-document-library/committeedocuments/skanawaterservicecommittee/20140514/skana2014agm.pdf?sfvrsn=2)

3 [https://www.crd.bc.ca/docs/default-source/crd-document-](https://www.crd.bc.ca/docs/default-source/crd-document-library/committeedocuments/surfsideparkestateswaterservicecommittee/20140514/surfsideagm2014.pdf?sfvrsn=2)

[library/committeedocuments/surfsideparkestateswaterservicecommittee/20140514/surfsideagm2014.pdf?sfvrsn=2](https://www.crd.bc.ca/docs/default-source/crd-document-library/committeedocuments/surfsideparkestateswaterservicecommittee/20140514/surfsideagm2014.pdf?sfvrsn=2)

NA = not available

\* based on 518 connections

Note: Some figures may be rounded off.

## **APPENDIX B**

### **Water Well Record**



## APPENDIX C

### Pumping Test Data for Well WID 46824

**Project:** Georgia View  
**Client:** R. Dewinetz  
**Location:** Galiano Island  
**Start Date of Test:** December 9/18  
**Test Conducted by:** Red Williams  
**Pumped Well:** WID 46824  
**Pumping Rate:**  
**Static Water Level:** 1.685 m  
**Pump Setting:** 66.446 m

**Reference:** all readings from top of sounding tube

**Stick up:** 1.12 m  
**Observation Wells:** 1417 Sticks Allison Rd.  
**Pump Start Time:** 3:00 PM Dec. 9/18  
**Pump End Time:** 3:00 PM Dec 12/18  
**Analysis by:** A. Kohut, P.Eng.

#### Drawdown Data:

#### Recovery Data:

| Time<br>(minutes) | Water Level<br>(m) | Drawdown<br>(m) | Time t<br>(minutes) | Time t'<br>(minutes) | Water Level<br>(m) | t/t'   | Residual<br>Drawdown<br>(m) |
|-------------------|--------------------|-----------------|---------------------|----------------------|--------------------|--------|-----------------------------|
| 0.5               | 1.895              | 0.210           | 4320.5              | 0.5                  | 17.109             | 8641.0 | 15.42                       |
| 1                 | 2.052              | 0.367           | 4321                | 1                    | 17.323             | 4321.0 | 15.64                       |
| 1.5               | 2.182              | 0.497           | 4321.5              | 1.5                  | 16.530             | 2881.0 | 14.85                       |
| 2                 | 2.300              | 0.615           | 4322                | 2                    | 16.456             | 2161.0 | 14.77                       |
| 2.5               | 2.409              | 0.724           | 4322.5              | 2.5                  | 15.765             | 1729.0 | 14.08                       |
| 3                 | 2.515              | 0.830           | 4323                | 3                    | 15.733             | 1441.0 | 14.05                       |
| 3.5               | 2.612              | 0.927           | 4323.5              | 3.5                  | 15.127             | 1235.3 | 13.44                       |
| 4                 | 2.710              | 1.025           | 4324                | 4                    | 15.093             | 1081.0 | 13.41                       |
| 4.5               | 2.798              | 1.113           | 4324.5              | 4.5                  | 14.545             | 961.0  | 12.86                       |
| 5                 | 2.883              | 1.198           | 4325                | 5                    | 14.235             | 865.0  | 12.55                       |
| 6                 | 3.038              | 1.353           | 4326                | 6                    | 13.680             | 721.0  | 12.00                       |
| 7                 | 3.189              | 1.504           | 4327                | 7                    | 13.145             | 618.1  | 11.46                       |
| 8                 | 3.329              | 1.644           | 4328                | 8                    | 12.660             | 541.0  | 10.98                       |
| 9                 | 3.463              | 1.778           | 4329                | 9                    | 12.185             | 481.0  | 10.50                       |
| 10                | 3.590              | 1.905           | 4330                | 10                   | 11.720             | 433.0  | 10.04                       |
| 11                | 3.708              | 2.023           | 4331                | 11                   | 11.287             | 393.7  | 9.60                        |
| 12                | 3.820              | 2.135           | 4332                | 12                   | 10.880             | 361.0  | 9.20                        |
| 13                | 3.914              | 2.229           | 4333                | 13                   | 10.445             | 333.3  | 8.76                        |
| 14                | 4.001              | 2.316           | 4334                | 14                   | 10.040             | 309.6  | 8.36                        |
| 15                | 4.094              | 2.409           | 4335                | 15                   | 9.650              | 289.0  | 7.97                        |
| 20                | 4.484              | 2.799           | 4340                | 20                   | 7.853              | 217.0  | 6.17                        |
| 25                | 4.757              | 3.072           | 4345                | 25                   | 6.343              | 173.8  | 4.66                        |
| 30                | 4.982              | 3.297           | 4350                | 30                   | 5.305              | 145.0  | 3.62                        |
| 35                | 5.134              | 3.449           | 4355                | 35                   | 4.653              | 124.4  | 2.97                        |
| 40                | 5.248              | 3.563           | 4360                | 40                   | 4.267              | 109.0  | 2.58                        |
| 45                | 5.340              | 3.655           | 4365                | 45                   | 3.997              | 97.0   | 2.31                        |
| 50                | 5.410              | 3.725           | 4370                | 50                   | 3.795              | 87.4   | 2.11                        |
| 55                | 5.475              | 3.790           | 4375                | 55                   | 3.632              | 79.5   | 1.95                        |
| 60                | 5.519              | 3.834           | 4380                | 60                   | 3.503              | 73.0   | 1.82                        |
| 75                | 5.574              | 3.889           | 4390                | 70                   | 3.315              | 62.7   | 1.63                        |
| 90                | 5.605              | 3.920           | 4395                | 75                   | 3.240              | 58.6   | 1.56                        |
| 105               | 5.665              | 3.980           | 4425                | 105                  | 2.986              | 42.1   | 1.30                        |
| 120               | 5.684              | 3.999           | 4440                | 120                  | 2.924              | 37.0   | 1.24                        |
| 150               | 5.670              | 3.985           | 4470                | 150                  | 2.831              | 29.8   | 1.15                        |
| 180               | 5.644              | 3.959           | 4500                | 180                  | 2.790              | 25.0   | 1.11                        |
| 210               | 5.705              | 4.020           | 4530                | 210                  | 2.759              | 21.6   | 1.07                        |
| 240               | 5.660              | 3.975           | 4560                | 240                  | 2.738              | 19.0   | 1.05                        |
| 270               | 5.655              | 3.970           | 4590                | 270                  | 2.718              | 17.0   | 1.03                        |
| 300               | 5.653              | 3.968           | 4620                | 300                  | 2.697              | 15.4   | 1.01                        |
| 330               | 5.670              | 3.985           | 4650                | 330                  | 2.697              | 14.1   | 1.01                        |
| 360               | 5.680              | 3.995           | 4750                | 430                  | 2.6987             | 11.0   | 1.01                        |
| 390               | 5.687              | 4.002           | 4850                | 530                  | 2.676              | 9.2    | 0.99                        |
| 420               | 5.737              | 4.052           | 4950                | 630                  | 2.666              | 7.9    | 0.98                        |
| 450               | 5.737              | 4.052           | 5050                | 730                  | 2.645              | 6.9    | 0.96                        |
| 480               | 5.722              | 4.037           | 5150                | 830                  | 2.635              | 6.2    | 0.95                        |
| 540               | 5.782              | 4.097           | 5250                | 930                  | 2.614              | 5.6    | 0.93                        |
| 600               | 5.772              | 4.087           | 5350                | 1030                 | 2.573              | 5.2    | 0.89                        |
| 660               | 5.751              | 4.066           | 5450                | 1130                 | 2.552              | 4.8    | 0.87                        |



| Time<br>(minutes) | Water Level<br>(m) | Drawdown<br>(m) | Time t<br>(minutes) | Time t'<br>(minutes) | Water Level<br>(m) | t/t' | Residual<br>Drawdown<br>(m) |
|-------------------|--------------------|-----------------|---------------------|----------------------|--------------------|------|-----------------------------|
| 720               | 5.743              | 4.058           |                     |                      |                    |      |                             |
| 780               | 5.733              | 4.048           |                     |                      |                    |      |                             |
| 840               | 5.728              | 4.043           |                     |                      |                    |      |                             |
| 900               | 5.733              | 4.048           |                     |                      |                    |      |                             |
| 960               | 5.731              | 4.046           |                     |                      |                    |      |                             |
| 1020              | 5.756              | 4.071           |                     | Data from transducer |                    |      |                             |
| 1080              | 5.789              | 4.104           |                     |                      |                    |      |                             |
| 1140              | 5.789              | 4.104           |                     |                      |                    |      |                             |
| 1200              | 5.803              | 4.118           |                     |                      |                    |      |                             |
| 1260              | 5.821              | 4.136           |                     |                      |                    |      |                             |
| 1320              | 5.780              | 4.095           |                     |                      |                    |      |                             |
| 1380              | 5.778              | 4.093           |                     |                      |                    |      |                             |
| 1440              | 5.767              | 4.082           |                     |                      |                    |      |                             |
| 1500              | 7.291              | 5.606           |                     |                      |                    |      |                             |
| 1560              | 8.132              | 6.447           |                     |                      |                    |      |                             |
| 1620              | 8.527              | 6.842           |                     |                      |                    |      |                             |
| 1680              | 8.626              | 6.941           |                     |                      |                    |      |                             |
| 1740              | 8.619              | 6.934           |                     |                      |                    |      |                             |
| 1800              | 8.461              | 6.776           |                     |                      |                    |      |                             |
| 1860              | 8.397              | 6.712           |                     |                      |                    |      |                             |
| 1920              | 8.425              | 6.740           |                     |                      |                    |      |                             |
| 1980              | 8.460              | 6.775           |                     |                      |                    |      |                             |
| 2040              | 8.345              | 6.660           |                     |                      |                    |      |                             |
| 2100              | 8.306              | 6.621           |                     |                      |                    |      |                             |
| 2160              | 8.324              | 6.639           |                     |                      |                    |      |                             |
| 2220              | 8.380              | 6.695           |                     |                      |                    |      |                             |
| 2280              | 8.374              | 6.689           |                     |                      |                    |      |                             |
| 2340              | 8.347              | 6.662           |                     |                      |                    |      |                             |
| 2400              | 8.330              | 6.645           |                     |                      |                    |      |                             |
| 2460              | 8.341              | 6.656           |                     |                      |                    |      |                             |
| 2520              | 8.515              | 6.830           |                     |                      |                    |      |                             |
| 2580              | 8.433              | 6.748           |                     |                      |                    |      |                             |
| 2640              | 8.446              | 6.761           |                     |                      |                    |      |                             |
| 2700              | 8.400              | 6.715           |                     |                      |                    |      |                             |
| 2760              | 8.466              | 6.781           |                     |                      |                    |      |                             |
| 2820              | 8.480              | 6.795           |                     |                      |                    |      |                             |
| 2880              | 8.425              | 6.740           |                     |                      |                    |      |                             |
| 2940              | 15.605             | 13.920          |                     |                      |                    |      |                             |
| 3000              | 17.378             | 15.693          |                     |                      |                    |      |                             |
| 3060              | 17.708             | 16.023          |                     |                      |                    |      |                             |
| 3120              | 18.085             | 16.400          |                     |                      |                    |      |                             |
| 3180              | 17.837             | 16.152          |                     |                      |                    |      |                             |
| 3240              | 17.738             | 16.053          |                     |                      |                    |      |                             |
| 3300              | 17.519             | 15.834          |                     |                      |                    |      |                             |
| 3360              | 17.176             | 15.491          |                     |                      |                    |      |                             |
| 3420              | 17.173             | 15.488          |                     |                      |                    |      |                             |
| 3480              | 17.231             | 15.546          |                     |                      |                    |      |                             |
| 3540              | 17.435             | 15.750          |                     |                      |                    |      |                             |
| 3600              | 17.243             | 15.558          |                     |                      |                    |      |                             |
| 3660              | 17.215             | 15.530          |                     |                      |                    |      |                             |
| 3720              | 17.274             | 15.589          |                     |                      |                    |      |                             |
| 3780              | 17.342             | 15.657          |                     |                      |                    |      |                             |
| 3840              | 17.348             | 15.663          |                     |                      |                    |      |                             |
| 3900              | 17.463             | 15.778          |                     |                      |                    |      |                             |
| 3960              | 17.255             | 15.570          |                     |                      |                    |      |                             |
| 4020              | 17.464             | 15.779          |                     |                      |                    |      |                             |
| 4080              | 17.518             | 15.833          |                     |                      |                    |      |                             |
| 4140              | 17.677             | 15.992          |                     |                      |                    |      |                             |
| 4200              | 17.890             | 16.205          |                     |                      |                    |      |                             |
| 4260              | 17.930             | 16.245          |                     |                      |                    |      |                             |
| 4320              | 17.862             | 16.177          |                     |                      |                    |      |                             |

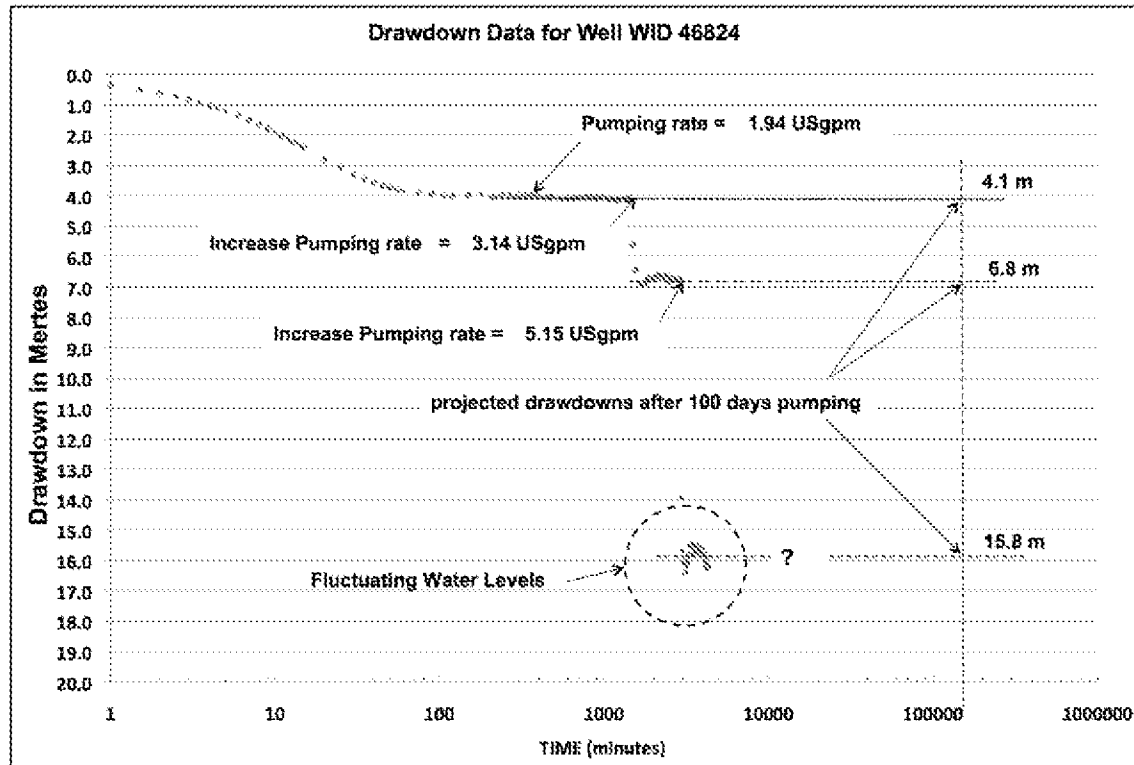


Figure C1. Semi-logarithmic drawdown plot for project well during 72.0 hour test.

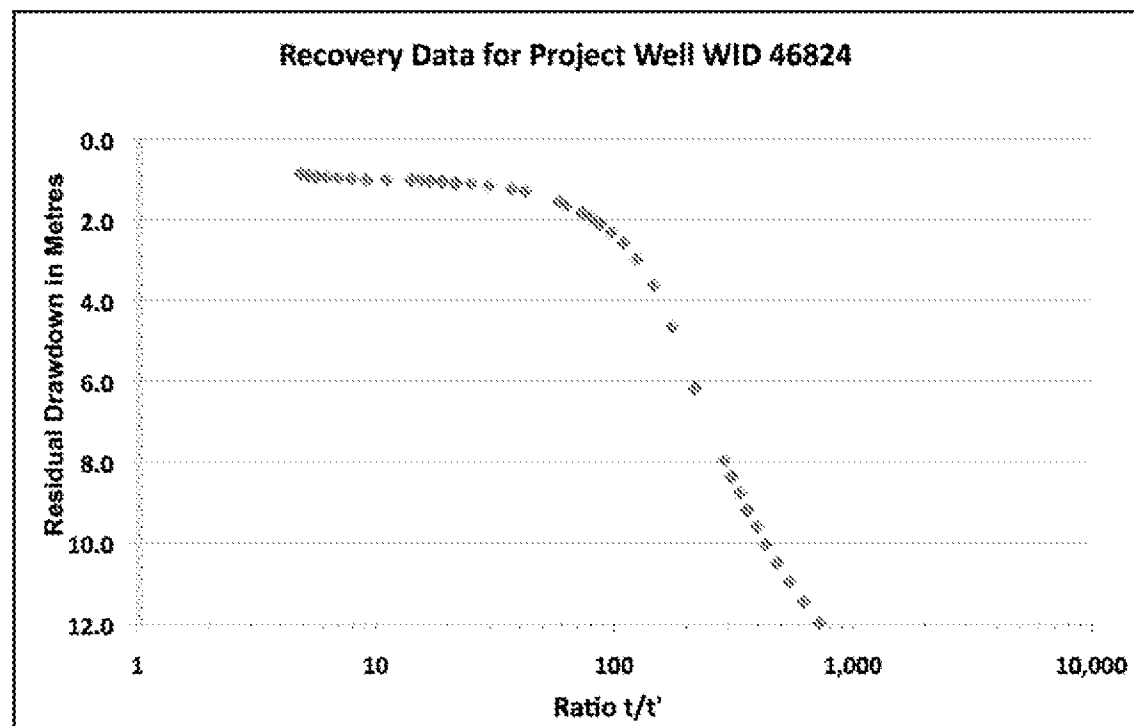
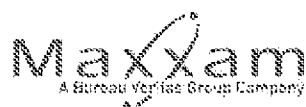


Figure C2. Recovery plot for project well following 72.0 hour test.



Success Through Sciences

## APPENDIX D

Your Project #: GALIANO  
Your C.O.C. #: WI019995

**Attention: Al Kohut**

Hy-Geo Consulting  
1041 Laburnum Rd  
Victoria, BC  
Canada V8Z 2M9

**Report Date: 2018/12/24**  
Report #: R2668010  
Version: 1 - Final

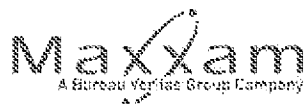
### CERTIFICATE OF ANALYSIS

**MAXXAM JOB #: B8A8657**

**Received: 2018/12/13, 08:10**

Sample Matrix: DRINKING WATER  
# Samples Received: 1

| Analyses                                              | Quantity | Date<br>Extracted | Date<br>Analyzed | Laboratory Method | Analytical Method                |
|-------------------------------------------------------|----------|-------------------|------------------|-------------------|----------------------------------|
| Alkalinity - Water                                    | 1        | N/A               | 2018/12/15       | BBY6SOP-00026     | SM 22 2320 B m                   |
| Chloride by Automated Colourimetry                    | 1        | N/A               | 2018/12/17       | BBY6SOP-00011     | SM 22 4500-Cl- E m               |
| Colour (True) by Kone Lab                             | 1        | N/A               | 2018/12/15       | BBY6SOP-00057     | SM 23 2120 C m                   |
| Conductance - water                                   | 1        | N/A               | 2018/12/15       | BBY6SOP-00026     | SM 22 2510 B m                   |
| Fluoride                                              | 1        | N/A               | 2018/12/18       | BBY6SOP-00048     | SM 22 4500-F C m                 |
| Iron Bacteria (1)                                     | 1        | N/A               | 2018/12/13       | VIC SOP-00114     | SM23 9240B m                     |
| Sulphide (as H <sub>2</sub> S) (2)                    | 1        | N/A               | 2018/12/18       | AB WI-00065       | Auto Calc                        |
| Hardness Total (calculated as CaCO <sub>3</sub> ) (3) | 1        | N/A               | 2018/12/17       | BBY WI-00033      | Auto Calc                        |
| Hardness (calculated as CaCO <sub>3</sub> )           | 1        | N/A               | 2018/12/17       | BBY WI-00033      | Auto Calc                        |
| Mercury (Total) by CVAF                               | 1        | 2018/12/14        | 2018/12/14       | BBY7SOP-00015     | BCMOE BCLM Oct2013 m             |
| Heterotrophic Plate Count Water Mem. Filt (1)         | 1        | N/A               | 2018/12/13       | BBY4 SOP-00003    | SM23 9215 m                      |
| Na, K, Ca, Mg, S by CRC ICPMS (diss.)                 | 1        | N/A               | 2018/12/17       | BBY WI-00033      | Auto Calc                        |
| Elements by CRC ICPMS (dissolved)                     | 1        | N/A               | 2018/12/15       | BBY7SOP-00002     | EPA 6020b R2 m                   |
| Na, K, Ca, Mg, S by CRC ICPMS (total)                 | 1        | N/A               | 2018/12/17       | BBY WI-00033      | Auto Calc                        |
| Elements by CRC ICPMS (total)                         | 1        | N/A               | 2018/12/14       | BBY7SOP-00003,    | EPA 6020b R2 m                   |
| Nitrogen (Total)                                      | 1        | N/A               | 2018/12/18       | BBY6SOP-00016     | SM 22 4500-N C m                 |
| Ammonia-N (Preserved)                                 | 1        | N/A               | 2018/12/19       | BBY6SOP-00009     | EPA 350.1 m                      |
| Nitrate + Nitrite (N)                                 | 1        | N/A               | 2018/12/14       | BBY6SOP-00010     | SM 23 4500-NO <sub>3</sub> - I m |
| Nitrite (N) by CFA                                    | 1        | N/A               | 2018/12/14       | BBY6SOP-00010     | SM 22 4500-NO <sub>3</sub> - I m |
| Nitrogen - Nitrate (as N)                             | 1        | N/A               | 2018/12/14       | BBY WI-00033      | Auto Calc                        |
| Nitrogen (Tot. Organic) Calculation                   | 1        | N/A               | 2018/12/19       | BBY WI-00033      | Auto Calc                        |
| Filter and HNO <sub>3</sub> Preserve for Metals       | 1        | N/A               | 2018/12/13       | BBY7 WI-00004     | BCMOE Reqs 08/14                 |
| pH Water (4)                                          | 1        | N/A               | 2018/12/15       | BBY6SOP-00026     | SM 22 4500-H+ B m                |
| Sat. pH and Langelier Index (@ 4.4C)                  | 1        | N/A               | 2018/12/19       | BBY WI-00033      | Auto Calc                        |
| Sat. pH and Langelier Index (@ 60C)                   | 1        | N/A               | 2018/12/19       | BBY WI-00033      | Auto Calc                        |
| Total Sulphide (2)                                    | 1        | N/A               | 2018/12/16       | AB SOP-00080      | SM 22 4500 S2-A D Fm             |
| Sulphate by Automated Colourimetry                    | 1        | N/A               | 2018/12/14       | BBY6SOP-00017     | SM 22 4500-SO42- E m             |
| Sulphate Reducing Bacteria (1)                        | 1        | N/A               | 2018/12/13       | VIC SOP-00114     | SM23 9240C m                     |
| Total Dissolved Solids (Filt. Residue)                | 1        | 2018/12/19        | 2018/12/21       | BBY6SOP-00033     | SM 23 2540 C m                   |
| Total Coliform & E.Coli by MF-Chromocult (1)          | 1        | N/A               | 2018/12/13       | VIC SOP 00112     | SM23 9222J                       |
| Carbon (Total Organic) (2, 5)                         | 1        | N/A               | 2018/12/19       | CAL SOP-00077     | MMCW 119 1996 m                  |
| Turbidity                                             | 1        | N/A               | 2018/12/14       | BBY6SOP-00027     | SM 22 2130 B m                   |



Success Through Science

Your Project #: GALIANO  
Your C.O.C. #: WI019995

**Attention: Al Kohut**

Hy-Geo Consulting  
1041 Laburnum Rd  
Victoria, BC  
Canada V8Z 2M9

**Report Date: 2018/12/24**

Report #: R2668010

Version: 1 - Final

**CERTIFICATE OF ANALYSIS****MAXXAM JOB #: B8A8657****Received: 2018/12/13, 08:10**

Sample Matrix: DRINKING WATER  
# Samples Received: 1

| Analyses                           | Quantity | Date<br>Extracted | Date<br>Analyzed | Laboratory Method | Analytical Method |
|------------------------------------|----------|-------------------|------------------|-------------------|-------------------|
| UV absorbance @254nm-Unfiltered    | 1        | N/A               | 2018/12/19       | BBY6SOP-00055     | SM 22 5910 B      |
| UV transmittance @254nm-Unfiltered | 1        | N/A               | 2018/12/21       | BBY WI-00033      | Auto Calc         |

**Remarks:**

Maxxam Analytics' laboratories are accredited to ISO/IEC 17025:2005 for specific parameters on scopes of accreditation. Unless otherwise noted, procedures used by Maxxam are based upon recognized Provincial, Federal or US method compendia such as CCME, MDDELCC, EPA, APHA.

All work recorded herein has been done in accordance with procedures and practices ordinarily exercised by professionals in Maxxam's profession using accepted testing methodologies, quality assurance and quality control procedures (except where otherwise agreed by the client and Maxxam in writing). All data is in statistical control and has met quality control and method performance criteria unless otherwise noted. All method blanks are reported; unless indicated otherwise, associated sample data are not blank corrected. Where applicable, unless otherwise noted, Measurement Uncertainty has not been accounted for when stating conformity to the referenced standard.

Maxxam Analytics' liability is limited to the actual cost of the requested analyses, unless otherwise agreed in writing. There is no other warranty expressed or implied. Maxxam has been retained to provide analysis of samples provided by the Client using the testing methodology referenced in this report. Interpretation and use of test results are the sole responsibility of the Client and are not within the scope of services provided by Maxxam, unless otherwise agreed in writing. Maxxam is not responsible for the accuracy or any data impacts, that result from the information provided by the customer or their agent.

Solid sample results, except biota, are based on dry weight unless otherwise indicated. Organic analyses are not recovery corrected except for isotope dilution methods.

Results relate to samples tested. When sampling is not conducted by Maxxam, results relate to the supplied samples tested.

This Certificate shall not be reproduced except in full, without the written approval of the laboratory.

Reference Method suffix "m" indicates test methods incorporate validated modifications from specific reference methods to improve performance.

\* RPDs calculated using raw data. The rounding of final results may result in the apparent difference.

(1) This test was performed by Maxxam Victoria

(2) This test was performed by Maxxam Calgary Environmental

(3) "Total Hardness" was calculated from Total Ca and Mg concentrations and may be biased high (Hardness, or Dissolved Hardness, calculated from Dissolved Ca and Mg, should be used for compliance if available).

(4) The BC-MOE and APHA Standard Method require pH to be analysed within 15 minutes of sampling and therefore field analysis is required for compliance. All Laboratory pH analyses in this report are reported past the BC-MOE/APHA Standard Method holding time.

(5) TOC present in the sample should be considered as non-purgeable TOC.

Encryption Key



Success Through Science

Your Project #: GALIANO  
Your C.O.C. #: WI019995

**Attention: Al Kohut**

Hy-Geo Consulting  
1041 Laburnum Rd  
Victoria, BC  
Canada V8Z 2M9

**Report Date: 2018/12/24**  
Report #: R2668010  
Version: 1 - Final

**CERTIFICATE OF ANALYSIS****MAXXAM JOB #: B8A8657****Received: 2018/12/13, 08:10**

Please direct all questions regarding this Certificate of Analysis to your Project Manager.

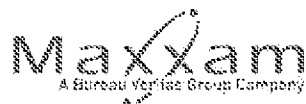
BC Env Customer Service, BC Environmental Customer Service

Email: Enviro.CS.BC@maxxam.ca

Phone# (604) 734 7276

=====

Maxxam has procedures in place to guard against improper use of the electronic signature and have the required "signatories", as per section 5.10.2 of ISO/IEC 17025:2005(E), signing the reports. For Service Group specific validation please refer to the Validation Signature Page.



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Maxxam Job #: B8A8657  
Report Date: 2018/12/24

Hy-Geo Consulting  
Client Project #: GALIANO

**RESULTS OF CHEMICAL ANALYSES OF DRINKING WATER**

|                                  |                                 |      |                      |        |          |
|----------------------------------|---------------------------------|------|----------------------|--------|----------|
| Maxxam ID                        |                                 |      | UY3839               |        |          |
| Sampling Date                    |                                 |      | 2018/12/12<br>14:50  |        |          |
| COC Number                       |                                 |      | WI019995             |        |          |
|                                  | UNITS                           | AO   | GEORGIA VIEW<br>WELL | RDL    | QC Batch |
| Calculated Parameters            |                                 |      |                      |        |          |
| Filter and HNO3 Preservation     | N/A                             | -    | FIELD                |        | ONSITE   |
| Sulphide (as H2S)                | mg/L                            | 0.05 | 0.039                | 0.0020 | 9264671  |
| Misc. Inorganics                 |                                 |      |                      |        |          |
| Total Organic Carbon (C)         | mg/L                            | -    | 1.3                  | 0.50   | 9269890  |
| Anions                           |                                 |      |                      |        |          |
| Total Sulphide                   | mg/L                            | 0.05 | 0.037                | 0.0019 | 9267665  |
| MISCELLANEOUS                    |                                 |      |                      |        |          |
| True Colour                      | Col. Unit                       | 15   | 9.3                  | 5.0    | 9267531  |
| Physical Properties              |                                 |      |                      |        |          |
| Total Dissolved Solids           | mg/L                            | 500  | 148                  | 10     | 9270645  |
| No Fill                          | No Exceedance                   |      |                      |        |          |
| Grey                             | Exceeds 1 criteria policy/level |      |                      |        |          |
| Black                            | Exceeds both criteria/levels    |      |                      |        |          |
| RDL = Reportable Detection Limit |                                 |      |                      |        |          |



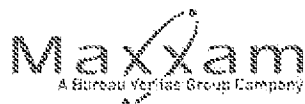
Success Through Science

Maxxam Job #: B8A8657  
Report Date: 2018/12/24

Hy-Geo Consulting  
Client Project #: GALIANO

**VIHA PKG, WELLS/SPRINGS - VICTORIA (DRINKING WATER)**

|                                  |                                 |            |            |            |                      |        |          |
|----------------------------------|---------------------------------|------------|------------|------------|----------------------|--------|----------|
| Maxxam ID                        |                                 |            |            |            | UY3839               |        |          |
| Sampling Date                    |                                 |            |            |            | 2018/12/12<br>14:50  |        |          |
| COC Number                       |                                 |            |            |            | WI019995             |        |          |
|                                  | UNITS                           | MAC        | AO         | OG         | GEORGIA VIEW<br>WELL | RDL    | QC Batch |
| Misc. Inorganics                 |                                 |            |            |            |                      |        |          |
| UV absorbance (254nm)            | AU/cm                           | -          | -          | -          | 0.069                | 0.010  | 9271031  |
| ANIONS                           |                                 |            |            |            |                      |        |          |
| Nitrite (N)                      | mg/L                            | 1          | -          | -          | <0.0050              | 0.0050 | 9266129  |
| Calculated Parameters            |                                 |            |            |            |                      |        |          |
| Total Hardness (CaCO3)           | mg/L                            | -          | -          | -          | 19.8                 | 0.50   | 9264298  |
| Nitrate (N)                      | mg/L                            | 10         | -          | -          | 0.104                | 0.020  | 9264743  |
| Total Organic Nitrogen (N)       | mg/L                            | -          | -          | -          | 0.069                | 0.020  | 9264746  |
| Transmittance at 254nm           | %T/cm                           | -          | -          | -          | 85.3                 | N/A    | 9264766  |
| Misc. Inorganics                 |                                 |            |            |            |                      |        |          |
| Fluoride (F)                     | mg/L                            | 1.5        | -          | -          | 1.10                 | 0.020  | 9269737  |
| Alkalinity (Total as CaCO3)      | mg/L                            | -          | -          | -          | 95.7                 | 1.0    | 9266609  |
| Alkalinity (PP as CaCO3)         | mg/L                            | -          | -          | -          | <1.0                 | 1.0    | 9266609  |
| Bicarbonate (HCO3)               | mg/L                            | -          | -          | -          | 117                  | 1.0    | 9266609  |
| Carbonate (CO3)                  | mg/L                            | -          | -          | -          | <1.0                 | 1.0    | 9266609  |
| Hydroxide (OH)                   | mg/L                            | -          | -          | -          | <1.0                 | 1.0    | 9266609  |
| Anions                           |                                 |            |            |            |                      |        |          |
| Dissolved Sulphate (SO4)         | mg/L                            | -          | 500        | -          | 3.8                  | 1.0    | 9268101  |
| Dissolved Chloride (Cl)          | mg/L                            | -          | 250        | -          | 10                   | 1.0    | 9268888  |
| Nutrients                        |                                 |            |            |            |                      |        |          |
| Total Ammonia (N)                | mg/L                            | -          | -          | -          | <0.020               | 0.020  | 9271811  |
| Nitrate plus Nitrite (N)         | mg/L                            | -          | -          | -          | 0.104                | 0.020  | 9266126  |
| Total Nitrogen (N)               | mg/L                            | -          | -          | -          | 0.173                | 0.020  | 9268896  |
| Physical Properties              |                                 |            |            |            |                      |        |          |
| Conductivity                     | uS/cm                           | -          | -          | -          | 223                  | 2.0    | 9266608  |
| pH                               | pH                              | -          | -          | 7.0:10.5   | 7.66                 |        | 9266607  |
| Physical Properties              |                                 |            |            |            |                      |        |          |
| Turbidity                        | NTU                             | see remark | see remark | see remark | 0.66                 | 0.10   | 9266020  |
| Elements                         |                                 |            |            |            |                      |        |          |
| Total Mercury (Hg)               | ug/L                            | 1          | -          | -          | <0.0020              | 0.0020 | 9266135  |
| Total Metals by ICPMS            |                                 |            |            |            |                      |        |          |
| Total Aluminum (Al)              | ug/L                            | -          | -          | 100        | 84.6                 | 3.0    | 9266380  |
| No Fill                          | No Exceedance                   |            |            |            |                      |        |          |
| Grey                             | Exceeds 1 criteria policy/level |            |            |            |                      |        |          |
| Black                            | Exceeds both criteria/levels    |            |            |            |                      |        |          |
| RDL = Reportable Detection Limit |                                 |            |            |            |                      |        |          |
| N/A = Not Applicable             |                                 |            |            |            |                      |        |          |



Success Through Sciences

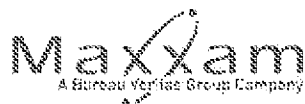
Maxxam Job #: B8A8657  
Report Date: 2018/12/24

Hy-Geo Consulting  
Client Project #: GALIANO

### VIHA PKG, WELLS/SPRINGS - VICTORIA (DRINKING WATER)

|                                  |                                 |      |      |    |                      |       |          |
|----------------------------------|---------------------------------|------|------|----|----------------------|-------|----------|
| Maxxam ID                        |                                 |      |      |    | UY3839               |       |          |
| Sampling Date                    |                                 |      |      |    | 2018/12/12<br>14:50  |       |          |
| COC Number                       |                                 |      |      |    | WI019995             |       |          |
|                                  | UNITS                           | MAC  | AO   | OG | GEORGIA VIEW<br>WELL | RDL   | QC Batch |
| Total Antimony (Sb)              | ug/L                            | 6    | -    | -  | <0.50                | 0.50  | 9266380  |
| Total Arsenic (As)               | ug/L                            | 10   | -    | -  | <0.10                | 0.10  | 9266380  |
| Total Barium (Ba)                | ug/L                            | 1000 | -    | -  | <1.0                 | 1.0   | 9266380  |
| Total Beryllium (Be)             | ug/L                            | -    | -    | -  | <0.10                | 0.10  | 9266380  |
| Total Bismuth (Bi)               | ug/L                            | -    | -    | -  | <1.0                 | 1.0   | 9266380  |
| Total Boron (B)                  | ug/L                            | 5000 | -    | -  | 521                  | 50    | 9266380  |
| Total Cadmium (Cd)               | ug/L                            | 5    | -    | -  | <0.010               | 0.010 | 9266380  |
| Total Chromium (Cr)              | ug/L                            | 50   | -    | -  | <1.0                 | 1.0   | 9266380  |
| Total Cobalt (Co)                | ug/L                            | -    | -    | -  | <0.20                | 0.20  | 9266380  |
| Total Copper (Cu)                | ug/L                            | -    | 1000 | -  | 3.34                 | 0.20  | 9266380  |
| Total Iron (Fe)                  | ug/L                            | -    | 300  | -  | 47.9                 | 5.0   | 9266380  |
| Total Lead (Pb)                  | ug/L                            | 10   | -    | -  | 0.20                 | 0.20  | 9266380  |
| Total Manganese (Mn)             | ug/L                            | -    | 50   | -  | 20.8                 | 1.0   | 9266380  |
| Total Molybdenum (Mo)            | ug/L                            | -    | -    | -  | 3.6                  | 1.0   | 9266380  |
| Total Nickel (Ni)                | ug/L                            | -    | -    | -  | <1.0                 | 1.0   | 9266380  |
| Total Selenium (Se)              | ug/L                            | 50   | -    | -  | <0.10                | 0.10  | 9266380  |
| Total Silicon (Si)               | ug/L                            | -    | -    | -  | 6310                 | 100   | 9266380  |
| Total Silver (Ag)                | ug/L                            | -    | -    | -  | <0.020               | 0.020 | 9266380  |
| Total Strontium (Sr)             | ug/L                            | -    | -    | -  | 24.2                 | 1.0   | 9266380  |
| Total Thallium (Tl)              | ug/L                            | -    | -    | -  | <0.010               | 0.010 | 9266380  |
| Total Tin (Sn)                   | ug/L                            | -    | -    | -  | <5.0                 | 5.0   | 9266380  |
| Total Titanium (Ti)              | ug/L                            | -    | -    | -  | <5.0                 | 5.0   | 9266380  |
| Total Uranium (U)                | ug/L                            | 20   | -    | -  | <0.10                | 0.10  | 9266380  |
| Total Vanadium (V)               | ug/L                            | -    | -    | -  | <5.0                 | 5.0   | 9266380  |
| Total Zinc (Zn)                  | ug/L                            | -    | 5000 | -  | <5.0                 | 5.0   | 9266380  |
| Total Zirconium (Zr)             | ug/L                            | -    | -    | -  | 0.13                 | 0.10  | 9266380  |
| Total Calcium (Ca)               | mg/L                            | -    | -    | -  | 7.58                 | 0.050 | 9264736  |
| Total Magnesium (Mg)             | mg/L                            | -    | -    | -  | 0.225                | 0.050 | 9264736  |
| Total Potassium (K)              | mg/L                            | -    | -    | -  | 0.122                | 0.050 | 9264736  |
| Total Sodium (Na)                | mg/L                            | -    | 200  | -  | 43.5                 | 0.050 | 9264736  |
| Total Sulphur (S)                | mg/L                            | -    | -    | -  | <3.0                 | 3.0   | 9264736  |
| Microbiological Param.           |                                 |      |      |    |                      |       |          |
| Heterotrophic Plate Count        | CFU/mL                          | -    | -    | -  | 10                   | 1     | 9268162  |
| No Fill                          | No Exceedance                   |      |      |    |                      |       |          |
| Grey                             | Exceeds 1 criteria policy/level |      |      |    |                      |       |          |
| Black                            | Exceeds both criteria/levels    |      |      |    |                      |       |          |
| RDL = Reportable Detection Limit |                                 |      |      |    |                      |       |          |





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Maxxam Job #: B8A8657  
Report Date: 2018/12/24

Hy-Geo Consulting  
Client Project #: GALIANO

**VIHA PKG, WELLS/SPRINGS - VICTORIA (DRINKING WATER)**

|                                         |                                 |     |    |    |                      |     |          |
|-----------------------------------------|---------------------------------|-----|----|----|----------------------|-----|----------|
| Maxxam ID                               |                                 |     |    |    | UY3839               |     |          |
| Sampling Date                           |                                 |     |    |    | 2018/12/12<br>14:50  |     |          |
| COC Number                              |                                 |     |    |    | WI019995             |     |          |
|                                         | UNITS                           | MAC | AO | OG | GEORGIA VIEW<br>WELL | RDL | QC Batch |
| Iron Bacteria                           | CFU/mL                          | -   | -  | -  | SEE NOTE (1)         | 25  | 9269614  |
| Sulphate reducing bacteria              | CFU/mL                          | -   | -  | -  | <75                  | 75  | 9273812  |
| Total Coliforms                         | CFU/100mL                       | 0   | -  | -  | 8.0                  | N/A | 9268150  |
| E. coli                                 | CFU/100mL                       | 0   | -  | -  | 0                    | N/A | 9268150  |
| Calculated Parameters                   |                                 |     |    |    |                      |     |          |
| Langelier Index (@ 4.4C)                | N/A                             | -   | -  | -  | -1.40                | N/A | 9264751  |
| Langelier Index (@ 60C)                 | N/A                             | -   | -  | -  | -0.356               | N/A | 9264755  |
| Saturation pH (@ 4.4C)                  | N/A                             | -   | -  | -  | 9.06                 | N/A | 9264751  |
| Saturation pH (@ 60C)                   | N/A                             | -   | -  | -  | 8.02                 | N/A | 9264755  |
| No Fill                                 | No Exceedance                   |     |    |    |                      |     |          |
| Grey                                    | Exceeds 1 criteria policy/level |     |    |    |                      |     |          |
| Black                                   | Exceeds both criteria/levels    |     |    |    |                      |     |          |
| RDL = Reportable Detection Limit        |                                 |     |    |    |                      |     |          |
| N/A = Not Applicable                    |                                 |     |    |    |                      |     |          |
| (1) A range of 9,000 - 35,000 is given. |                                 |     |    |    |                      |     |          |



Success Through Science

Maxxam Job #: B8A8657  
Report Date: 2018/12/24

Hy-Geo Consulting  
Client Project #: GALIANO

**CCME DISSOLVED METALS IN WATER (DRINKING WATER)**

|                                  |                                 |      |      |     |                      |       |          |
|----------------------------------|---------------------------------|------|------|-----|----------------------|-------|----------|
| Maxxam ID                        |                                 |      |      |     | UY3839               |       |          |
| Sampling Date                    |                                 |      |      |     | 2018/12/12<br>14:50  |       |          |
| COC Number                       |                                 |      |      |     | WI019995             |       |          |
|                                  | UNITS                           | MAC  | AO   | OG  | GEORGIA VIEW<br>WELL | RDL   | QC Batch |
| Calculated Parameters            |                                 |      |      |     |                      |       |          |
| Dissolved Hardness (CaCO3)       | mg/L                            | -    | -    | -   | 19.8                 | 0.50  | 9263908  |
| Dissolved Metals by ICPMS        |                                 |      |      |     |                      |       |          |
| Dissolved Aluminum (Al)          | ug/L                            | -    | -    | 100 | 58.8                 | 3.0   | 9266062  |
| Dissolved Antimony (Sb)          | ug/L                            | 6    | -    | -   | <0.50                | 0.50  | 9266062  |
| Dissolved Arsenic (As)           | ug/L                            | 10   | -    | -   | <0.10                | 0.10  | 9266062  |
| Dissolved Barium (Ba)            | ug/L                            | 1000 | -    | -   | <1.0                 | 1.0   | 9266062  |
| Dissolved Beryllium (Be)         | ug/L                            | -    | -    | -   | <0.10                | 0.10  | 9266062  |
| Dissolved Bismuth (Bi)           | ug/L                            | -    | -    | -   | <1.0                 | 1.0   | 9266062  |
| Dissolved Boron (B)              | ug/L                            | 5000 | -    | -   | 514                  | 50    | 9266062  |
| Dissolved Cadmium (Cd)           | ug/L                            | 5    | -    | -   | <0.010               | 0.010 | 9266062  |
| Dissolved Chromium (Cr)          | ug/L                            | 50   | -    | -   | <1.0                 | 1.0   | 9266062  |
| Dissolved Cobalt (Co)            | ug/L                            | -    | -    | -   | <0.20                | 0.20  | 9266062  |
| Dissolved Copper (Cu)            | ug/L                            | -    | 1000 | -   | 1.95                 | 0.20  | 9266062  |
| Dissolved Iron (Fe)              | ug/L                            | -    | 300  | -   | 24.6                 | 5.0   | 9266062  |
| Dissolved Lead (Pb)              | ug/L                            | 10   | -    | -   | <0.20                | 0.20  | 9266062  |
| Dissolved Lithium (Li)           | ug/L                            | -    | -    | -   | 11.0                 | 2.0   | 9266062  |
| Dissolved Manganese (Mn)         | ug/L                            | -    | 50   | -   | 20.1                 | 1.0   | 9266062  |
| Dissolved Molybdenum (Mo)        | ug/L                            | -    | -    | -   | 3.7                  | 1.0   | 9266062  |
| Dissolved Nickel (Ni)            | ug/L                            | -    | -    | -   | <1.0                 | 1.0   | 9266062  |
| Dissolved Selenium (Se)          | ug/L                            | 50   | -    | -   | <0.10                | 0.10  | 9266062  |
| Dissolved Silicon (Si)           | ug/L                            | -    | -    | -   | 6150                 | 100   | 9266062  |
| Dissolved Silver (Ag)            | ug/L                            | -    | -    | -   | <0.020               | 0.020 | 9266062  |
| Dissolved Strontium (Sr)         | ug/L                            | -    | -    | -   | 24.0                 | 1.0   | 9266062  |
| Dissolved Thallium (Tl)          | ug/L                            | -    | -    | -   | <0.010               | 0.010 | 9266062  |
| Dissolved Tin (Sn)               | ug/L                            | -    | -    | -   | <5.0                 | 5.0   | 9266062  |
| Dissolved Titanium (Ti)          | ug/L                            | -    | -    | -   | <5.0                 | 5.0   | 9266062  |
| Dissolved Uranium (U)            | ug/L                            | 20   | -    | -   | <0.10                | 0.10  | 9266062  |
| Dissolved Vanadium (V)           | ug/L                            | -    | -    | -   | <5.0                 | 5.0   | 9266062  |
| Dissolved Zinc (Zn)              | ug/L                            | -    | 5000 | -   | <5.0                 | 5.0   | 9266062  |
| Dissolved Zirconium (Zr)         | ug/L                            | -    | -    | -   | <0.10                | 0.10  | 9266062  |
| Dissolved Calcium (Ca)           | mg/L                            | -    | -    | -   | 7.56                 | 0.050 | 9264301  |
| Dissolved Magnesium (Mg)         | mg/L                            | -    | -    | -   | 0.221                | 0.050 | 9264301  |
| No Fill                          | No Exceedance                   |      |      |     |                      |       |          |
| Grey                             | Exceeds 1 criteria policy/level |      |      |     |                      |       |          |
| Black                            | Exceeds both criteria/levels    |      |      |     |                      |       |          |
| RDL = Reportable Detection Limit |                                 |      |      |     |                      |       |          |



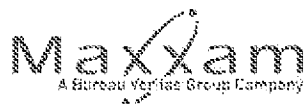
Success Through Science

Maxxam Job #: B8A8657  
Report Date: 2018/12/24

Hy-Geo Consulting  
Client Project #: GALIANO

**CCME DISSOLVED METALS IN WATER (DRINKING WATER)**

|                                  |                                 |     |     |    |                      |       |          |
|----------------------------------|---------------------------------|-----|-----|----|----------------------|-------|----------|
| Maxxam ID                        |                                 |     |     |    | UY3839               |       |          |
| Sampling Date                    |                                 |     |     |    | 2018/12/12<br>14:50  |       |          |
| COC Number                       |                                 |     |     |    | WI019995             |       |          |
|                                  | UNITS                           | MAC | AO  | OG | GEORGIA VIEW<br>WELL | RDL   | QC Batch |
| Dissolved Potassium (K)          | mg/L                            | -   | -   | -  | 0.122                | 0.050 | 9264301  |
| Dissolved Sodium (Na)            | mg/L                            | -   | 200 | -  | 44.3                 | 0.050 | 9264301  |
| Dissolved Sulphur (S)            | mg/L                            | -   | -   | -  | <3.0                 | 3.0   | 9264301  |
| No Fill                          | No Exceedance                   |     |     |    |                      |       |          |
| Grey                             | Exceeds 1 criteria policy/level |     |     |    |                      |       |          |
| Black                            | Exceeds both criteria/levels    |     |     |    |                      |       |          |
| RDL = Reportable Detection Limit |                                 |     |     |    |                      |       |          |



Success Through Science

Maxxam Job #: B8A8657  
Report Date: 2018/12/24

Hy-Geo Consulting  
Client Project #: GALIANO

### GENERAL COMMENTS

Each temperature is the average of up to three cooler temperatures taken at receipt

|           |       |
|-----------|-------|
| Package 1 | 8.0°C |
|-----------|-------|

Sample UY3839 [GEORGIA VIEW WELL] : Sample was analyzed past method specified hold time for UV absorbance @254nm-Unfiltered. Exceedance of hold time increases the uncertainty of test results but does not necessarily imply that results are compromised.

MAC,AO,OG: The guidelines that have been included in this report have been taken from the Canadian Drinking Water Quality Summary Table, February 2017.

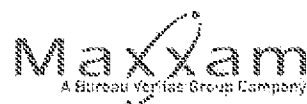
Criteria A = Maximum Acceptable Concentration (MAC) / Criteria B = Aesthetic Objectives (AO) / Criteria C = Operational Guidance Values (OG)  
It is recommended to consult these guidelines when interpreting your data since there are non-numerical guidelines that are not included on this report.

**Turbidity Guidelines:**

1. Chemically assisted filtration: less than or equal to 0.3 NTU in 95% of the measurements or 95% of the time each month. Shall not exceed 1.0 NTU at any time.
2. Slow sand / diatomaceous earth filtration: less than or equal to 1.0 NTU in 95% of the measurements or 95% of the time each month. Shall not exceed 3.0 NTU at any time.
3. Membrane filtration: less than or equal to 0.1 NTU in 99% of the measurements made or at least 99% of the time each calendar month. Shall not exceed 0.3 NTU at any time.
4. To ensure effectiveness of disinfection and for good operation of the distribution system, it is recommended that water entering the distribution system have turbidity levels of 1.0 NTU or less.

Measurement of Uncertainty has not been accounted for when stating conformity to the selected criteria, where applicable.

**Results relate only to the items tested.**



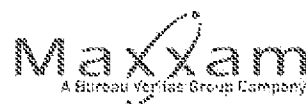
Maxxam Job #: B8A8657  
Report Date: 2018/12/24

### QUALITY ASSURANCE REPORT

Hy-Geo Consulting  
Client Project #: GALIANO

Success Through Science

| QC Batch | Parameter                 | Date       | Matrix Spike |           | Spiked Blank |           | Method Blank |       | RPD       |           |
|----------|---------------------------|------------|--------------|-----------|--------------|-----------|--------------|-------|-----------|-----------|
|          |                           |            | % Recovery   | QC Limits | % Recovery   | QC Limits | Value        | UNITS | Value (%) | QC Limits |
| 9266020  | Turbidity                 | 2018/12/14 |              |           | 101          | 80 - 120  | <0.10        | NTU   | 5.4       | 20        |
| 9266062  | Dissolved Aluminum (Al)   | 2018/12/15 | 97           | 80 - 120  | 107          | 80 - 120  | <3.0         | ug/L  | 1.7       | 20        |
| 9266062  | Dissolved Antimony (Sb)   | 2018/12/15 | 99           | 80 - 120  | 101          | 80 - 120  | <0.50        | ug/L  | NC        | 20        |
| 9266062  | Dissolved Arsenic (As)    | 2018/12/15 | 98           | 80 - 120  | 102          | 80 - 120  | <0.10        | ug/L  | NC        | 20        |
| 9266062  | Dissolved Barium (Ba)     | 2018/12/15 | 98           | 80 - 120  | 101          | 80 - 120  | <1.0         | ug/L  | NC        | 20        |
| 9266062  | Dissolved Beryllium (Be)  | 2018/12/15 | 96           | 80 - 120  | 98           | 80 - 120  | <0.10        | ug/L  | NC        | 20        |
| 9266062  | Dissolved Bismuth (Bi)    | 2018/12/15 | 95           | 80 - 120  | 100          | 80 - 120  | <1.0         | ug/L  | NC        | 20        |
| 9266062  | Dissolved Boron (B)       | 2018/12/15 | NC           | 80 - 120  | 97           | 80 - 120  | <50          | ug/L  | 0.50      | 20        |
| 9266062  | Dissolved Cadmium (Cd)    | 2018/12/15 | 99           | 80 - 120  | 101          | 80 - 120  | <0.010       | ug/L  | NC        | 20        |
| 9266062  | Dissolved Chromium (Cr)   | 2018/12/15 | 89           | 80 - 120  | 98           | 80 - 120  | <1.0         | ug/L  | NC        | 20        |
| 9266062  | Dissolved Cobalt (Co)     | 2018/12/15 | 87           | 80 - 120  | 96           | 80 - 120  | <0.20        | ug/L  | NC        | 20        |
| 9266062  | Dissolved Copper (Cu)     | 2018/12/15 | 86           | 80 - 120  | 96           | 80 - 120  | <0.20        | ug/L  | 1.1       | 20        |
| 9266062  | Dissolved Iron (Fe)       | 2018/12/15 | 99           | 80 - 120  | 104          | 80 - 120  | <5.0         | ug/L  | 2.5       | 20        |
| 9266062  | Dissolved Lead (Pb)       | 2018/12/15 | 97           | 80 - 120  | 100          | 80 - 120  | <0.20        | ug/L  | NC        | 20        |
| 9266062  | Dissolved Lithium (Li)    | 2018/12/15 | 93           | 80 - 120  | 99           | 80 - 120  | <2.0         | ug/L  | 2.9       | 20        |
| 9266062  | Dissolved Manganese (Mn)  | 2018/12/15 | 88           | 80 - 120  | 98           | 80 - 120  | <1.0         | ug/L  | 3.3       | 20        |
| 9266062  | Dissolved Molybdenum (Mo) | 2018/12/15 | 100          | 80 - 120  | 102          | 80 - 120  | <1.0         | ug/L  | 0.40      | 20        |
| 9266062  | Dissolved Nickel (Ni)     | 2018/12/15 | 89           | 80 - 120  | 98           | 80 - 120  | <1.0         | ug/L  | NC        | 20        |
| 9266062  | Dissolved Selenium (Se)   | 2018/12/15 | 90           | 80 - 120  | 99           | 80 - 120  | <0.10        | ug/L  | NC        | 20        |
| 9266062  | Dissolved Silicon (Si)    | 2018/12/15 | NC           | 80 - 120  | 104          | 80 - 120  | <100         | ug/L  | 3.4       | 20        |
| 9266062  | Dissolved Silver (Ag)     | 2018/12/15 | 94           | 80 - 120  | 100          | 80 - 120  | <0.020       | ug/L  | NC        | 20        |
| 9266062  | Dissolved Strontium (Sr)  | 2018/12/15 | 102          | 80 - 120  | 103          | 80 - 120  | <1.0         | ug/L  | 1.9       | 20        |
| 9266062  | Dissolved Thallium (Tl)   | 2018/12/15 | 100          | 80 - 120  | 99           | 80 - 120  | <0.010       | ug/L  | NC        | 20        |
| 9266062  | Dissolved Tin (Sn)        | 2018/12/15 | 97           | 80 - 120  | 99           | 80 - 120  | <5.0         | ug/L  | NC        | 20        |
| 9266062  | Dissolved Titanium (Ti)   | 2018/12/15 | 92           | 80 - 120  | 101          | 80 - 120  | <5.0         | ug/L  | NC        | 20        |
| 9266062  | Dissolved Uranium (U)     | 2018/12/15 | 100          | 80 - 120  | 102          | 80 - 120  | <0.10        | ug/L  | NC        | 20        |
| 9266062  | Dissolved Vanadium (V)    | 2018/12/15 | 91           | 80 - 120  | 100          | 80 - 120  | <5.0         | ug/L  | NC        | 20        |
| 9266062  | Dissolved Zinc (Zn)       | 2018/12/15 | 92           | 80 - 120  | 102          | 80 - 120  | <5.0         | ug/L  | NC        | 20        |
| 9266062  | Dissolved Zirconium (Zr)  | 2018/12/15 | 100          | 80 - 120  | 100          | 80 - 120  | <0.10        | ug/L  | NC        | 20        |
| 9266126  | Nitrate plus Nitrite (N)  | 2018/12/14 | 95           | 80 - 120  | 105          | 80 - 120  | <0.020       | mg/L  | 9.5       | 25        |
| 9266129  | Nitrite (N)               | 2018/12/14 | 92           | 80 - 120  | 100          | 80 - 120  | <0.0050      | mg/L  | NC        | 20        |
| 9266135  | Total Mercury (Hg)        | 2018/12/14 | 90           | 80 - 120  | 90           | 80 - 120  | <0.0020      | ug/L  | NC        | 20        |
| 9266380  | Total Aluminum (Al)       | 2018/12/14 | 108          | 80 - 120  | 108          | 80 - 120  | <3.0         | ug/L  | NC        | 20        |



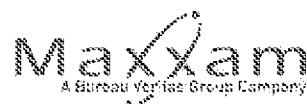
Enrich Through Science

Maxxam Job #: B8A8657  
Report Date: 2018/12/24

## QUALITY ASSURANCE REPORT(CONT'D)

Hy-Geo Consulting  
Client Project #: GALIANO

| QC Batch | Parameter                                | Date       | Matrix Spike |           | Spiked Blank |           | Method Blank |       | RPD       |           |
|----------|------------------------------------------|------------|--------------|-----------|--------------|-----------|--------------|-------|-----------|-----------|
|          |                                          |            | % Recovery   | QC Limits | % Recovery   | QC Limits | Value        | UNITS | Value (%) | QC Limits |
| 9266380  | Total Antimony (Sb)                      | 2018/12/14 | 100          | 80 - 120  | 100          | 80 - 120  | <0.50        | ug/L  | NC        | 20        |
| 9266380  | Total Arsenic (As)                       | 2018/12/14 | 104          | 80 - 120  | 103          | 80 - 120  | <0.10        | ug/L  | 2.9       | 20        |
| 9266380  | Total Barium (Ba)                        | 2018/12/14 | 96           | 80 - 120  | 99           | 80 - 120  | <1.0         | ug/L  | 1.5       | 20        |
| 9266380  | Total Beryllium (Be)                     | 2018/12/14 | 100          | 80 - 120  | 101          | 80 - 120  | <0.10        | ug/L  | NC        | 20        |
| 9266380  | Total Bismuth (Bi)                       | 2018/12/14 | 98           | 80 - 120  | 99           | 80 - 120  | <1.0         | ug/L  | NC        | 20        |
| 9266380  | Total Boron (B)                          | 2018/12/14 | 101          | 80 - 120  | 102          | 80 - 120  | <50          | ug/L  | NC        | 20        |
| 9266380  | Total Cadmium (Cd)                       | 2018/12/14 | 101          | 80 - 120  | 101          | 80 - 120  | <0.010       | ug/L  | NC        | 20        |
| 9266380  | Total Chromium (Cr)                      | 2018/12/14 | 97           | 80 - 120  | 98           | 80 - 120  | <1.0         | ug/L  | NC        | 20        |
| 9266380  | Total Cobalt (Co)                        | 2018/12/14 | 95           | 80 - 120  | 96           | 80 - 120  | <0.20        | ug/L  | NC        | 20        |
| 9266380  | Total Copper (Cu)                        | 2018/12/14 | 94           | 80 - 120  | 96           | 80 - 120  | <0.20        | ug/L  | 1.2       | 20        |
| 9266380  | Total Iron (Fe)                          | 2018/12/14 | 101          | 80 - 120  | 104          | 80 - 120  | <5.0         | ug/L  | 1.2       | 20        |
| 9266380  | Total Lead (Pb)                          | 2018/12/14 | 100          | 80 - 120  | 100          | 80 - 120  | <0.20        | ug/L  | 2.6       | 20        |
| 9266380  | Total Manganese (Mn)                     | 2018/12/14 | 98           | 80 - 120  | 99           | 80 - 120  | <1.0         | ug/L  | 4.4       | 20        |
| 9266380  | Total Molybdenum (Mo)                    | 2018/12/14 | 103          | 80 - 120  | 101          | 80 - 120  | <1.0         | ug/L  | 0.82      | 20        |
| 9266380  | Total Nickel (Ni)                        | 2018/12/14 | 95           | 80 - 120  | 97           | 80 - 120  | <1.0         | ug/L  | NC        | 20        |
| 9266380  | Total Selenium (Se)                      | 2018/12/14 | 104          | 80 - 120  | 101          | 80 - 120  | <0.10        | ug/L  | 0.72      | 20        |
| 9266380  | Total Silicon (Si)                       | 2018/12/14 | NC           | 80 - 120  | 104          | 80 - 120  | <100         | ug/L  | 0.26      | 20        |
| 9266380  | Total Silver (Ag)                        | 2018/12/14 | 99           | 80 - 120  | 101          | 80 - 120  | <0.020       | ug/L  | NC        | 20        |
| 9266380  | Total Strontium (Sr)                     | 2018/12/14 | NC           | 80 - 120  | 102          | 80 - 120  | <1.0         | ug/L  | 0.025     | 20        |
| 9266380  | Total Thallium (Tl)                      | 2018/12/14 | 99           | 80 - 120  | 99           | 80 - 120  | <0.010       | ug/L  | NC        | 20        |
| 9266380  | Total Tin (Sn)                           | 2018/12/14 | 99           | 80 - 120  | 99           | 80 - 120  | <5.0         | ug/L  | NC        | 20        |
| 9266380  | Total Titanium (Ti)                      | 2018/12/14 | 102          | 80 - 120  | 101          | 80 - 120  | <5.0         | ug/L  | NC        | 20        |
| 9266380  | Total Uranium (U)                        | 2018/12/14 | 104          | 80 - 120  | 102          | 80 - 120  | <0.10        | ug/L  | 3.5       | 20        |
| 9266380  | Total Vanadium (V)                       | 2018/12/14 | 100          | 80 - 120  | 98           | 80 - 120  | <5.0         | ug/L  | NC        | 20        |
| 9266380  | Total Zinc (Zn)                          | 2018/12/14 | NC           | 80 - 120  | 103          | 80 - 120  | <5.0         | ug/L  | 0.039     | 20        |
| 9266380  | Total Zirconium (Zr)                     | 2018/12/14 | 101          | 80 - 120  | 100          | 80 - 120  | <0.10        | ug/L  | NC        | 20        |
| 9266607  | pH                                       | 2018/12/15 |              |           | 101          | 97 - 103  |              |       | 0.30      | 20        |
| 9266608  | Conductivity                             | 2018/12/15 |              |           | 101          | 80 - 120  | <2.0         | uS/cm |           |           |
| 9266609  | Alkalinity (PP as CaCO <sub>3</sub> )    | 2018/12/15 |              |           |              |           | <1.0         | mg/L  | NC        | 20        |
| 9266609  | Alkalinity (Total as CaCO <sub>3</sub> ) | 2018/12/15 | 106          | 80 - 120  | 102          | 80 - 120  | <1.0         | mg/L  | 7.8       | 20        |
| 9266609  | Bicarbonate (HCO <sub>3</sub> )          | 2018/12/15 |              |           |              |           | <1.0         | mg/L  | 7.8       | 20        |
| 9266609  | Carbonate (CO <sub>3</sub> )             | 2018/12/15 |              |           |              |           | <1.0         | mg/L  | NC        | 20        |
| 9266609  | Hydroxide (OH)                           | 2018/12/15 |              |           |              |           | <1.0         | mg/L  | NC        | 20        |



Maxxam Job #: B8A8657  
Report Date: 2018/12/24

### QUALITY ASSURANCE REPORT(CONT'D)

Hy-Geo Consulting  
Client Project #: GALIANO

*Success Through Science*

| QC Batch | Parameter                             | Date       | Matrix Spike |           | Spiked Blank |           | Method Blank |           | RPD       |           |
|----------|---------------------------------------|------------|--------------|-----------|--------------|-----------|--------------|-----------|-----------|-----------|
|          |                                       |            | % Recovery   | QC Limits | % Recovery   | QC Limits | Value        | UNITS     | Value (%) | QC Limits |
| 9267531  | True Colour                           | 2018/12/15 |              |           | 97           | 80 - 120  | <5.0         | Col. Unit | NC        | 20        |
| 9267665  | Total Sulphide                        | 2018/12/16 |              |           | 102          | 80 - 120  | <0.0019      | mg/L      | NC        | 20        |
| 9268101  | Dissolved Sulphate (SO <sub>4</sub> ) | 2018/12/14 |              |           | 94           | 80 - 120  | <1.0         | mg/L      | 1.8       | 20        |
| 9268888  | Dissolved Chloride (Cl)               | 2018/12/17 |              |           | 105          | 80 - 120  | <1.0         | mg/L      |           |           |
| 9268896  | Total Nitrogen (N)                    | 2018/12/18 | 114          | 80 - 120  | 89           | 80 - 120  | <0.020       | mg/L      | NC        | 20        |
| 9269737  | Fluoride (F)                          | 2018/12/18 | 105          | 80 - 120  | 102          | 80 - 120  | <0.020       | mg/L      | 1.8       | 20        |
| 9269890  | Total Organic Carbon (C)              | 2018/12/19 | 117          | 80 - 120  | 99           | 80 - 120  | <0.50        | mg/L      | 0.85      | 20        |
| 9270645  | Total Dissolved Solids                | 2018/12/21 | 100          | 80 - 120  | 98           | 80 - 120  | <10          | mg/L      | 4.0       | 20        |
| 9271031  | UV absorbance (254nm)                 | 2018/12/19 |              |           |              |           | <0.010       | AU/cm     | 0.72      | 20        |
| 9271811  | Total Ammonia (N)                     | 2018/12/19 | 120          | 80 - 120  | 106          | 80 - 120  | <0.020       | mg/L      | NC        | 20        |

Duplicate: Paired analysis of a separate portion of the same sample. Used to evaluate the variance in the measurement.

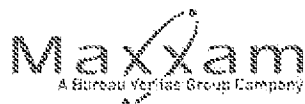
Matrix Spike: A sample to which a known amount of the analyte of interest has been added. Used to evaluate sample matrix interference.

Spiked Blank: A blank matrix sample to which a known amount of the analyte, usually from a second source, has been added. Used to evaluate method accuracy.

Method Blank: A blank matrix containing all reagents used in the analytical procedure. Used to identify laboratory contamination.

NC (Matrix Spike): The recovery in the matrix spike was not calculated. The relative difference between the concentration in the parent sample and the spike amount was too small to permit a reliable recovery calculation (matrix spike concentration was less than the native sample concentration)

NC (Duplicate RPD): The duplicate RPD was not calculated. The concentration in the sample and/or duplicate was too low to permit a reliable RPD calculation (absolute difference  $\leq 2 \times \text{RDL}$ ).



Success Through Science

Maxxam Job #: B8A8657  
Report Date: 2018/12/24

Hy-Geo Consulting  
Client Project #: GALIANO

**VALIDATION SIGNATURE PAGE**

The analytical data and all QC contained in this report were reviewed and validated by the following individual(s).

Andy Lu, Ph.D., P.Chem., Scientific Specialist

Ghayasuddin Khan, M.Sc., P.Chem., QP, Scientific Specialist, Inorganics

Laura Martin, Sample Reception/PMA

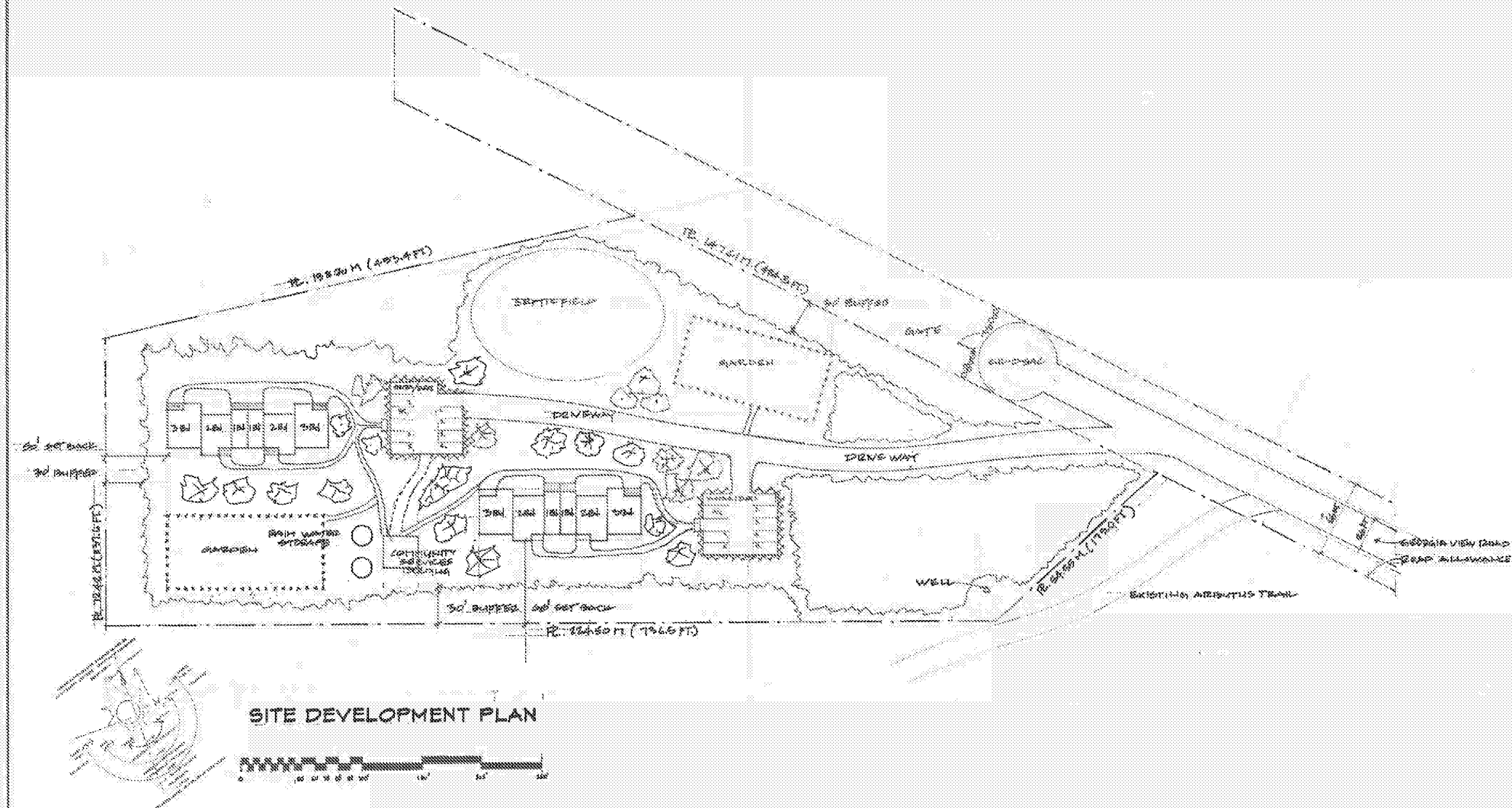
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Maxxam has procedures in place to guard against improper use of the electronic signature and have the required "signatories", as per section 5.10.2 of ISO/IEC 17025:2005(E), signing the reports. For Service Group specific validation please refer to the Validation Signature Page.



For further information and resources on result interpretation, please visit our Drinking Water Resource Centre:  
<http://mactams.ca/mactams-resource-centre-for-drinking-water-testing>

## SCHEDULE C

[illegible]

## SCHEDULE D



MSR File No. 20-569  
GIGARHS Water Management Plan

Date: March 15, 2022

To: The Gulf Islands Galisle Affordable Rental Housing Society

From: MSR Solutions

Subject: Galiano Water Management Plan

## 1. Introduction

1663 Georgia View Road is a proposed affordable housing development on Galiano Island, BC, by the Gulf Islands Galisle Affordable Rental Housing Society (GIGARHS). The preliminary concept for the development consists of 12 residential units in two six-plexes ranging from 1 to 3 bedrooms. GIGARHS has retained MSR Solutions Inc. (MSR) to investigate water demand requirements as well as the feasibility of utilizing rainwater to supplement the water system. This report has been prepared in support of an application for Rezoning made to Islands Trust.

## 2. Design Basis

### 2.1. Water Demand

Residential water demand is attributed to the following general categories:

- **Indoor Demand** – includes all regular indoor usage of water within a residence, including from sinks, toilets, showers, wash machines, dishwashers, indoor plants, etc.
- **Outdoor Demand** – includes regular outdoor usage such as irrigation and use of outdoor hoses (e.g. for washing cars).
- **Fire Demand** – only occurs when fire suppression is required; however, a water source for fire suppression must be readily available.
- **Leakage** – losses from leakage tend to increase as systems age and with the size of the system. For a newly installed small system such as proposed for GIGARHS, leakage will be minimal.

### 2.2. Water Sources

Indoor water demands will be supplied by well water. The existing well on site had a 72-hour variable rate pump test performed in December of 2018<sup>1</sup>. Tests were performed at 1.94 gpm on the first day, 3.14 gpm on the second, and 5.15 gpm on the final day. The average drawdown of the cumulative pumping was equal to 26% of the available head in the well. The Hydrogeologist has indicated that the well has a sustainable yield of at least 11 m<sup>3</sup>/d (2 USgpm).

<sup>1</sup> Alan P. Kohut, P.Eng. Hy-Geo Consulting *Report on Proposed Water Supply for Affordable Rental Housing Project, Galiano Island* (2019)



**MSR SOLUTIONS INC.**

MSR File No. 20-569  
GIGARHS Water Management Plan

A conditional water licence has recently been granted, which allows for a maximum daily quantity of 11 m<sup>3</sup>/d to be diverted, and a total annual quantity of 3188 m<sup>3</sup>/year to be diverted. Given the annual quota, the average daily flow over a one-year period is to be no larger than 8.73 m<sup>3</sup>/d. The groundwater licence requires that the water volumes diverted be measured and recorded.

To ensure the safety of the water supply, all requirements of the Drinking Water Protection Act and Drinking Water Protection regulation will be followed in regards to wellhead protection. Wellhead protection will be thoroughly assessed through the regulatory approvals through Island Health that will be required for development.

The Hy-Geo consulting report noted that “no evidence of sea water intrusion or upcoming of salt water was detected” during the 72-hour pump test (Kohut, 2019, Page 17). In a February 2021 Memorandum provided by FLNRORD, it was stated that “the subject well is fresh, located in a discharge zone and with a moderate to high topographic gradient that is likely to reduce the intrinsic susceptibility to saltwater intrusion.”<sup>2</sup> However, because the water-bearing fractures are below sea level, it recommends that best management practices<sup>3</sup> for the prevention of saltwater intrusion be adhered to. Strategies will include well level monitoring, water conservation, detection and mitigation of leakage, setting the timing of the well pump to provide “Well sipping” (Low-volume, high frequency pumping), and the provision of adequate storage.

Well capacity was confirmed in the January 16, 2022 Hy-Geo Consulting report. Monitoring results obtained between July 19, 2021 and January 2022 confirmed that results were consistent with the observations, assumptions and results reported on the pumping test carried out on well WID 46824 in 2019.

Water demand at the development will vary depending on the occupancy of the 12 units. To balance the flow from the well against varying daily demand over a 12-16 hour period, storage and replenishment must be considered.

### 2.3. Population

Several sources have been considered in estimating the potential populations for the proposed development. One method, the BC Design Guidelines for Rural Residential Community Water Systems (RRCW)<sup>4</sup>, uses a “Bed Unit Model” for determining population and assumes two occupants per bedroom. It is unlikely this number of occupants will be present but can represent a highest possible population for calculations going forward. Using Table II-9 from the BC Ministry of Health Sewerage System Standard Practice Manual (SPM) Version 3, a different population equivalent can be assigned to each unit type. These values fit more closely to MSR’s experience. These

<sup>2</sup> Government of British Columbia Ministry of Forests, Lands, Natural Resource Operations & Rural Development, *Memorandum, File 58000-38-12/20013441 Galiano AQ320 (2021)*

<sup>3</sup> Province of British Columbia *Best Practices for Prevention of Saltwater Intrusion* (2016)

<sup>4</sup> Government of British Columbia Ministry of Forests, Lands, Natural Resource Operations & Rural Development *Design Guidelines for Rural Residential Community Water Systems* (2012)



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MSR File No. 20-569  
GIGARHS Water Management Plan

options can be seen compared in Table 1 below. In the preliminary concept design, each six-plex will have two 1-bedroom, two 2-bedroom, and two 3-bedroom units, for a total of four of each unit type.

*Table 1: Occupancy Equivalents*

| Units                  | RRCW Bed Unit Model Occupancy per Unit | SPM Occupancy per Unit |
|------------------------|----------------------------------------|------------------------|
| <b>1 Bedroom (x4)</b>  | 2                                      | 2                      |
| <b>2 Bedrooms (x4)</b> | 4                                      | 3                      |
| <b>3 Bedrooms (x4)</b> | 6                                      | 3.75                   |
| <b>Total</b>           | 48                                     | 35                     |

GIGARHS estimates occupancy between 32 and 48 persons. It was also requested that the water management plan account for a maximum number of occupants. Therefore, estimated water use was done using an anticipated population of 35 persons (SPM values) and a maximum population of 48 persons (RRCW and theoretical max by GIGARHS).

## 2.4. Indoor Water Demand for Anticipated Use

Using the maximum and minimum population buildouts and projected flows, the total water demand can be calculated. The RRCW uses an Average Daily Demand (ADD) of 230 L/person/day. These guidelines are generally over-estimations of actual use in small systems built with modern low-flow fixtures. For a user based average flow we can use the Capital Regional Districts (CRD) data of 232 L/p/d along with an estimate of indoor usage percentage (72%) to come to an average of 167 L/p/d for indoor use. Based on a previous assessment by Hy-Geo (2019), GIGARHS has worked with an estimated 182 L/p/d which comes from user data from a similar development on Mayne Island, BC (Kohut, 2019, Appendix A). All three values were used as a comparison with the chosen maximum and minimum populations, to show a range of potential water demands. Results are in Table 2.

*Table 2: Average Daily Demand using RRCW, CRD, and Experience flows*

|                             | RRCW  |        | CRD   |       | MSR Experience |       |
|-----------------------------|-------|--------|-------|-------|----------------|-------|
| <b>Population (persons)</b> | 35    | 48     | 35    | 48    | 35             | 48    |
| <b>Flow (L/person/day)</b>  | 230   | 230    | 167   | 167   | 182            | 182   |
| <b>Total (L/day)</b>        | 8,050 | 11,040 | 5,845 | 8,016 | 6,370          | 8,736 |



**MSR SOLUTIONS INC.**

MSR File No. 20-569

GIGARHS Water Management Plan

The total demand in the highest case scenario (48 people @ 230 L/p/d) equals the maximum daily flow specified in the conditional water license application. This represents a maximum value of indoor usage for the development.

Water conservation measures are mandated by the current BC Plumbing Code, which requires low flow fixtures. For example, toilets must now use no more than 6 L per flush, whereas older toilets typically use 18+ L per flush. Generic guidance documents such as the RRCW still factor in older homes, thereby providing daily flows that are higher than anticipated for homes built to the current code. It can then be assumed that estimated water consumption will be less than the usage numbers provided in the RRCW. Actual flow data from the CRD and Mayne Island will provide a better estimation for required storage, with the max population of 48 residents already an overestimation and providing a factor of safety. Having storage of potable water also ensures an adequate buffer for peak events, maintenance or incidents such as a water leak that may take the treatment plant offline.

#### **2.4.1. Emergency Conditions**

Should demand become greater than the designed storage and water runs low or out, GIGARHS will initiate the following options:

1. Contact plumber to identify potential leaks or bursts in the system
2. Notify residents that water is scarce and additional conservation efforts need to be taken on a temporary basis
3. Truck in potable water to replenish the storage (Last resort, not anticipated)
4. An up to date list of on island emergency contacts will be maintained in case of emergency with water supply

The water distribution network will include valving so that the network can be isolated into smaller zones to facilitate leak detection. Detailed record drawings will provide accurate locations of all water piping and fittings to assist in locating and repairing any leaks. A regular log of a flow totalizer from the well will be maintained, allowing for the operator to spot trends in increased usage that may be due to leakage.

#### **2.5. Rainwater**

Rainwater collection will be used for the irrigation of garden areas. Rainwater availability for irrigation can be determined by the collection surface area and rainfall data. Using the average rainfall data from 1981-2010 from the Mayne Island Climate Station, in a typical year Galiano Island will see 810 mm of rain. Allowing for 20% losses in collection, a conservative estimation of 650 L/m<sup>2</sup> of available rainwater can be collected. Using preliminary unit designs, an estimate of 878 m<sup>2</sup> of roof area can be used for a collection surface for a total of 570 m<sup>3</sup> of available water in a typical year.

The distribution of rainfall events on Galiano Island are seasonal in nature, with most of the rainfall occurring between October and April, and prolonged dry periods common during summer months. Total monthly rainfall



MSR File No. 20-569  
GIGARHS Water Management Plan

available for collection (after losses) is shown in Figure 3. Storage tanks sizing will depend on expected irrigation levels.

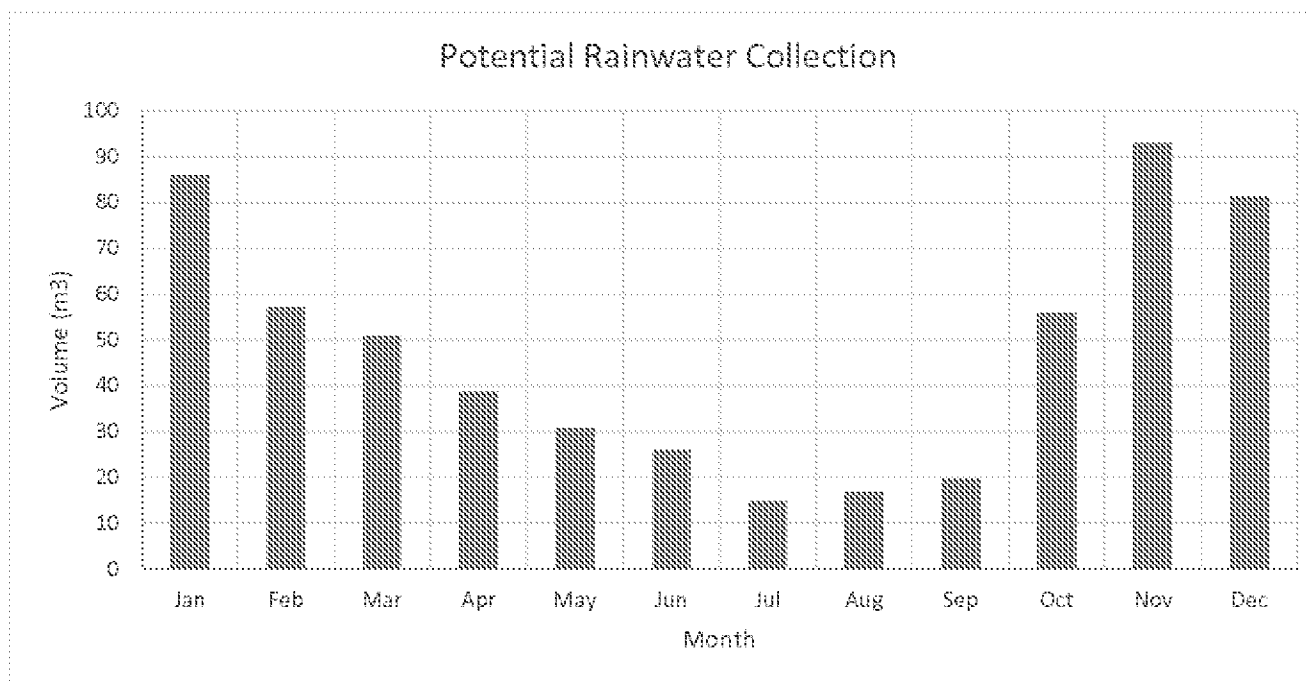


Figure 1: Potential Rainwater Collected

### 3. Treatment

Based on the Hy-Geo (2019) report, the water quality samples obtained in 2018 showed a generally clean source, with only a few parameters of concern. The Manganese levels at 20.8 µg/L slightly exceeded the new Aesthetic Objectives from the Canadian Drinking Water Guidelines. If required, based on a construction permit application with Island Health, Manganese can be removed with a media filter. Chlorine will act as an oxidant that will also reduce levels. A small amount of Total Coliform bacteria was present, along with Iron Reducing bacteria. Given the positive results for bacteria, it is anticipated that Island Health will be looking to ensure the water system is following the multiple barrier approach, which negates concerns about the well potentially being directly influenced by surface water (GUDI) or Generally at Risk to Pathogens (GARP).

An appropriately designed treatment system for the well water consisting of filtration, UV disinfection, and residual chlorination will meet Island Health requirements and ensure water is safe even after several days in the storage tanks. Filtration will be provided in 4" x 20" filter cannisters with a 5 micron and 1 micron filter, which is easily maintained by opening the cannister and replacing the cartridge. The UV systems will either be simple for a



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MSR File No. 20-569  
GIGARHS Water Management Plan

typical cleaning required every 2-3 months, or a more expensive model, which will have a built-in wiper, requiring only annual maintenance. Both UV options require annual bulb changes.

Chlorine disinfection may be kept at a residual of 0.5 mg/L to minimize concerns for odour and taste. This will also mitigate regrowth within the distribution systems, thereby reducing the frequency of line flushing. Treated water will need to be stored to meet required chlorine contact times. A minimum of 117,000 L (31,000 US gal) of storage will be required to meet the demand. Treatment components (except the storage tank) will need to be installed inside a secure, watertight building. If a dedicated water treatment building is required, keeping the building under 10 m<sup>2</sup> will prevent the need for additional permits and should be sufficient for the required treatment equipment.

#### 4. Reservoir Storage

Using *Section 4.7 – Distribution Storage Reservoirs* from of the Design Guidelines for Rural Residential Community Water Systems (2012), the storage reservoir can be designed using the following:

- **Balancing Storage:** To balance the fluctuations in domestic demands and allow for reasonable on/off frequencies of the supply pumps;
- **Fire Storage:** To provide sufficient water for the critical fire flow/duration demands in the system;
- **Emergency Storage:** To provide water in case of power outages and restriction in source supply.

##### 4.1. Balancing Storage

*Section 4.7.1 – Balancing Storage* states that the balancing storage required is the difference between instantaneous demands and the average demands should be minimum 25% of the MDD. As such, the volume required for balancing storage is 2,750L (605 iGal), based on a MDD of 11m<sup>3</sup>/day.

##### 4.2. Fire Storage

The local fire department, Galiano Fire Department has estimated a fire storage of 90,850L (24,000 USGal). This requirement shall supersede the *NFPA 1142-Standard on Water Supplies for Suburban and Rural Fire Fighting* requirement.

##### 4.3. Emergency Storage

*Section 4.7.3 – Emergency Storage* states that emergency storage provides water during events such as natural disasters, pump failure, source failure, or watermain breaks.

The emergency storage is calculated using:

$$\text{Emergency Storage} = 0.25 \times (\text{Balancing Storage} + \text{Fire Storage})$$

As such,





MSR File No. 20-569  
GIGARHS Water Management Plan

$$\text{Emergency Storage} = 0.25 \times (2,750 \text{ L} + 90,850 \text{ L})$$

$$\text{Emergency Storage} = 23,400 \text{ L}$$

Another method to calculate the Emergency Storage is using the Essential Household Use as part of the British Columbia Water Sustainability Act (WSA). From the act, *Essential Household Use* (ESU) allows a maximum of 250 L/day for drinking water, food preparation, sanitation and domestic purposes for a private dwelling. The Essential Household Use shall be delivered for a one-week period.

This method is calculated using:

$$\text{Emergency Storage} = \text{Total Number of Dwellings} \times \text{ESU} \times \text{Buffer Period}$$

As such,

$$\text{Emergency Storage} = 12 \text{ dwellings} \times \frac{250 \left( \frac{\text{L}}{\text{dwelling}} \right)}{\text{day}} \times 7 \text{ days}$$

$$\text{Emergency Storage} = 21,000 \text{ L}$$

The Emergency Storage of 23,400 L calculated using the *Design Guideline for Rural Residential Community Water Systems* is slightly larger and more conservative and will be used for design.

#### 4.4. Total Reservoir Storage

Total reservoir storage is found using the following:

$$\text{Total Storage} = \text{Balancing Storage} + \text{Fire Storage} + \text{Emergency Storage}$$

The total storage summary is shown in Table 3.

Table 3: Total Reservoir Storage Summary

| <b>Balancing Storage (0.25 x MDD)</b> | 2,750 L   |
|---------------------------------------|-----------|
| <b>Fire Storage</b>                   | 90,850 L  |
| <b>Emergency Storage</b>              | 23,400 L  |
| <b>Total Reservoir Storage</b>        | 117,000 L |



MSR File No. 20-569  
GIGARHS Water Management Plan

A minimum reservoir storage of 117,000 L is required. The design shall follow the most recent version of the British Columbia Building Code (BCBC), National Building Codes and AWWA D-103-09 specifications.

#### 4.5. Rainwater Storage

Due to the highest demand period for irrigation being during the driest months of the year, the storing of rainwater through the winter months will be necessary. Demand will be about 0.2 m<sup>3</sup>/day or about 6 m<sup>3</sup> per month for every 100 m<sup>2</sup> of garden space. It is recommended that a landscape consultant be contacted at the time of construction, and storage is built to suit cost and minimal needs.

A Premier Plastics polyethylene underground storage cistern is advised by the Mayne Island Integrated Water Systems Society for rainwater storage. The cisterns will be designed completely in the Building Permit Stage. The cisterns will be confirmed by a Landscape Architect or a British Columbia Certified Irrigation Design Professional at the building permit or construction stage.

#### 5. Wellhead and Protection

Protection of the well is critical to ensure water contamination is mitigated. Wellhead protection will be in accordance with the Drinking Water Protection Regulation and the Groundwater Protection Regulation (GPR). The well was properly installed by Red Williams Drilling with a bentonite surface seal and steel casing 3 metres into the shale rock; and vermin proof well cap, with appropriate stick up. Any works required to modify the well shall include well head protection as per the GPR.

The September static water level in 2018 was noted to be about 11.6 m below the top of the casing. This can be anticipated to reasonably be the low ground water level compared to the level of 1.7 m at the time of the pump testing in December 2018. At a pumping rate of just over 3 gpm, the draw down was 6.8 m below casing, suggesting a reasonable late summer draw down of about 18 m below the top of casing, or at an approximate geodetic elevation of about 30 m above sea level, and approximately 430 m from the shoreline.

Salt water intrusion in this well is not anticipated to be an issue, as the well pump will also be located above sea level (HyGeo Consulting). However in support of downstream users, best practices from *Best Practices for Prevention of Saltwater Intrusion* will be utilized including the following:

- Large water storage tanks for times with peak demand;
- Low water use appliances and irrigation systems will be implemented;
- Leaks will be monitored and rectified as soon as possible;

#### 6. Monitoring and Reporting

Due to water availability concerns on the Gulf Islands, equipment to regularly monitor and record usage will be installed. Volume totals will be tracked from a flow meter either at the well head or located inside the treatment



**MSR SOLUTIONS INC.**

MSR File No. 20-569

GIGARHS Water Management Plan

building. This will ensure usage is staying within the allowable limits from the license and assist with any future works by providing site-specific per capita water use data. Units will also be provided with domestic water meters.

A well data logger will be installed for water level monitoring. Data is downloaded from the probe at the well head in digital form.

When an operating permit is issued by Island Health further reporting requirements will be laid out. Regular sampling of the treated water for quality will be required. Bacteriological sampling will be required to be submitted to Island Health, likely on a monthly basis. Any other reporting will be done as needed to the appropriate governing bodies.

## 7. Stormwater Management

New developments often prepare a stormwater management plan once the site design is confirmed. The plan requires the area and location of all impermeable surfaces before you can properly calculate the required runoff control. The objective generally is to minimize erosion and to keep stormwater runoff equivalent to pre-construction flows. Rainwater collection is planned for the development and can be used as a means of attenuating the stormwater from the roofs. As the designs are in the preliminary phase an accurate plan cannot be created, but considerations will be made for the storage of stormwater and a means for a controlled release of the water. GIGARHS has already considered bioswales as part of the stormwater management for roadways and parking lots, as per their Ecological Impact Report<sup>5</sup>.

Upon completion of the final design, peak discharge and runoff volumes can be calculated. The soil properties will be obtained using a permeator test at the Building Permit Stage. Using the final design, soil conditions and models predicting future stormwater conditions, a stormwater design will be developed to ensure there is storage to accommodate the difference in run off from post-development and pre-development for a 15-minute storm event.

The design will include the following:

- Rainwater cisterns – installed adjacent to buildings complete with first flush diverters and filters;
- Swales – installed adjacent to driveways, conveys storm water to the site drainage system;
- Lawn basins – complete with sump, permitting the settling of sediment;

In addition to the stormwater collection, the grading plan will ensure drainage away from the structures towards swales and central roadways.

<sup>5</sup> Keith Erickson R.P. Bio (#2132) *Ecological Assessment Report For Proposed Affordable Housing Property in the Galiano Community Forest*, Galiano Island (2021)



MSR File No. 20-569  
GIGARHS Water Management Plan

### 7.1. Pre-Development Condition

The property is situated between elevations of 40 to 60 meters above sea level, along a relatively uniform northeast facing slope that rises to elevations of over 180 meters to the south. Overland surface drainage is conveyed by drainage ditches along Georgia View Road towards the southwest and culverts towards the northeast. There are no significant surface streams on the property. Galiano Island Land Use Bylaws do not include stormwater management design methodology.

The pre-development discharge can be calculated using the following:

$$\text{Pre development discharge} = \text{Pre - development surface water runoff coefficient} \times \text{Storm event duration} \times \text{Rainfall intensity}$$

Where:

Pre-Development Surface Water Runoff Coefficient (C0) = 0.2 (Forested Area) <sup>6</sup>

Storm Event Duration = 15 min (As per BCBC) <sup>7</sup>

Rainfall Intensity = 34 mm/hr x 130% = 44.2 mm/hr (30% additional to account for climate change)

Total Lot Area = 2.023 ha

Therefore,

$$\text{Pre development discharge} = 17.88 \text{ m}^3/\text{s}$$

Once the final design is complete, the post-development discharge rate can be calculated. Storage will be installed to contain the difference between pre and post development discharge.

## 8. Summary

The following points are addressed within the report, or as noted below:

| Issue        | Comment                                                                                                                                                                                                                      |
|--------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Water Source | <ul style="list-style-type: none"> <li>Well licence application for 11 m<sup>3</sup>/day (8.7 m<sup>3</sup>/day avg annual)</li> <li>Pumping up to 2 USgpm will be sufficient for demand while not stressing well</li> </ul> |
| Water Demand | <ul style="list-style-type: none"> <li>Demand at the highest case will be 11,040 L/day</li> <li>Expected demand around 6,500 to 8,500 L/day</li> </ul>                                                                       |

<sup>6</sup> American Society of Civil Engineers and Water Pollution Control Federation, 1969. *Design and Construction of Sanitary Storm Sewers. ASCE Manuals and Reports on Engineering Practice no. 37 and WPCF Manual of Practice no. 9.*

<sup>7</sup> Province of British Columbia Municipal Affairs and Housing *British Columbia Building Code* (2018)



**MSR SOLUTIONS INC.**

MSR File No. 20-569  
GIGARHS Water Management Plan

|                              |                                                                                                                                                                                                                                                                                                                   |
|------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Managing Water Demand        | <ul style="list-style-type: none"> <li>• Low flow fixtures required as per BC Plumbing Code</li> <li>• Install recording water meter at well head for comparison to user consumption flows</li> <li>• There will be ongoing education to residents about water conservation measures</li> </ul>                   |
| Storage                      | <ul style="list-style-type: none"> <li>• A minimum of 117,000 L for potable water will meet balancing, fire and emergency demand while maintaining a safe residual</li> <li>• Rainwater to be discussed to suit cost and demand of irrigation</li> </ul>                                                          |
| Treatment                    | <ul style="list-style-type: none"> <li>• Filtration, chlorine, and UV will meet 4-log removal guidelines</li> <li>• Equipment to be stored in secure building</li> </ul>                                                                                                                                          |
| Grey Water Recycling         | <ul style="list-style-type: none"> <li>• Not proposed due to additional operating costs and complexity in system impacting affordability</li> </ul>                                                                                                                                                               |
| Wellhead Protection          | <ul style="list-style-type: none"> <li>• Completed in accordance with the Groundwater Protection Regulation.</li> <li>• Location of well pump to be above sea level</li> </ul>                                                                                                                                    |
| Saltwater Intrusion          | <ul style="list-style-type: none"> <li>• Water conservation practices are in effect for the development</li> <li>• The pump location is setback from the ocean and the pump zone will be set below the 120 day average draw down (plus NPSH)</li> <li>• Pumping will be by low volume – high frequency</li> </ul> |
| Monitoring and Documentation | <ul style="list-style-type: none"> <li>• Recording flow meters and dataloggers will be installed.</li> <li>• Data will be stored for upwards of 6 months to allow retrieval of information and reporting as required.</li> </ul>                                                                                  |
| Stormwater Management        | <ul style="list-style-type: none"> <li>• To be addressed in detailed design, direct impervious areas back to ground through bioswales and retention</li> </ul>                                                                                                                                                    |

## 9. Conclusion

1663 Georgia View Road can treat and distribute water to meet indoor demands for its desired population when relying on well capacity with adequate storage. A multi-barrier treatment system (filtration, UV disinfection and residual chlorination) is required to treat the well water to meet health standards. Rainwater can be harvested for irrigation demands. 117 m<sup>3</sup> of water storage will be installed to accommodate balancing storage, fire storage, and emergency storage.

## 10. Recommendations

A well treatment system with filtration, UV disinfection, and residual chlorination will meet Island Health requirements and ensure well water is safe to consume. The treatment equipment will need to be housed indoors. If space is not available in an existing building a small treatment shed will need to be constructed. Redundancies will be put in place to ensure water is always available. Storing spare pumps and other equipment will prevent



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MSR File No. 20-569

GIGARHS Water Management Plan

shutdowns from malfunctioning equipment. Providing backup power generation for the treatment plant will also prevent prolonged shutdowns of the potable water system from a power disruption.

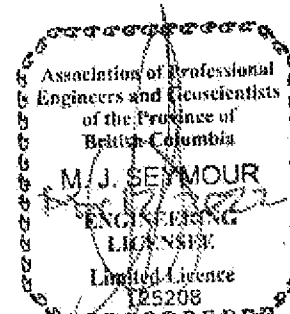
117,000 Litres of potable water storage is adequate for the development. It will meet the maximum month condition for reasonably assumed flows and can be supported in an application for a construction permit to Island Health, as it will provide 182 L/person/day (1.1x CRD average indoor usage) at a population of 48 people (Likely greater than anticipated amount). This volume will also support demand for the max population for over 7 days for responses and fixes to any emergencies, fires or other problems.

A rainwater collection system will provide a means of additional water source to help assist in irrigation demands. Because there is no requirement to treat rainwater to potable standards before irrigation it is a very cost-effective means for providing the water needed to irrigate.

Prepared by:

Jeff Brett, EIT  
Project Engineer

Approved by:



Karl Williams, P.Eng.  
Project Engineer

MSR Solutions Inc. #125 - 662 Goldstream Avenue, Victoria, B.C. V9B 0N8

12

T: 250.479.5164 | F: 888.277.2816

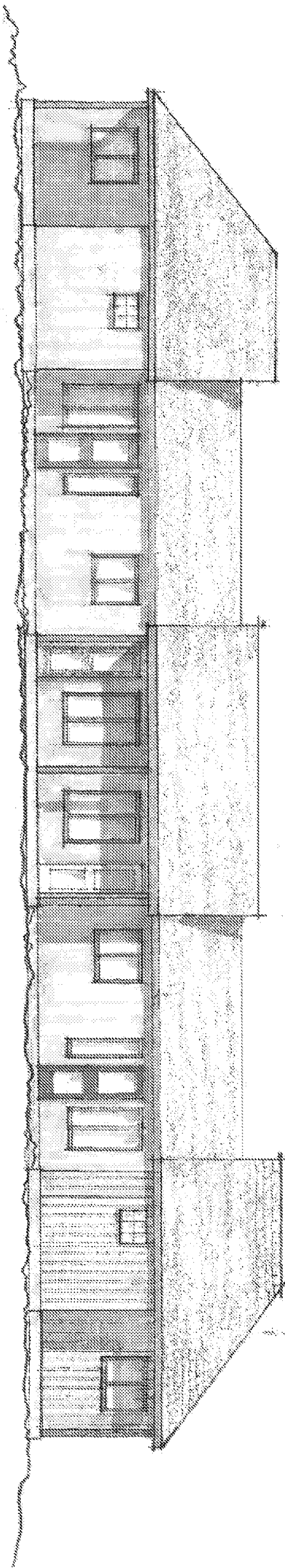
W: [www.msrsolutions.ca](http://www.msrsolutions.ca)

Permit to Practice #1001876

M:\MSR Projects\OLD PROJECT FILES\2021 Projects\21-569 GIGARHS\05-Reports Calculations\Reports\220314 Galiano Housing Water Storage Requirements.docx

SCHEDULE E

TYPICAL ELEVATION  
SCALE: 1/8" = 1'-0"



|                                                                   |                     |                                                                  |  |           |  |
|-------------------------------------------------------------------|---------------------|------------------------------------------------------------------|--|-----------|--|
| AFFORDABLE RENTAL HOUSING<br>GALLIANO PROJECT<br>SCHEMATIC DESIGN |                     | LONGSON<br>ARCHITECT<br>longsonanddiffenbach.com<br>604.875.4679 |  | REVISIONS |  |
| Sheet<br>SK-1                                                     | 5 Sheets            |                                                                  |  |           |  |
| Author: J. Longson                                                | Checker: J. Longson |                                                                  |  |           |  |
| Designer: J. Longson                                              |                     |                                                                  |  |           |  |
| Client: City of Vancouver                                         |                     |                                                                  |  |           |  |
| Date: 2022-11-10                                                  |                     |                                                                  |  |           |  |



Land Title Act  
**Declaration**

Related Document Number: **CB331858**  
Fee Collected for Document: **\$0.00**

I, Sarah Strukoff, Barrister & Solicitor, of 1616 - 808 Nelson Street, Vancouver, in the Province of British Columbia, SOLEMNLY DECLARE that:

1. The legal capacity in which the transferor holds the interest in land described in Item 2 of the above-noted document was inadvertently omitted.
2. Item 5 of document CB331858 is hereby amended to indicate the Transferor Capacity as "Trustee".
3. All parties consent to this amendment.

I make this declaration and know it to be true based on personal information and/or reasonable belief.

**Electronic Signature**

Your electronic signature is a representation that

- (a) You are a subscriber under section 168.6 of the *Land Title Act*, RSBC 1996 c.250, and that you are authorized to electronically sign this document by an e-filing direction made under section 168.22(2) of the act, or
- (b) You are a designate authorized to certify this application under section 168.4 of the *Land Title Act*, RSBC 1996, c.250, that you certify this application under section 168.43(3) of the act, and that the supporting document or a true copy of the supporting document, if a true copy is allowed under an e-filing direction, is in your possession, or
- (c) If the purpose of this declaration is to bring to the attention of the registrar an error, omission or misdescription in a previously submitted document under section 168.55 of the act, you certify that, based on your personal knowledge or reasonable belief, this declaration sets out the material facts accurately.

**Sarah Anastasia  
Strukoff ZBQQ24**

Digitally signed by  
Sarah Anastasia Strukoff  
ZBQQ24  
Date: 2022-12-05  
11:13:45 -08:00

Note: A Declaration cannot be used to submit a request to the Registrar for the withdrawal of a document.



DATE OF MEETING: December 5, 2022

TO: Galiano Island Local Trust Committee

FROM: Brad Smith, Island Planner  
Southern Team

COPY: Robert Kojima, Regional Planning Manager

SUBJECT: 490 GARDNER RD Rezoning Application – Preliminary Report

Applicant: Judy Hayes

Location: Lot 1, District Lots 1 and 3 and of Section 7, Galiano Island, Cowichan District, Plan 13005 Except All of District Lots 1 and 3 now included in Plan 50163

## RECOMMENDATION

1. **That the Galiano Island Local Trust Committee direct staff to proceed with application GL-RZ-2022.2 (Hayes) and to prepare draft bylaws.**

## REPORT SUMMARY

The purpose of this preliminary report is to provide information regarding rezoning application GL-RZ-2022.2 (Hayes) and to seek direction from the Galiano Island Local Trust Committee (LTC) to proceed, or not proceed, with the application, including the preparation of draft bylaws.

The application as proposed would amend the Galiano Island Land Use Bylaw No. 127, 1999 (LUB) and the Galiano Island Official Community Plan No. 108, 1995 (OCP) by rezoning and re-designating a portion of the subject property from Rural Residential (RR) to Agriculture (AG) to enable the subdivision of the property to create one additional residential lot.

The above recommendation is supported as:

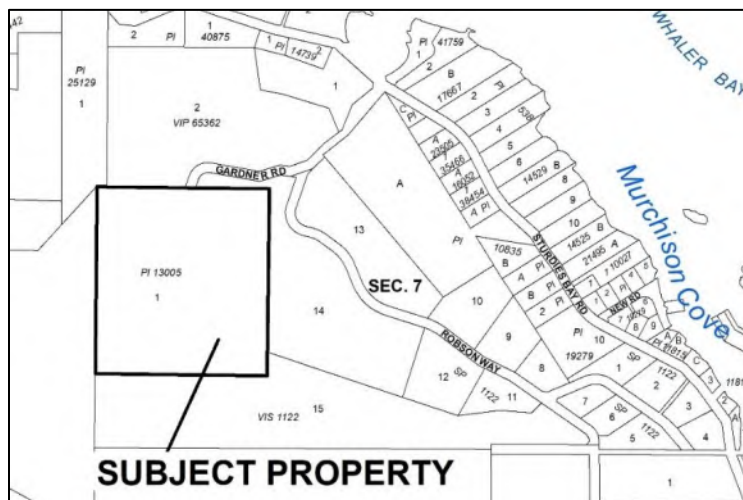
- The application is reasonable as proposed and is consistent with OCP policies and LUB regulations;
- The currently zoned RR portion of the property which would be included in the revised AG zone is substantially the same as the land which is currently in the AG zone;
- The rezoning would address the issue of the existing house and driveway lying in the middle of two zones on the property; and,
- Proceeding with the preparation of draft bylaws would allow for next steps in the process to proceed including the initiation of First Nations engagement, referrals to potentially affected agencies, and the consideration of further input from the public including adjacent property owners.

## BACKGROUND

A rezoning application for the 13.4 hectare (33.2 acre) subject property was received on August 2, 2022. The property owner is seeking to rezone and re-designate a portion of the subject property from Rural Residential (RR) to Agriculture (AG) to enable the subdivision of the property to create one additional residential lot.

The subject property is located on southern Galiano Island at the terminus of Gardner Road (Figure 1). There is a single family residence and a shed currently located on the subject property. Adjacent properties are zoned a mix of RR and AG, including Cedar Moss Properties and Robson Way strata.

**Figure 1. Location of Subject Property**



Staff visited the property in June 2022 and met with the applicant to discuss the proposal. Attachment 1 provides additional site context. Attachment 2 provides relevant maps and ortho-photos. A cover letter provided by the applicant is included as Attachment 3. It provides additional information and rationale for the rezoning, site photos, and a letter from the Ministry of Transportation and Highways regarding road access.

## ANALYSIS

### *Application Rationale and Preliminary Layout Plan*

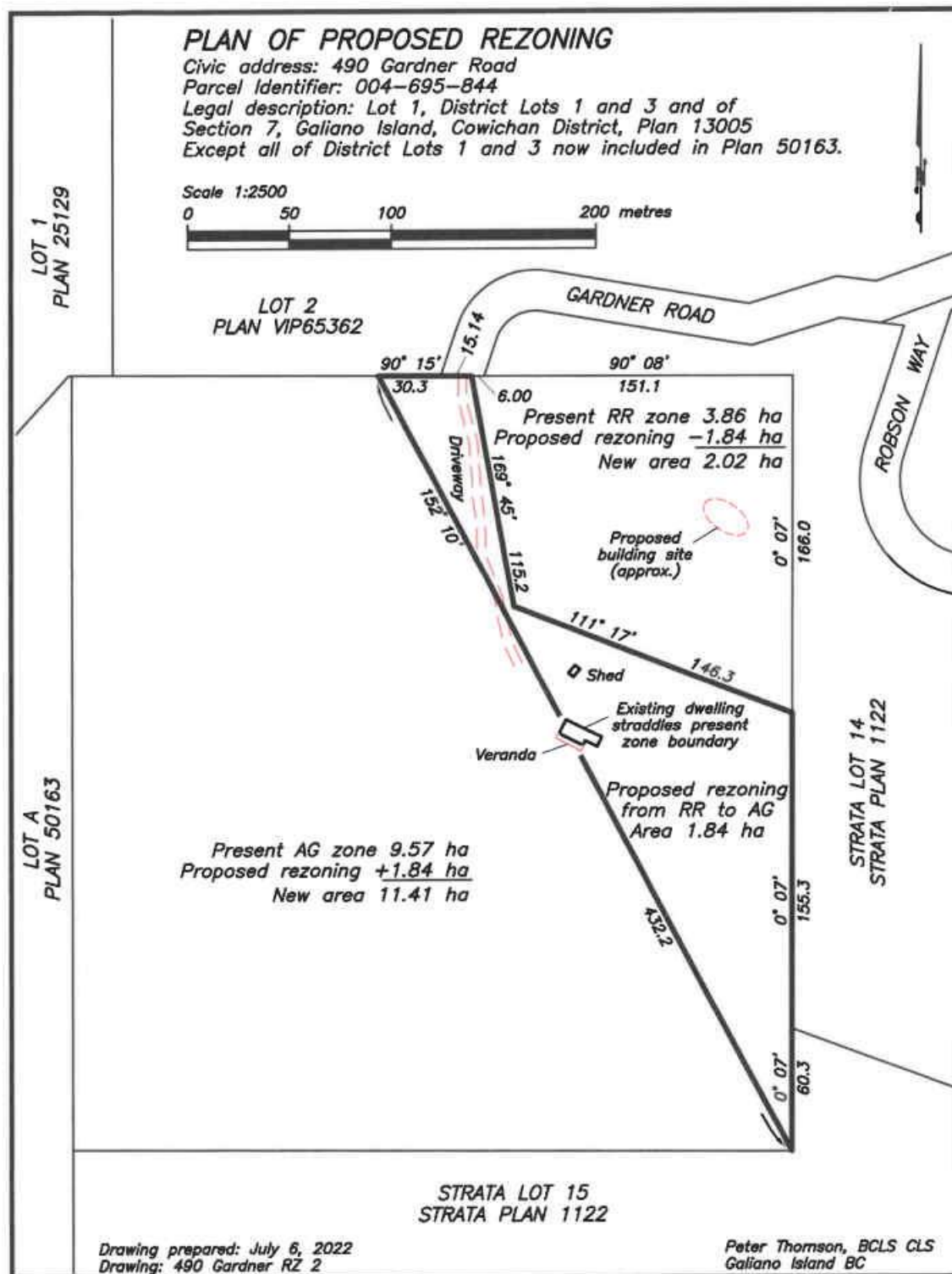
As stated by the applicant, the rationale for the proposed rezoning is as follows:

- The rezoning and subsequent subdivision would result in the current split zoned property becoming two single zoned properties (remainder lot zoned AG, new lot zoned RR);
- The applicant is intending to gift the newly created RR zoned lot to friends that have longstanding connection to the property;
- The habitat and topography of the land currently zoned RR and proposed to be rezoned to AG is substantively the same as the land on the property currently zoned Ag;
- The existing house is permitted by the CRD but the line separating the AG and RR areas of the property intersect the middle of the house, creating challenges for determining any future dwelling potential. The rezoning proposal locates the house entirely within the AG zone, thus eliminating this issue. The rezoning would also locate the existing driveway entirely within the AG zone.

It should also be noted that the proposed change in zoning and subsequent subdivision does not create additional dwelling density potential on the property.

The present RR zone on the subject property is 3.86 hectares, and the AG zone is 9.57 hectares. If rezoned as proposed, the RR zone would be reduced by 1.84 hectares to 2.02 hectares and the AG zone increased by 1.84 hectares to 11.41 hectares. The lot layout for the rezoning proposal is shown in Figure 3.

Figure . Preliminary Layout Plan



## Highway Access

As part of the subdivision proposal, there would be 6.0 m highway frontage for the subdivided RR zoned property and a 17 m frontage for the remainder portion. This would require a frontage waiver at subdivision stage, alternately if the LTC does not approve the waiver or the approving does not support the frontage, the property owner is willing to provide a legal easement for the new parcel to access the portion of the existing driveway that abuts the highway at that point.

## Terms of Reference

Should the LTC decide to proceed with the application, a terms of reference will be issued to the applicant from staff that provides specific guidance on application requirements that is consistent with the Galiano Island Development Approval Information Bylaw No. 148 (DAI Bylaw).

## Policy/Regulatory

### Islands Trust Policy Statement

The proposal appears consistent with Islands Trust Policy Statement (ITPS) policies, in particular with respect to policies related to Agricultural Land (s.4.1), Freshwater Resources (s4.4) and Growth and Development (s.5.2).

The property has been visited by a septic professional who was confident that there would no issues with putting in a septic field on the newly created RR zoned lot and that there are several sites to choose from.

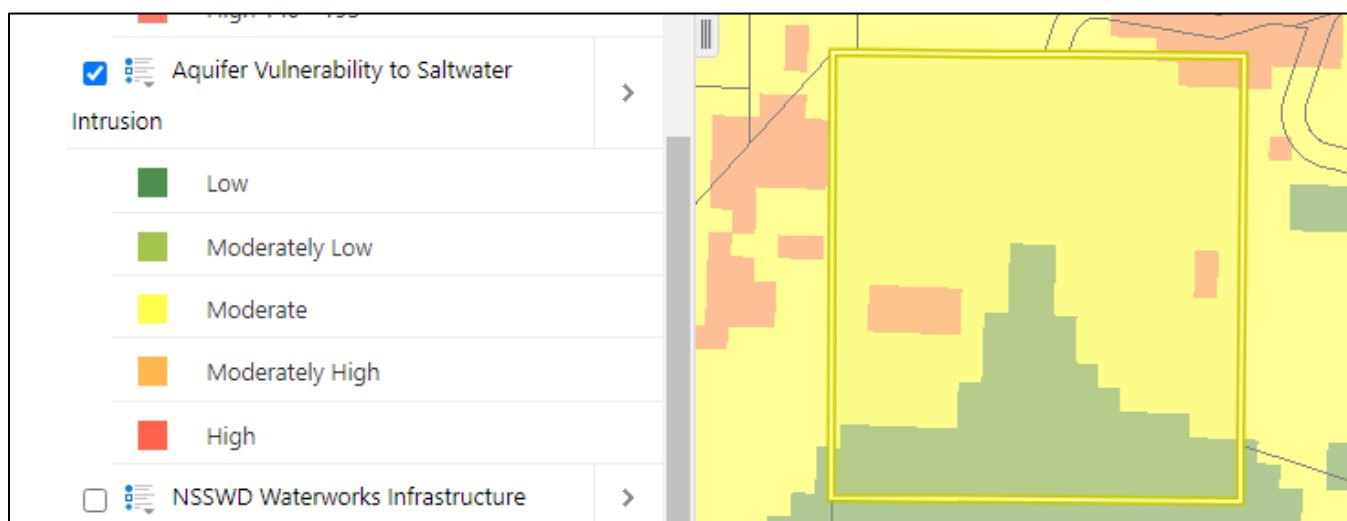
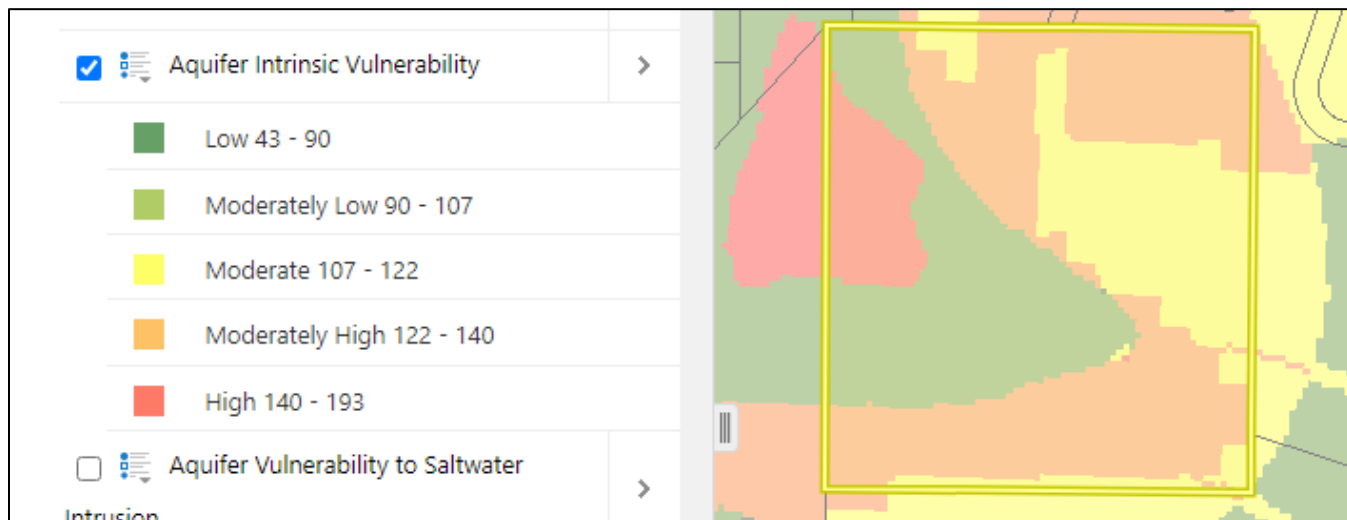
There is currently no well on the property to service the proposed RR zoned lot. The applicant intends to drill a well in the future to service this lot with groundwater. The site has been visited by a well drilling professional who has determined the drilling of a well would be viable.

At time of subdivision, the applicant would need to demonstrate proof of water and septic disposal for the new RR zoned lot consistent with the relevant subdivision and development regulations within s.13 of the LUB, including the submission of a report from a professional hydrogeologist with respect to groundwater supply.

In order to ensure that the future subdivision is viable prior to amending the zoning, staff recommend that the LTC require that the applicant demonstrate proof of water and septic viability prior to consideration of first reading of the draft bylaws or a public hearing to ensure the application is consistent with policy 4.4.2 of the ITPS rather than deferring proof of water and septic to the subdivision stage. Staff will include these requirements in the TOR should the LTC choose to proceed with the application. Policy 4.4.2 is shown below.

|       |                                                                                                                                                                                                                                                                                                                                                             |
|-------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 4.4.2 | Local trust committees and island municipalities shall, in their official community plans and regulatory bylaws, address measures that ensure:                                                                                                                                                                                                              |
|       | <ul style="list-style-type: none"><li>• neither the density nor intensity of land use is increased in areas which are known to have a problem with the quality or quantity of the supply of freshwater,</li><li>• water quality is maintained, and</li><li>• existing, anticipated and seasonal demands for water are considered and allowed for.</li></ul> |

The location of the proposed new lot on the subject property is determined to have primarily *moderately high aquifer intrinsic vulnerability* and *moderate vulnerability to saltwater intrusion*, as shown below. As such, it would be appropriate to ensure groundwater viability through the drilling of a well and a proper pump test by a qualified professional at time of rezoning, as opposed to leaving it to time of subdivision.



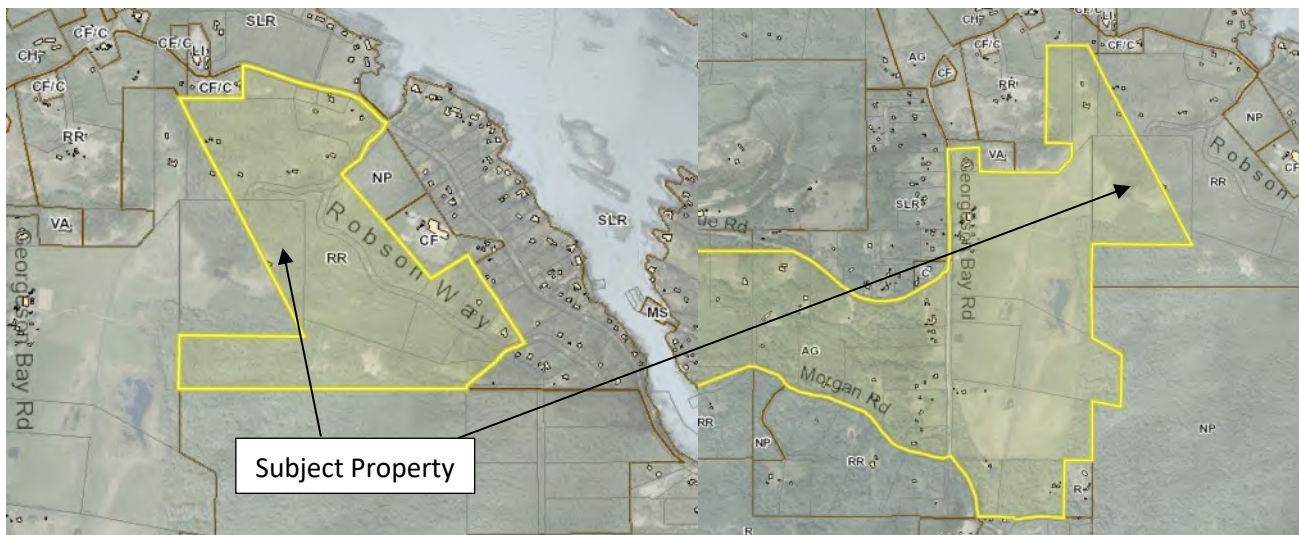
If LTC decides to proceed with drafting bylaws, the ITPS policy checklist would be presented to LTC for review and consideration in a future staff report if at such time draft bylaws are presented for 1<sup>st</sup> reading.

### ***Official Community Plan***

The OCP land use designation for the subject-property is currently a mix of Rural Residential (RR) and Agriculture (AG), as shown below. Rezoning would result in changes to the OCP schedule B map to show the adjusted land use designations.

As proposed, the application is consistent with the policies of the OCP including minimum average lot size subdivision requirements in respect of Rural Residential and Agriculture policies and public road access requirements in respect of Land Transportation policies.



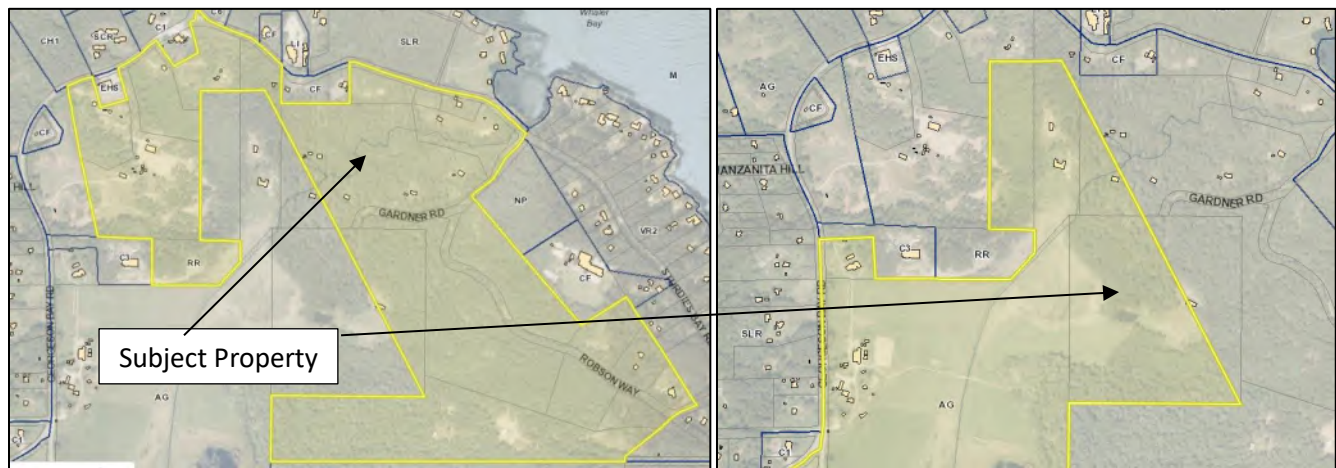


*Rural Residential Land Use Designation*

*Agriculture Land Use Designation*

### **Land Use Bylaw**

The subject property is split zoned as Rural Residential (RR) and Agriculture (AG), as shown below. Rezoning would result in changes to the LUB schedule B map to show the adjusted land use zoning.



*Rural Residential Zoning*

*Agriculture Zoning*

The minimum average lot size for RR zoned lots is 2.0 hectares and the minimum lot size for AG zoned lots is 4.0 hectares. If rezoned as proposed, the RR zone would be reduced by 1.84 hectares to 2.02 hectares and the AG zone increased by 1.84 hectares to 11.41 hectares, thus minimum lot size standards would be met for each lot at time of subdivision.

Based on the size of the adjusted zones, there would be no increased density potential as the proposed amended zoning does not trigger the allowance of additional densities on either the AG or RR portions of the lot.

The permitted density on the AG zoned portion of the lot is one dwelling permitted on each lot (with no accessory cottage), and one additional dwelling in respect of each 4 hectares of lot area over 4 hectares. As such, assuming the existing house was located entirely in the AG zone, there is currently the additional dwelling

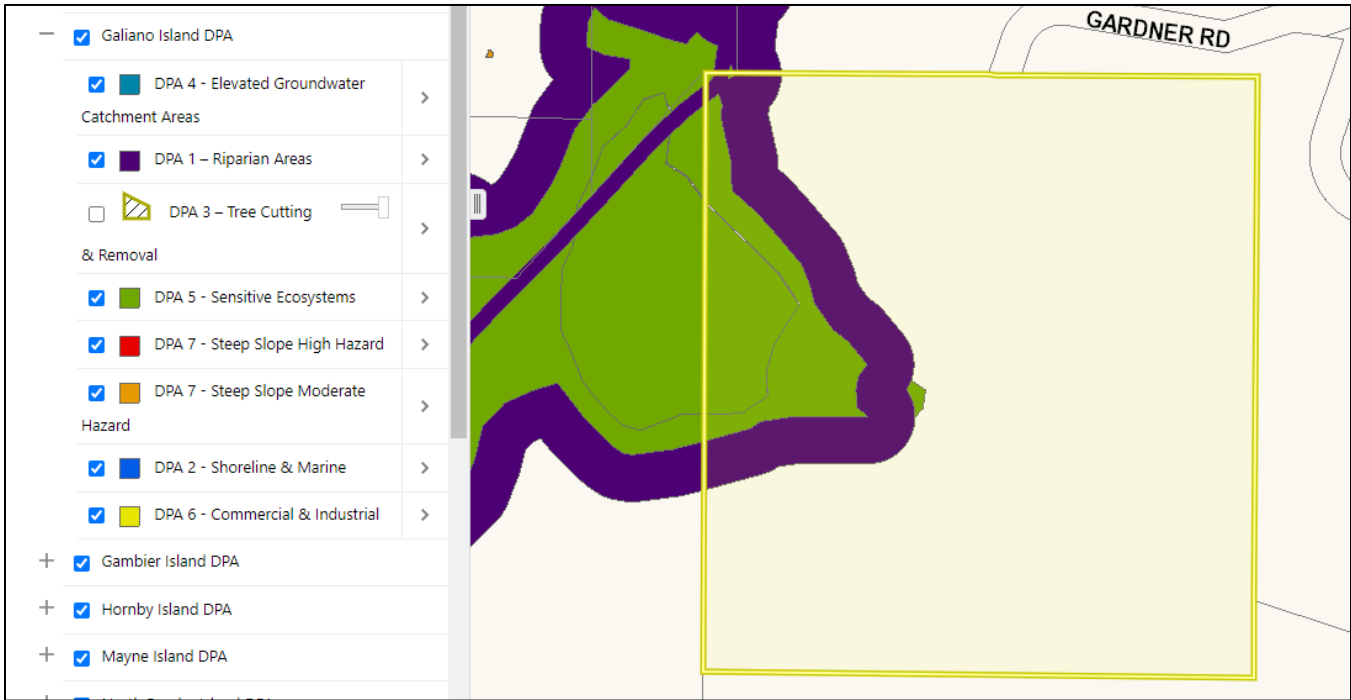
potential of 1 permitted dwelling on the AG zoned portion, subject to approval by the Agricultural Land Commission (ALC). To receive any additional density, the AG portion would need to be greater than 12 hectares.

The permitted density on the RR zoned portion of the lot is one dwelling permitted on each lot, and one additional dwelling in respect of each 2 hectares of lot area over 2 hectares. One cottage is also permitted on each lot having an area of 0.4 hectares in respect of each permitted dwelling. To receive any additional density, the RR portion would need to be greater than 4 hectares.

**Development Permit Areas (DPAs)**

Figure 5 shows the *DPA 1 – Riparian Areas* and *DPA 5 – Sensitive Ecosystems* located on the property. Both areas are located well away from the proposed location of the new lot, existing dwelling and any future development could occur outside the DPA. No Development Permit (DP) is required at time of rezoning. However, the OCP states that a DP is required for all subdivision of land where DPA 1 and 5 is present. As such, at time of subdivision, the applicant would be required to apply for a DP.

**Figure 4. DPA 1 – Riparian Areas and DPA 5 – Sensitive Ecosystem**



**DPA 3 – Tree Cutting and Removal**

The entire Galiano Island local trust area is designated as a development permit area for the purpose of cutting and removal of trees. A DPA 3 development permit is not required for the subdivision of land. However, the applicant should be aware a DPA 3 development permit may be required for future residential development on the newly proposed lot if removal of greater than 12 m<sup>3</sup> of timber per hectare occurs over a 3 year period.

The DPA 3 guidelines also state that “activities permitted by the Land Use Bylaw and necessitating the removal of trees should be conducted at those locations on the lot that will involve removal of the fewest trees and the removal of no Garry Oak trees.”

## ***Archaeological Material***

Islands Trust reviews all applications/permits using Remote Access to Archaeological Data (RAAD) mapping to ensure the preservation and protection of cultural heritage, archaeological sites, and ancestral places. Further to that review, staff have directed the applicant to the following guidelines:

- All archaeological and cultural heritage is protected under the *Heritage Conservation Act* and areas of archaeological potential may contain undocumented archaeological sites which would be automatically protected under the *Heritage Conservation Act* (including all intact or disturbed sites) and require a permit from the BC Archaeology Branch. Further information regarding permits: <https://www2.gov.bc.ca/gov/content/industry/natural-resource-use/archaeology/permits>.
- In the event that archaeological features or materials are found, either intact or disturbed on the subject property, stop work immediately and contact the BC Archaeology Branch at 250-953-3334 or [archaeology@gov.bc.ca](mailto:archaeology@gov.bc.ca).
- Any impacts, would include the following: landscaping, tree removal, digging, using heavy equipment, development, fencing, footings, or any form of groundwork.
- For more information regarding registered archaeological sites and archaeological potential on the subject property, submit an Archaeological Information Request Form: [www.archdatarequest.nrs.gov.bc.ca](http://www.archdatarequest.nrs.gov.bc.ca).

## **Consultation**

### ***Statutory Requirements***

In accordance with regular statutory requirements, a public hearing is required and it is normal practice to hold a Community Information Meeting (CIM) prior to that. With direction from LTC, these would be scheduled either separately or concurrently after draft bylaws are complete, reviewed and have received at least First Reading, should the application proceed to that stage.

Public hearing notice would be posted as per statutory and bylaw requirements in advance of a public hearing.

### ***First Nations***

Staff have identified the following First Nations for bylaw referral based on the Province's database:

- Stz'uminus First Nation
- Lake Cowichan First Nation
- Halalt First Nation
- Lyackson First Nation
- Penelakut Tribe
- Semiahmoo First Nation
- Pauquachin First Nation
- Tsartlip First Nation
- Tseycum First Nation
- Cowichan Tribes
- Tsawwassen First Nation
- Tsawout First Nation
- Musqueam Indian Band
- Malahat First Nation
- Snuneymuxw First Nation
- WSANEC Leadership Council



## **Agencies**

Staff have identified the following agencies for bylaw referral; the LTC may direct staff to include other agencies not listed. The LTC may also choose to refer the proposal to the Galiano Island Advisory Planning Commission.

- Ministry of Transportation and Infrastructure
- Island Health
- CRD, Planning and Protective Services, Building Inspection
- Galiano Island Fire Rescue – South Department
- Mayne Island Local Trust Committee
- Thetis Island Local Trust Committee
- Salt Spring Island Local Trust Committee

## **Rationale for Recommendation**

Based on the foregoing, the recommendation on page 1 is supported as:

- The application is reasonable as proposed and is consistent with OCP policies and LUB regulations;
- The currently zoned RR portion of land which would be included in the revised AG zone is substantially the same as land which is currently in the AG zone;
- The rezoning would address the issue of the existing house and driveway lying in the middle of two zones on the property; and,
- Proceeding with the preparation of draft land use bylaws would allow for next steps in the process to proceed including the initiation of First Nations engagement, referrals to potentially affected agencies, and the consideration of further input from the public including adjacent property owners.

## **ALTERNATIVES**

The LTC may consider the following alternatives to the staff recommendation:

### **1. Request further information**

The LTC may request further information prior to making a decision. If selecting this alternative, the LTC should describe the specific information needed and the rationale for this request.

Resolution:

*That the Galiano Island Local Trust Committee request that the applicant submit to the Islands Trust \_\_\_\_\_.*

### **2. Deny the application**

The LTC may deny the application.

Resolution:

*That the Galiano Island Local Trust Committee proceed no further with application GL-RZ-2022.2 (Hayes).*

### **3. Hold the application in abeyance**

The LTC may choose to hold the application in abeyance pending completion of a significant study or OCP process, etc.

Resolution:

*That the Galiano Island Local Trust Committee hold application GL-RZ-2022.2 (Hayes) in abeyance.*

**NEXT STEPS**

With direction from the LTC, Staff will draft amending bylaws for further consideration by the LTC

|               |                                          |                   |
|---------------|------------------------------------------|-------------------|
| Submitted By: | Brad Smith, Island Planner               | November 22, 2022 |
| Concurrence:  | Robert Kojima, Regional Planning Manager | November 24, 2022 |

**ATTACHMENTS**

1. Site Context
2. Maps, Plans, Ortho-photos
3. Cover Letter from applicant

## ATTACHMENT 1 – SITE CONTEXT

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### LOCATION

|                   |                                                                                                                                                             |
|-------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Legal Description | Lot 1, District Lots 1 and 3 and of Section 7, Galiano Island, Cowichan District, Plan 13005 Except All of District Lots 1 and 3 now included in Plan 50163 |
| PID               | 004-695-844                                                                                                                                                 |
| Civic Address     | 490 Gardner Road, Galiano Island                                                                                                                            |
| Lot Size          | 13.42 hectares (33.16 acres)                                                                                                                                |

### LAND USE

|                      |                                          |
|----------------------|------------------------------------------|
| Current Land Use     | Rural Residential (RR), Agriculture (AG) |
| Surrounding Land Use | Rural Residential (RR), Agriculture (AG) |

### HISTORICAL ACTIVITY

| File No. | Purpose |
|----------|---------|
| None     | N/A     |

### POLICY/REGULATORY

|                                      |                                                                                         |
|--------------------------------------|-----------------------------------------------------------------------------------------|
| Official Community Plan Designations | Galiano Island OCP No. 108, 1995 Designations: Rural Residential (RR), Agriculture (AG) |
| Land Use Bylaw                       | Galiano Island LUB No. 127, 1999: Rural Residential (RR), Agriculture (AG)              |
| Other Regulations                    | None                                                                                    |
| Covenants                            | None                                                                                    |
| Bylaw Enforcement                    | None                                                                                    |

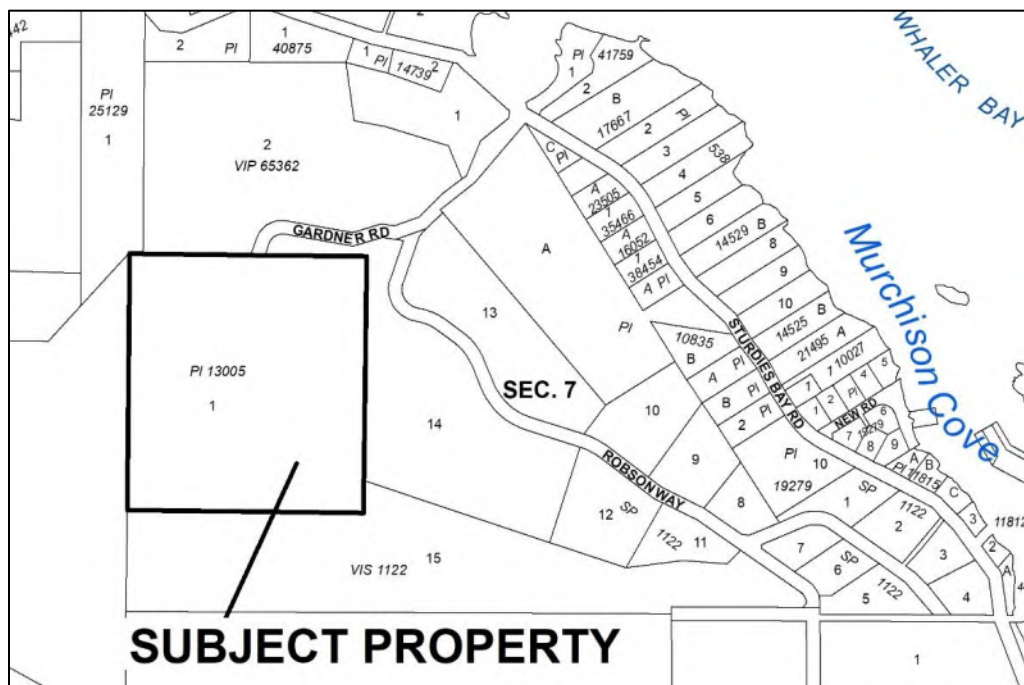
### SITE INFLUENCES

|                                |                                                                                                                                                                                                                                                                                                                                |
|--------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Islands Trust Conservancy      | There are no Islands Trust Conservancy covenants or properties in the direct area; therefore no referral will be made to the Board.                                                                                                                                                                                            |
| Regional Conservation Strategy | The proposal does not impact the objectives and priorities of the Islands Trust Conservancy regional conservation plan.                                                                                                                                                                                                        |
| Species at Risk                | Sharp-tailed snake zone across entire property and numerous others encompassing a large portion of southern island                                                                                                                                                                                                             |
| Sensitive Ecosystems           | Portions of mixed Coastal Douglas Fir habitat and wetland                                                                                                                                                                                                                                                                      |
| Hazard Areas                   | A very small portion of small and medium risk steep slope on property                                                                                                                                                                                                                                                          |
| Archaeological Sites           | <p>There is potential for the presence of archaeological material. Staff have directed the applicant to the following guidelines:</p> <ul style="list-style-type: none"><li>• All archaeological and cultural heritage is protected under the <i>Heritage Conservation Act</i> and areas of archaeological potential</li></ul> |

|                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
|------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                                          | <p>may contain undocumented archaeological sites which would be automatically protected under the <i>Heritage Conservation Act</i> (including all intact or disturbed sites) and require a permit from the BC Archaeology Branch. Further information regarding permits: <a href="https://www2.gov.bc.ca/gov/content/industry/natural-resource-use/archaeology/permits">https://www2.gov.bc.ca/gov/content/industry/natural-resource-use/archaeology/permits</a>.</p> <ul style="list-style-type: none"> <li>• In the event that archaeological features or materials are found, either intact or disturbed on the subject property, stop work immediately and contact the BC Archaeology Branch at 250-953-3334 or <a href="mailto:archaeology@gov.bc.ca">archaeology@gov.bc.ca</a>.</li> <li>• Any impacts, would include the following: landscaping, tree removal, digging, using heavy equipment, development, fencing, footings, or any form of groundwork.</li> <li>• For more information regarding registered archaeological sites and archaeological potential on the subject property, submit an Archaeological Information Request Form: <a href="http://www.archdatarequest.nrs.gov.bc.ca">www.archdatarequest.nrs.gov.bc.ca</a>, or contact Islands Trust to access mapping of the subject property.</li> </ul> |
| Climate Change Adaptation and Mitigation | None                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
| Shoreline Classification                 | N/A                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| Shoreline Data in TAPIS                  | N/A                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |

## ATTACHMENT 2 – MAPS, PLANS, ORTHO-PHOTOS

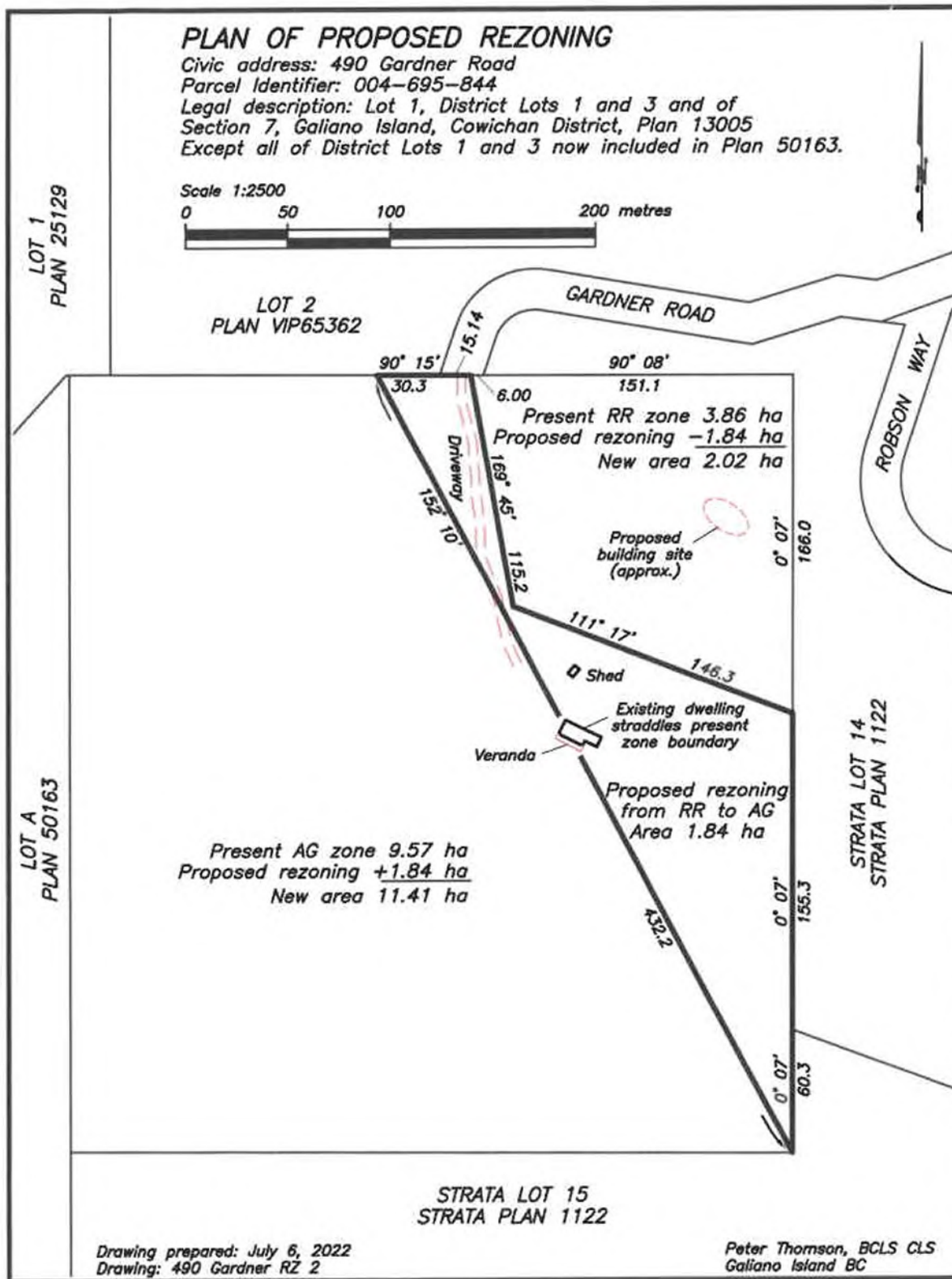
### 2.1 SUBJECT PROPERTY MAP



### 2.2 ZONING AND ORTHO

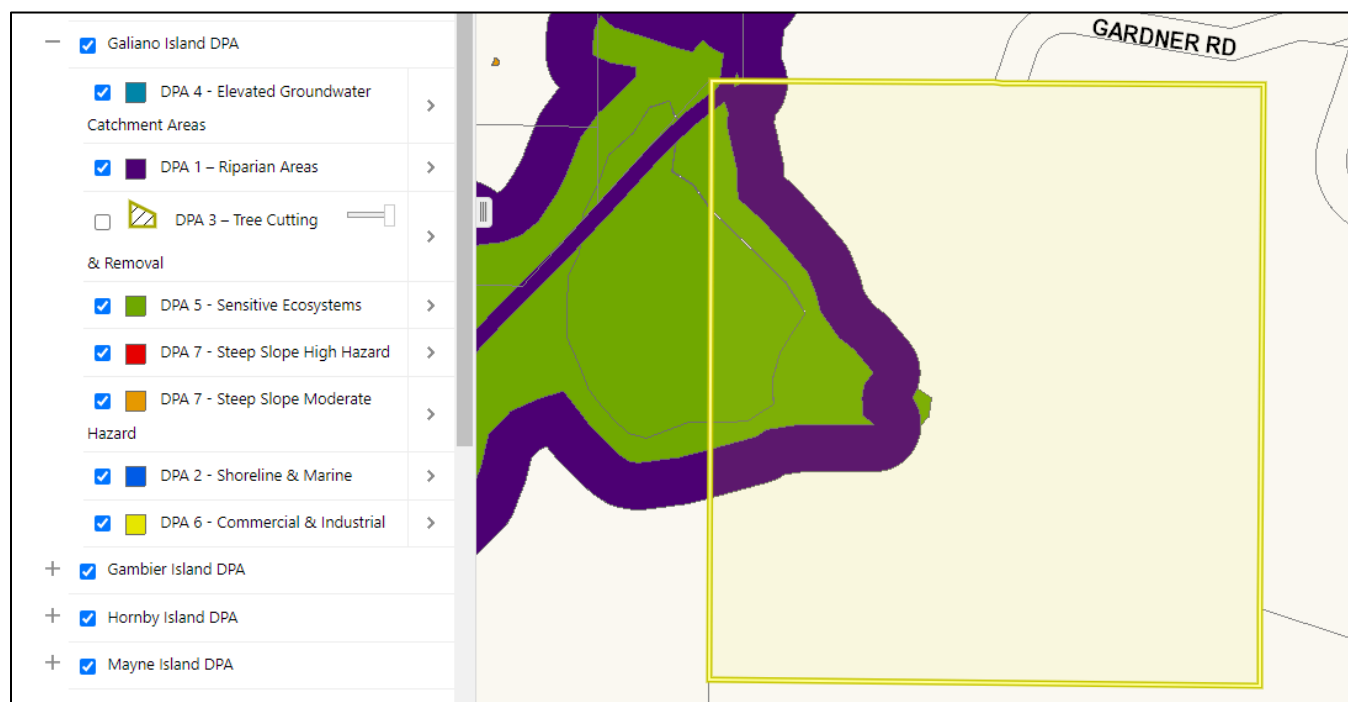


## 2.3 PROPOSED REZONING AND SUBDIVISION PLAN

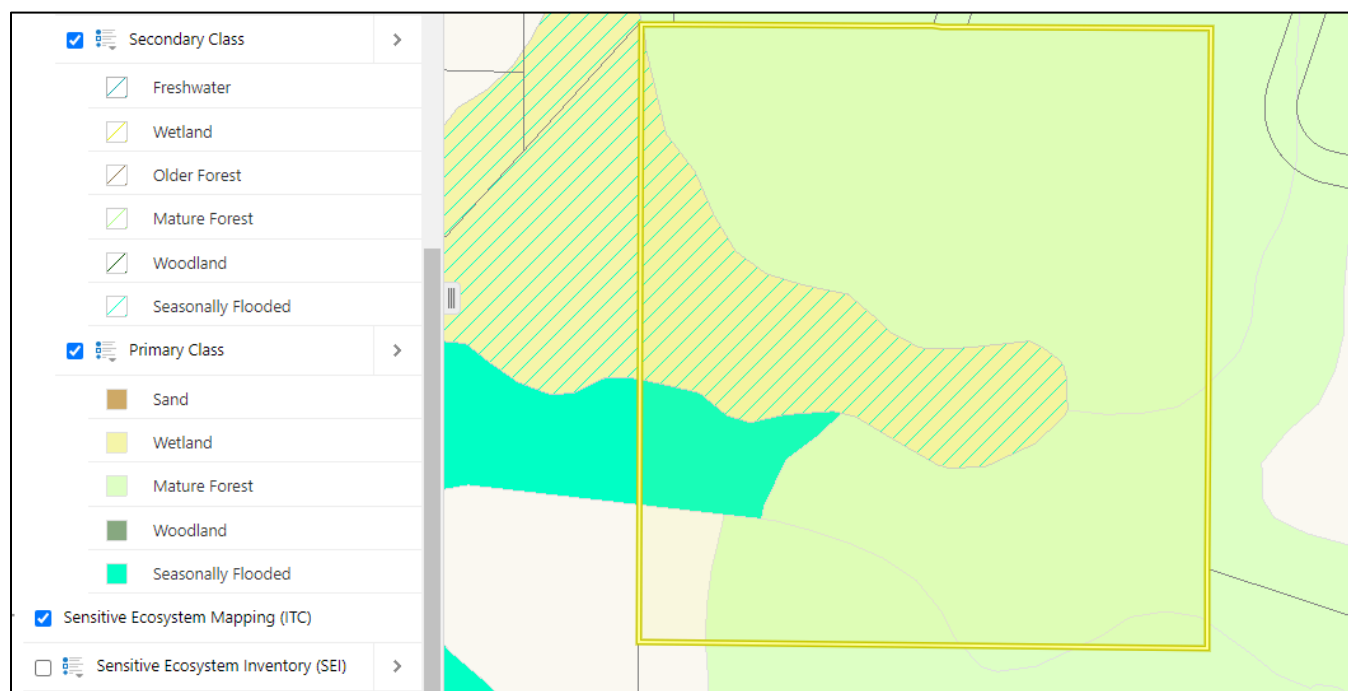


## 2.4 DEVELOPMENT PERMIT AREAS

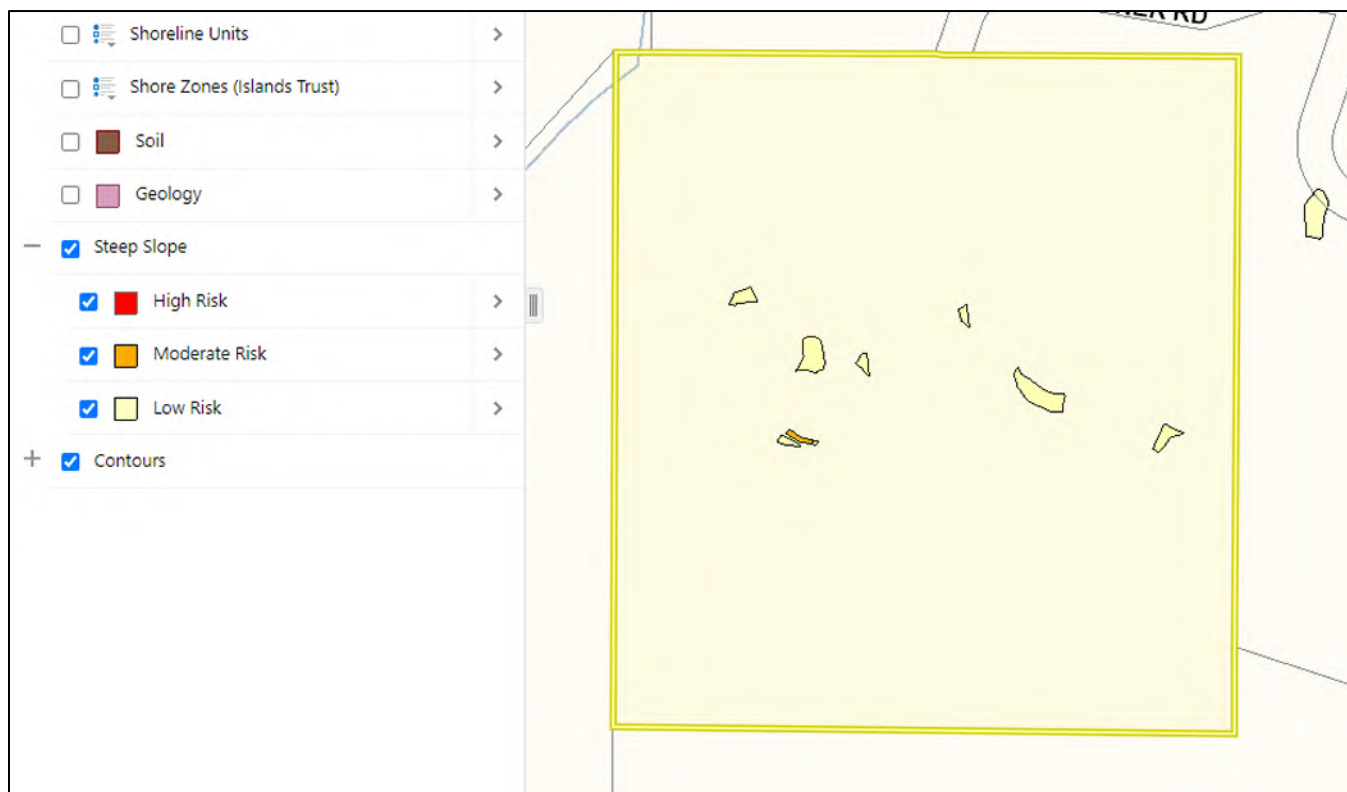
DPA 1 - Riparian Areas, DPA 5 - Sensitive Ecosystems



## 2.5 SENSITIVE ECOSYSTEM MAPPING



## 2.6 STEEP SLOPE RISK







Islands Trust

# BYLAW REFERRAL FORM

Suite 200, 1627 Fort Street  
Victoria, B.C. V8R 1H8  
Ph: (250) 405-5151  
Fax: (250) 405-5155  
information@islandstrust.bc.ca  
www.islandstrust.bc.ca

Island: Mayne Island Local Trust Area Bylaw No.: 181 and 183 Date: September 29, 2022

You are requested to comment on the attached Bylaw for potential effect on your agency's interests. We would appreciate your response within 30 days. If no response is received within that time, it will be assumed that your agency's interests are unaffected.

**APPLICANTS NAME / ADDRESS:**

Mayne Island Housing Society (MIHS)

**PURPOSE OF BYLAW:**

The purpose of these bylaws is to support the rezoning of the subject property to accommodate the development of ten units of affordable multi-family rental housing to be managed, built and operated by the Mayne Island Housing Society.

**Bylaw 181 (Official Community Plan Amendment)** – Designates the proposed multi-family rental housing portion of the parent property from Rural designation to Rural – Multi-family residential (R-MR) designation.

**Bylaw 183 (Land Use Bylaw Amendment)** – Enables the creation of three lots from a 10 acre parent of property. The property is proposed to be split zoned to enable the creation of two new zones. One new zone (Comprehensive Development Three (CD3)) will support the development of 10 units of affordable multifamily rental housing on 3 acres. The CD3 zone will be removed from the area permitted to have secondary suites. The second new zone R(f) will enable the subdivision of the remainder of the lot into two lots within the Rural Zone.

Professional reports and staff reports are available on the Mayne Island webpage:

<https://islandstrust.bc.ca/island-planning/mayne/current-applications/>

**GENERAL LOCATION:**

375 Village Bay Road, Mayne Island Local Trust Area

**LEGAL DESCRIPTION:**

002-552-256

**SIZE OF PROPERTY AFFECTED:**

10 acres (4 hectares)

**ALR STATUS:**

**OFFICIAL COMMUNITY PLAN DESIGNATION:**

Rural (R)

**OTHER INFORMATION:**

Additional information, including the current bylaws, is available at: [www.islandstrust.bc.ca](http://www.islandstrust.bc.ca)

*Narissa Chadwick*

(Signature)

Name: Narissa Chadwick

Title: Island Planner  
Contact Info: Tel: 250-405-5189  
Email: nchadwick@islandstrust.bc.ca

PLEASE TURN OVER →

**This referral has been sent to the following agencies:**

**Regional Agencies**

Capital Regional District – Regional Housing  
Capital Regional District – Building Inspection  
Capital Regional District – Regional Parks and Community Services  
Capital Regional District – Southern Gulf Islands Harbours Commission (Integrated Water Services)  
Capital Regional District – Environmental Resource Management  
Island Health  
Mayne Island Fire Rescue

**Provincial Agencies**

Ministry of Transportation & Infrastructure  
Ministry of Municipal Affairs  
Ministry for Attorney General and Minister responsible for Housing

**Adjacent Local Trust Committees and Municipalities**

Galiano Island Local Trust Committee  
North Pender Island Local Trust Committee  
Saturna Island Local Trust Committee  
South Pender Island Local Trust Committee

**Non-Agency Referrals**

BC Assessment Authority  
BC Hydro and Power Authority  
Telus  
BC Housing

**First Nations**

Cowichan Tribes  
Halalt First Nation  
Lake Cowichan First Nation  
Lyackson First Nation  
Malahat First Nation  
Pauquachin First Nation  
Penelakut Tribe  
Semiahmoo First Nation  
Snuneymuxw First Nation  
Stz'uminus First Nation  
Tsartlip First Nation  
Tsawout First Nation  
Tsawwassen First Nation  
Tseycum First Nation  
WSANEC Leadership Council

**BYLAW REFERRAL FORM  
RESPONSE SUMMARY**

- ☐ Approval Recommended for Reasons Outlined Below
- ☐ Approval Recommended Subject to Conditions Outlined Below
- ☐ Interests Unaffected by Bylaw
- ☐ Approval Not Recommended Due to Reason Outlined Below

\_\_\_\_\_  
Mayne Island Local Trust Area  
(Island)

\_\_\_\_\_  
(Signature)

\_\_\_\_\_  
(Date)

\_\_\_\_\_  
181 and 183  
(Bylaw Number)

\_\_\_\_\_  
(Name and Title)

\_\_\_\_\_  
(Agency)

# PROPOSED

## MAYNE ISLAND LOCAL TRUST COMMITTEE BYLAW NO. 181

### A BYLAW TO AMEND MAYNE ISLAND OFFICIAL COMMUNITY PLAN BYLAW NO. 144, 2007

The Mayne Island Local Trust Committee enacts in open meeting assembled as follows:

1. CITATION

This Bylaw may be cited for all purposes as “Mayne Island Official Community Plan Bylaw No. 144, 2007, Amendment No. 1, 2021”.

2. SCHEDULES

Mayne Island Official Community Plan No. 144, 2007 is amended as shown on Schedule 1, attached to and forming part of this bylaw.

3. SEVERABILITY

If any provision of this Bylaw is for any reason held to be invalid by a decision of any Court of competent jurisdiction, the invalid provision must be severed from the Bylaw and the decision that such provision is invalid must not affect the validity of the remaining provisions of the Bylaw.

READ A FIRST TIME THIS 27<sup>TH</sup> DAY OF JUNE 2022.

PUBLIC HEARING HELD THIS DAY OF 20\_\_

READ A SECOND TIME THIS DAY OF 202\_\_

READ A THIRD TIME THIS DAY OF 202\_\_

APPROVED BY THE EXECUTIVE COMMITTEE OF THE ISLANDS TRUST THIS DAY OF 20\_\_.

APPROVED BY THE MINISTER MUNICIPAL AFFAIRS THIS DAY OF 20\_\_.

ADOPTED THIS DAY OF 20\_\_.

\_\_\_\_\_  
CHAIR

\_\_\_\_\_  
SECRETARY

**MAYNE ISLAND LOCAL TRUST COMMITTEE  
BYLAW NO. 181**

**SCHEDULE 1**

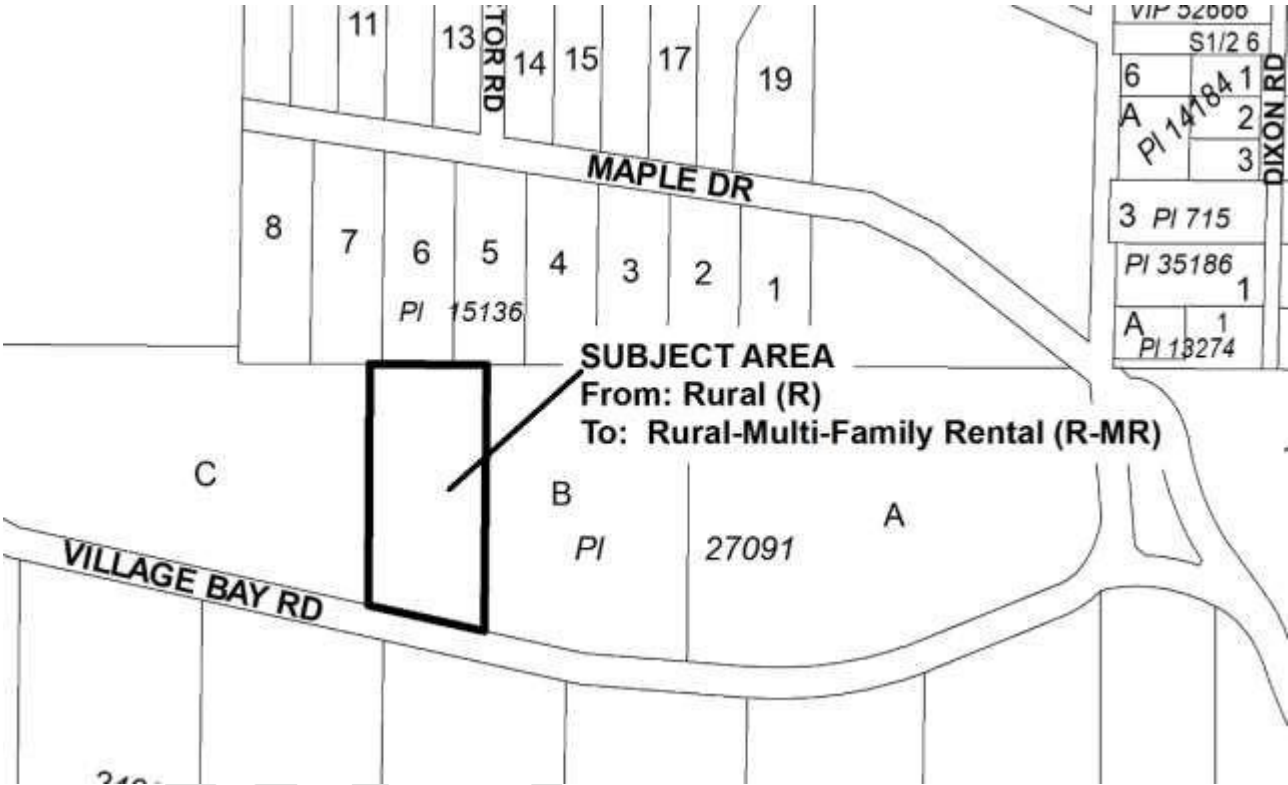
The Mayne Island Official Community Plan No. 144, 2007, is amended as follows:

1. By amending Schedule B by changing the land use designation on a portion of Lot B, Section 7, Mayne Island, Cowichan District Plan 27091 from Rural (R) to Rural – Multi-Family Residential (R-MR) as shown on Plan No. 1, which is attached to and forms part of this bylaw.

PROPOSED

MAYNE ISLAND LOCAL TRUST COMMITTEE  
BYLAW NO. 181

Plan No.1



# PROPOSED

## MAYNE ISLAND LOCAL TRUST COMMITTEE BYLAW NO. 183

### A BYLAW TO AMEND MAYNE ISLAND LAND USE BYLAW NO. 146, 2008

The Mayne Island Local Trust Committee, being the Trust Committee having jurisdiction in respect of the Mayne Island Local Trust Area under the *Islands Trust Act*, enacts as follows:

1. Citation

This bylaw may be cited for all purposes as “Mayne Island Land Use Bylaw No. 146, 2008, Amendment No. 1, 2021”.

2. Mayne Island Local Trust Committee Bylaw No. 146, cited as “Mayne Island Land Use Bylaw No. 146, 2008,” is amended as follows:

2.1 By adding to Definitions ““Multi-family rental housing” means residential use of attached dwelling units that are limited to residential rental tenure.’

2.2 By adding to the definition of Dwelling unit “multi-family housing” after “secondary suite”

2.3 By adding to Definitions ““Residential rental tenure” means the granting of a right to occupy a dwelling unit as living accommodation where the minimum occupancy period is thirty consecutive days, and where the dwelling unit is not owned by a dwelling unit occupant, but where regular payments are made to the owner for the use of the dwelling unit.’

2.4 By inserting a new row in the table in subsection to 5.5 (14) in the Rural (R) zone as follows:

| Column 1           | Column 2                                                                  | Column 3                                                                                       |
|--------------------|---------------------------------------------------------------------------|------------------------------------------------------------------------------------------------|
| Site-Specific Zone | Location Description                                                      | Site Specific Regulations                                                                      |
| R (f)              | A portion of Lot B, Section 7, Mayne Island, Cowichan District Plan 27091 | (1) Despite 5.5(13) above the average lot area must not be less than 1.3 hectares (3.3 acres). |

2.5 By adding “5.28 Comprehensive Development Three (CD3) Zone” as a new zone following subsection 5.27:

“The purpose of the Comprehensive Development Three Zone is to provide for and regulate the development of multi-family rental housing.

#### Permitted Uses

(1) The following uses are permitted, subject to the regulations set out in this Section and the general regulations, and all other uses are prohibited:

- (a) Multi-family rental housing
- (b) Accessory uses, buildings and structures

### **Density**

- (2) The maximum number of dwelling units in the CD3 zone is 10
- (3) The maximum lot coverage is 20%.

### **Size and Siting**

- (4) The minimum setback for any building or structure is:
  - (a) 8 metres (26 feet) from any front, rear or exterior side lot line;
  - (b) 8 metres (26 feet) from any interior side lot line;
- (5) The maximum height for any dwelling unit is 9 metres (29.5 feet).
- (6) The maximum height for any accessory building or structure is 5 metres (16.5 feet).

### **Subdivision Lot Area Requirements**

- (7) The minimum lot area is 1.3 hectares (3.3 acres).

### **Form of Tenure**

- (8) All dwelling units in the Comprehensive Development Three (CD3) Zone shall be limited to residential rental tenure.”
- 2.6 By adding “Comprehensive Development Three CD3” to 4.1(1) (Division into Zones) following “Comprehensive Development Two CD2”
- 2.7 Schedule “B” – Zoning Map, is amended by changing the zoning classification of a portion of Lot B, Section 7, Mayne Island, Cowichan District Plan 27091, from Rural (R) to Comprehensive Development Three (CD3) as shown on Plan No.1, which is attached to and forms part of this bylaw, and by making such alterations to Schedule “B” to Bylaw No. 146 as required to effect this change.
- 2.8 Schedule “B” – Zoning Map, is amended by changing the zoning classification of a portion of Lot B, Section 7, Mayne Island, Cowichan District Plan 27091, from Rural (R) to (R(f) as shown on Plan No.1, which is attached to and forms part of this bylaw, and by making such alterations to Schedule “B” to Bylaw No. 146 as required to effect this change.
- 2.9 Schedule “D” – Zoning Map, is amended by removing a portion of Lot B, Section 7, Mayne Island, Cowichan District Plan 27091 from “areas where secondary suites are permitted” as shown on Plan No. 2, which is attached to and forms part of this bylaw, and the making of such alterations to Schedule “D” to Bylaw No.146 as required to effect this change.



3. SEVERABILITY

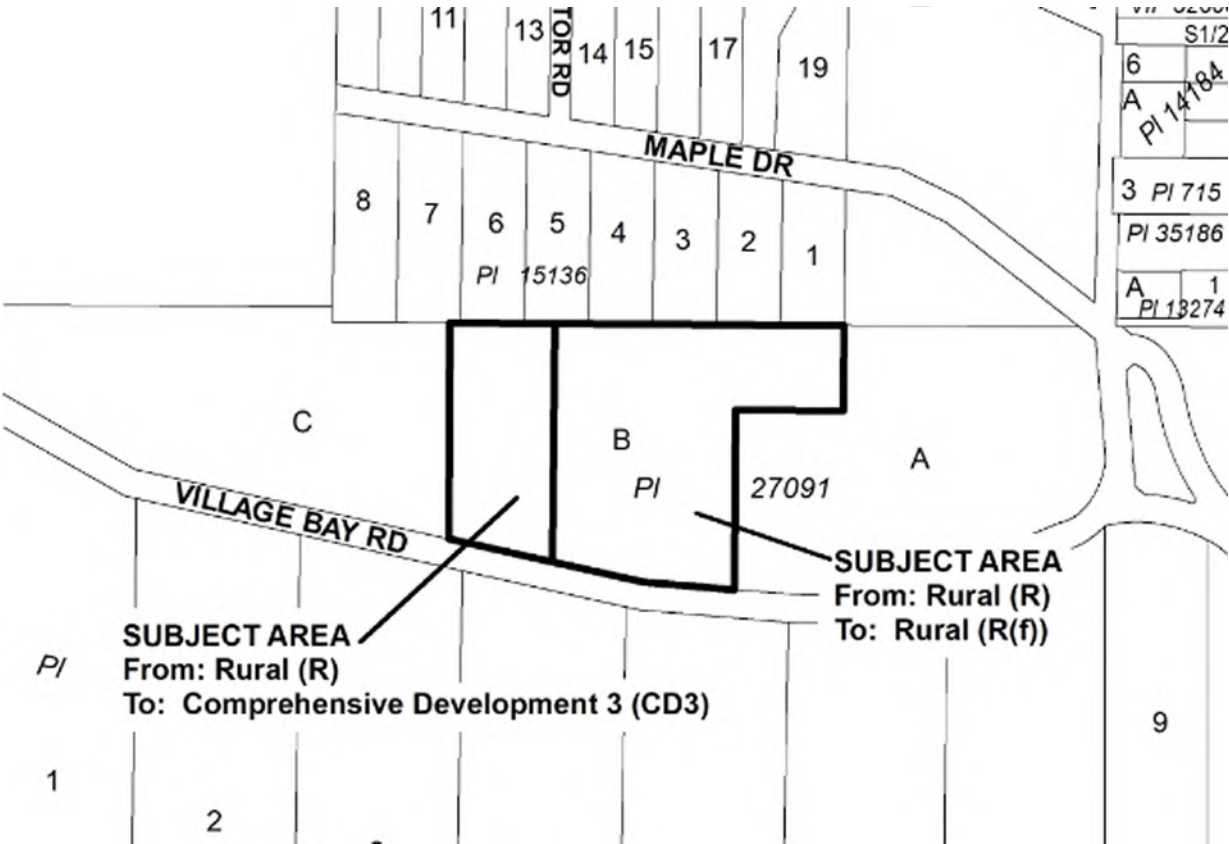
If any provision of this Bylaw is for any reason held to be invalid by a decision of any Court of competent jurisdiction, the invalid provision must be severed from the Bylaw and the decision that such provision is invalid must not affect the validity of the remaining provisions of the Bylaw.

|                                                               |                  |        |       |       |
|---------------------------------------------------------------|------------------|--------|-------|-------|
| READ A FIRST TIME THIS                                        | 27 <sup>TH</sup> | DAY OF | JUNE  | 2022. |
| READ A SECOND TIME THIS                                       |                  | DAY OF |       | 20__. |
| READ A THIRD TIME THIS                                        |                  | DAY OF |       | 20__. |
| PUBLIC HEARING HELD THIS                                      |                  | DAY OF |       | 20__. |
| APPROVED BY THE EXECUTIVE COMMITTEE OF THE ISLANDS TRUST THIS | _____            | DAY OF | _____ | 20__  |
| ADOPTED THIS                                                  | _____            | DAY OF | _____ | 20__  |

|       |           |
|-------|-----------|
| _____ | _____     |
| CHAIR | SECRETARY |

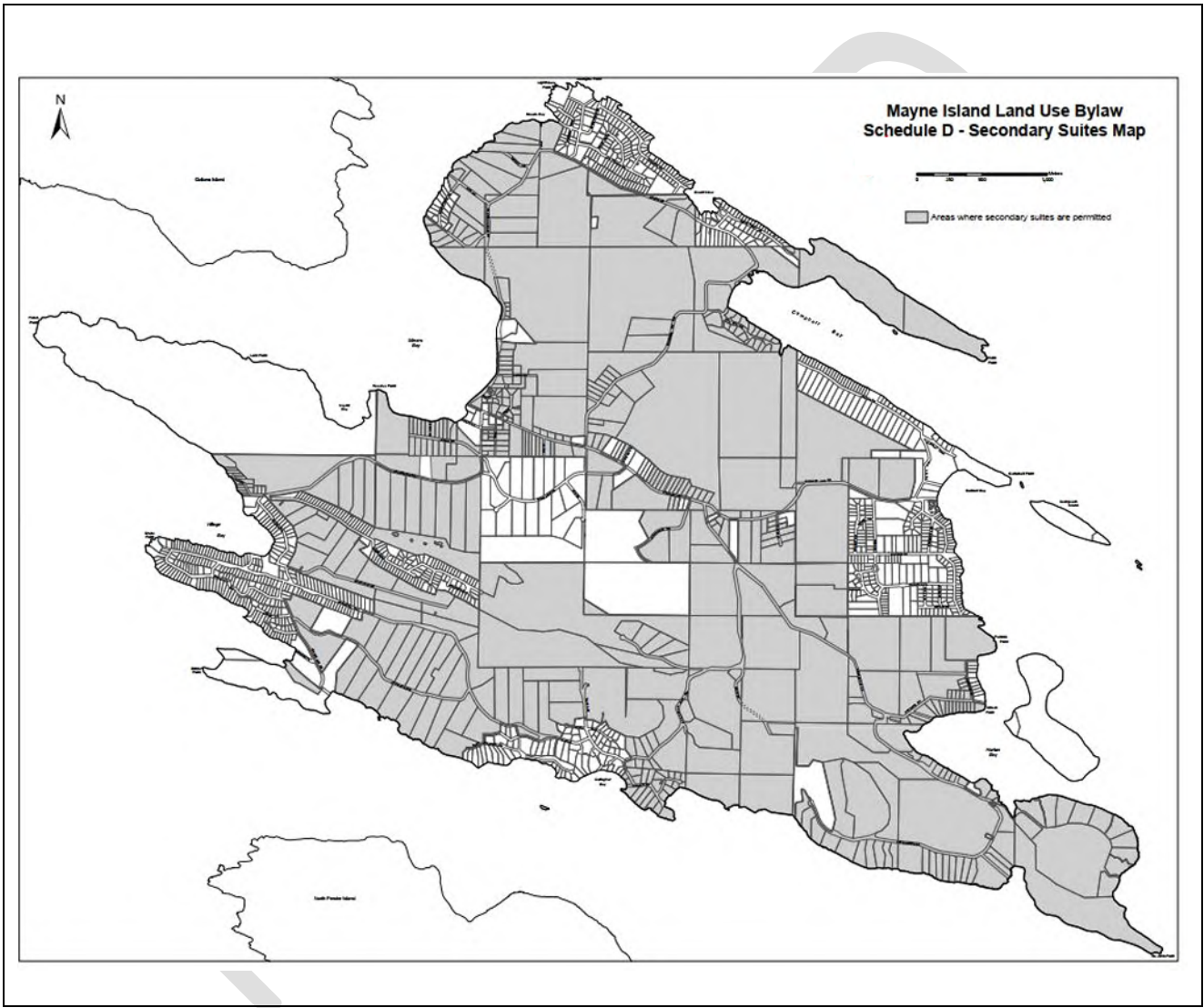
MAYNE ISLAND LOCAL TRUST COMMITTEE  
BYLAW NO. 183

Plan No. 1



MAYNE ISLAND LOCAL TRUST COMMITTEE  
BYLAW NO. 183

Plan No. 2



File No.: 2021- Groundwater  
Sustainability -  
Implementation

DATE OF MEETING: December 5, 2022

TO: Galiano Island Local Trust Committee

FROM: Narissa Chadwick, Island Planner  
Southern Team

COPY: Robert Kojima, Regional Planning Manager  
Brad Smith, Island Planner

SUBJECT: Groundwater Sustainability Implementation Project

## RECOMMENDATION

1. That the Galiano Island Local Trust Committee Bylaw No.283 cited as “Galiano Island Official Community Plan Bylaw No. 108, 1995, Amendment No. 1, 2022” and the Galiano Island Local Trust Committee Bylaw No. 284 cited as “Galiano Island Land Use Bylaw No. 127, 1999, Amendment No. 1, 2022” be brought forward for consideration of first reading and scheduling of a public hearing at the next regular LTC meeting.

## REPORT SUMMARY

This report provides:

- Background on the Galiano Groundwater Sustainability Implementation Project
- A summary of proposed bylaw amendments
- A summary of the methodology used to identify the proposed boundaries for the Groundwater Protection Development Permit Area.
- Identification of alternatives to the proposed recommendation

## BACKGROUND

At their February 1, 2021 meeting the Galiano LTC received a report on the preliminary results of the mapping and data analysis phases of the Groundwater Sustainability Project. This project, which started in 2019 was an initiative of five southern Local Trust Committees. The project involved: data and information inventory, groundwater recharge potential mapping and groundwater availability assessment. [The reports can be found here.](#)

The next step in the process involved identifying how the data and mapping could be implemented through bylaw amendments supporting freshwater sustainability. The Galiano LTC supported the development of a new Groundwater Protection Development Permit Area. They also supported amendments that were not directly related to the data gathered but will support freshwater sustainability these include: updates to definitions, the addition of cistern requirements for all new builds and updated to subdivision regulations related to potable water.

A community information webinar was held in September 2021 to introduce the community to the data and mapping work that had been done. An in person community information meeting was held in July 2022 to engage the community in the discussion of development permit boundary options.

\\islandstrust.local\DFSMain\EDM\12 Long Range Planning\04 GL\6500 LTC Work Program\20 Projects (P)\2021 Groundwater Sustainability - Implementation\Staff reports\2022-12-08\2022-12-08.docx

At their September 27, 2022 LTC meeting the LTC supported the following resolutions:

2022-129

*That the Galiano Island Local Trust Committee endorse Bylaw No. 283 cited as 'Galiano Island Official Community Plan Bylaw No. 108, 1995, Amendment No.1, 2022' with Schedule G including the Groundwater Recharge Protection Development Permit Area boundaries based on 5 hectares of lot coverage excluding areas designated as park or conservation.*

2022-128

*That the Galiano Island Local Trust Committee endorse Bylaw No. 284 cited as "Galiano Island Land Use Bylaw No. 127, 1999, Amendment No. 1, 2022".*

2022-127

*That the Galiano Island Local Trust Committee Bylaw No.283 cited as "Galiano Island Official Community Plan Bylaw No. 108, 1995, Amendment No. 1, 2022" and the Galiano Island Local Trust Committee Bylaw No. 284 cited as "Galiano Island Land Use Bylaw No. 127, 1999, Amendment No. 1, 2022" be brought forward for first reading at the next regular LTC meeting.*

The Draft amendments are attached to this memo. The bylaw amendments are comprised of:

**1. Bylaw 284 - Amendments to the Land-Use Bylaw (Attachment 2)**

- New definitions
- Cistern Requirements for all new builds (18,000 litres). Increase in cistern size for secondary suites to 18,000 litres. Captured and stored water is not required to be potable or connected to the dwelling except in the Water Management Areas as per existing regulation 13.23.
- References to "rainwater" with respect to cisterns has been changed to "freshwater" to support the capture and retention of groundwater as well as rainwater.
- Updates to regulations related to proof of water for subdivision based on model bylaw for the Southern Gulf Islands. These regulations have been extensively reviewed by provincial staff through a multi-year project of the Salt Spring Islands LTC.

\*As indicated at the previous LTC meeting, looking at site specific zoning options for South Galiano and Cain Peninsula to address critical groundwater vulnerability in that area would be a separate initiative require as it would require additional process and separate bylaw amendments.

**2. Bylaw 283 - General Amendments to OCP (Attachment 1)**

- Minor changes to OCP language
- Updates to relevant policies and objectives to facilitate consistency with revised language, the new Groundwater Recharge Protection DPA, and other proposed changes to the OCP and the LUB.
- Replacement of Schedule D – Water Resources, with Schedule D – Groundwater Regions.
- Replacement of Schedule G – DPA Area 4: Elevated Groundwater Catchment, with DPA 4: Groundwater Recharge Protection.

**3. Bylaw 283- A Groundwater Recharge Protection DPA (Attachment 1)**

- New DPA guidelines which would amend the DPA guidelines for Galiano's Elevated Groundwater Catchment DPA. Amendments include: reference to 2021 mapping of recharge areas, additional exemptions including clustering development and professional reliance, changes consistent with introduction of cistern requirements for new builds, and changing the name of the DPA.

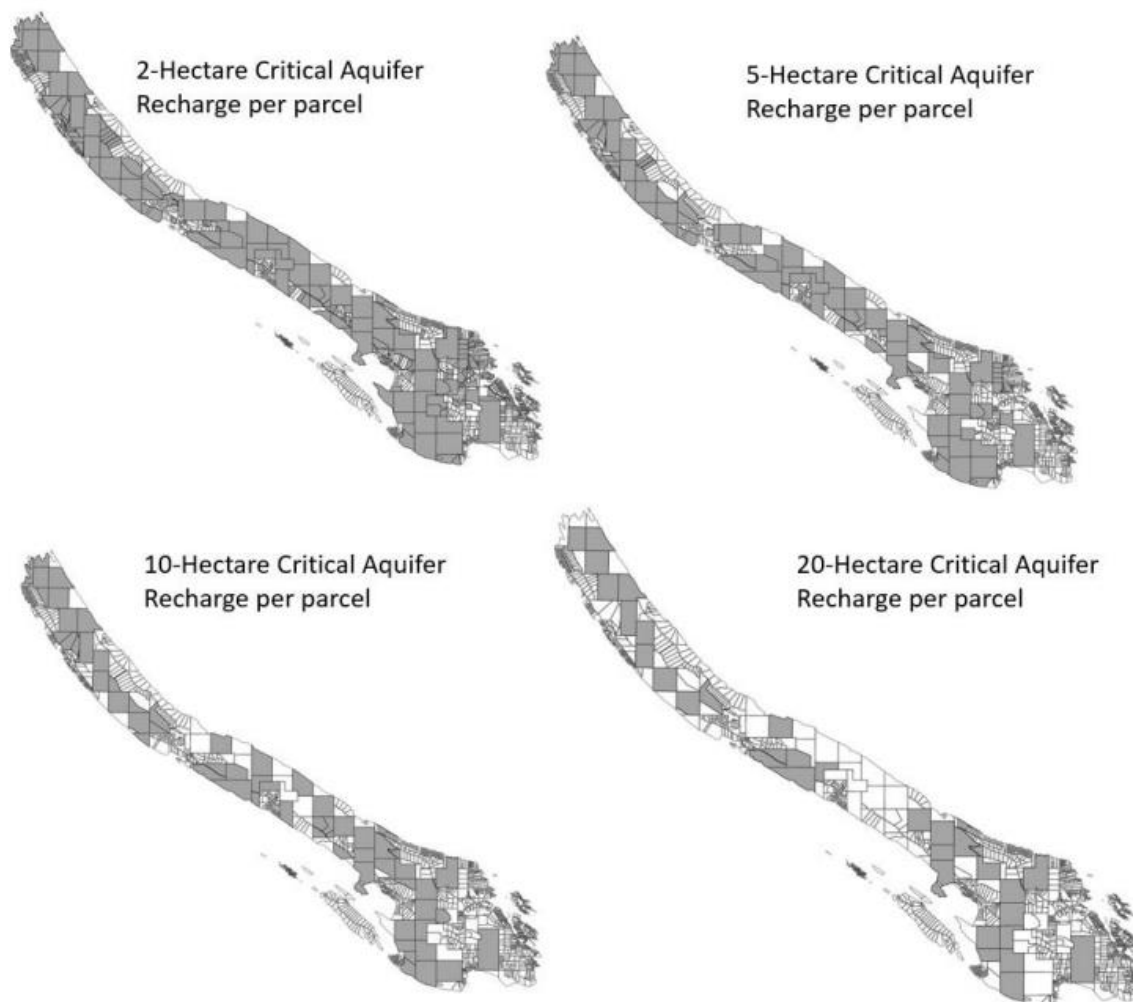
- Proposed options for DPA boundaries and methodology are contained in the memo written by the Senior Freshwater Specialist which is attached to the [June 2, 2022 staff report](#).
- The attached draft Bylaw includes the Schedule map for the 5 hectare critical aquifer coverage option with the parks and protected areas taken out.

### DPA Boundary Methodology

The [methodology](#) for identifying boundaries for the Groundwater Protection DPA as described in the memo attached to the June 2, 2022 staff report includes:

- Examining groundwater recharge potential data from the Islands Trust Groundwater Recharge Mapping project.
- Identifying Critical Aquifer Recharge Areas.
- Identifying the amount of Critical Aquifer Recharge on every parcel of land on Galiano Island.
- Identifying which parcels could be included in the DPA based on the amount of Critical Aquifer Recharge Area on each parcel.
- The memo identifies how many parcels could be included for 4 different scenarios (coverage of critical aquifer recharge area of up to 2 hectares, 5 hectares, 10 hectares, and 20 hectares). These scenarios are identified below.

Figure 1: Groundwater Recharge Protection Development Protection Area Options



The scenarios above still include parks and protected areas while the map identified in the draft bylaw (Schedule G) does not. As identified in the September 27, 2022 resolution above, the LTC supported staff's recommendation for the DPA to not extend to parks and protected areas for the following reasons:

- Provincial and Federal parks are not subject to local government regulation
- Land for conservation with a covenant is exempt from DPA (see guidelines)
- Local government parks are exempt from the DPA (see guidelines)

## ANALYSIS

The previous Galiano LTC's resolution to bring forward the draft bylaws for first reading was based on their understanding of the impact of the bylaws and the interests of the community. Staff are recommending the new LTC take some time to understand the bylaws before moving to first reading. Staff are also continuing to review the specific wording in the subdivision regulations and further minor revisions may be made to the LUB draft. However, staff encourage the LTC to schedule the public hearing by the end of March as the funding for this project will expire at that time. This funding will support the public hearing and other related community engagement before the end of the fiscal year.

Given the two years of time spent on this project including two community information meetings and much time for community input these bylaw are ready to move through the process to adoption. This will be the first groundwater sustainability implementation project completed by an LTC. As such, it would serve as an example for other LTC to follow.

## ALTERNATIVES

### 1. Request staff schedule special meeting of the LTC prior to reading the bylaws for the first time

The LTC may choose to hold a special meeting of the LTC to provide the opportunity for more detailed discussion on the project and the bylaws prior to first reading.

*That the Galiano Island Local Trust Committee request staff schedule a special meeting of the LTC to discuss the bylaws associated with the Groundwater Sustainability Implementation Project.*

### 2. Request staff schedule a community meeting prior to the reading of the bylaws for the first time

The LTC may choose to hold another community information and discussion meeting prior to the reading of the bylaws.

*That the Galiano Island Local Trust Committee request staff schedule a community information meeting to discuss the bylaws associated with the Groundwater Sustainability Implementation Project.*

## NEXT STEPS

If the staff recommendation is supported:

- Bylaws will be presented to the LTC at next LTC meeting;
- LTC gives first reading;
- Bylaw referral comments to be received prior to Public Hearing;
- Community Information Meeting and Public Hearing held;
- LTC gives second and third reading;

- Proposed bylaws referred to Executive Committee and the OCP Bylaw is referred Minister of Municipal Affairs for approval; and
- LTC gives final reading and adopts bylaw.

|               |                                          |                   |
|---------------|------------------------------------------|-------------------|
| Submitted By: | Narissa Chadwick RPP, Island Planner     | November 17, 2022 |
| Concurrence:  | Robert Kojima, Regional Planning Manager | November 18, 2022 |

#### **ATTACHMENTS**

1. Bylaw 283 (OCP)
2. Bylaw 284 (LUB)



# DRAFT

## GALIANO ISLAND LOCAL TRUST COMMITTEE BYLAW NO. 283

---

### A BYLAW TO AMEND GALIANO ISLAND OFFICIAL COMMUNITY PLAN BYLAW NO. 108, 1995

---

The Galiano Island Local Trust Committee in open meeting assembled enacts as follows:

#### 1. CITATION

This Bylaw may be cited for all purposes as “Galiano Island Official Community Plan Bylaw No. 108, 1995, Amendment No. 1, 2022”.

#### 2. SCHEDULES

Galiano Island Official Community Plan No. 108, 1995 is amended as shown on Schedule 1, attached to and forming part of this bylaw.

#### 3. SEVERABILITY

If any provision of this Bylaw is for any reason held to be invalid by a decision of any Court of competent jurisdiction, the invalid provision must be severed from the Bylaw and the decision that such provision is invalid must not affect the validity of the remaining provisions of the Bylaw.

|                                                               |       |        |       |        |
|---------------------------------------------------------------|-------|--------|-------|--------|
| READ A FIRST TIME THIS                                        | _____ | DAY OF | _____ | 20____ |
| PUBLIC HEARING HELD THIS                                      | _____ | DAY OF | _____ | 20____ |
| READ A SECOND TIME THIS                                       | _____ | DAY OF | _____ | 20____ |
| READ A THIRD TIME THIS                                        | _____ | DAY OF | _____ | 20____ |
| APPROVED BY THE EXECUTIVE COMMITTEE OF THE ISLANDS TRUST THIS | _____ | DAY OF | _____ | 20____ |
| APPROVED BY THE MINISTER MUNICIPAL AFFAIRS THIS               | _____ | DAY OF | _____ | 20____ |
| ADOPTED THIS                                                  | _____ | DAY OF | _____ | 20____ |

\_\_\_\_\_  
CHAIR

\_\_\_\_\_  
SECRETARY

**GALIANO ISLAND LOCAL TRUST COMMITTEE  
BYLAW NO. 283**

**SCHEDULE 1**

The Galiano Island Official Community Plan No. 108, 1995, is amended as follows:

1. Table of Contents Section V is amended by deleting “4. Development Permit Area 4 – Elevated Groundwater Catchment Areas” and replacing it with “4. Development Permit Area 4 – Groundwater Recharge Protection”.
2. Section II Land Use, Residential Policy “o)” is amended by deleting “Community, Sport and Cultural Development” and replacing it with “Municipal Affairs”.
3. Section II Land Use, Subsection 5.4 Light Industry, Light Industry Advocacy Policy “m)” is amended by inserting “recharge and” after “groundwater” and before “catchment areas”.
4. Section III Services, Subsection 2 Water Supply, Water Supply Objectives is amended by deleting Objectives 1-4 in entirety and replacing with:
  - “1) to ensure an adequate supply of potable freshwater to all users now and into the future,
  - 2) to ensure that groundwater use, and alteration to the land does not pollute or otherwise increase the vulnerability of groundwater regions,
  - 3) to protect critical groundwater recharge areas by evaluating land use decision based on available groundwater vulnerability data and applying the precautionary principle to land use decisions, and
  - 4) to consider and address climate change impacts on freshwater supply and quality.”
5. Section III Services, Subsection 2 Water Supply, Water Supply Policies is amended by deleting policy “a)” in its entirety and replacing it with:
  - “a) Areas identified to be key areas for water supply , fresh water catchment, storage and recharge shall be preserved and protected.

Land identified through groundwater recharge mapping to have significant recharge potential shall be designated as a development permit area for the protection of the watershed.”

6. Section III Water Supply, Water Supply Policy “b) vi)” is amended by deleting “elevated groundwater catchment” and replacing it with “groundwater recharge protection”.
7. Section III Water Supply, Water Supply Policies is amended by removing policy “c)” in its entirety and replacing it with “c) Regulations may require new developments to provide cisterns.”
8. Section IV Conservation and Environment is amended by deleting all instances of “Fresh Water” and replacing them with “Freshwater”.
9. Section IV Conservation and Environment, Freshwater Advocacy Policies is amended by deleting “and the Provincial Ministry of Environment, Ministry of Transportation and Infrastructure, and Ministry of Forests, Lands and Natural Resource Operations” and replacing it with “and relevant Provincial Ministries”.
10. Section V Development Permit Areas is amended by deleting subsection “4. Development Permit Area 4-Elevated Groundwater Protection” in its entirety and replacing it with:

**“4. Development Permit Area 4 – Groundwater Recharge Protection**

**4.1 Description of Area**

Development Permit Area 4 includes critical groundwater recharge areas identified on Schedule G. Critical groundwater recharge areas contain hydrogeological conditions that facilitate aquifer recharge and/or transmit contaminants to an underlying aquifer. Factors considered in the identification of critical aquifer recharge areas include topography, remote sensing, satellite multispectral analysis depth to water table, presence of highly permeable soils, land-cover analysis, structural geology, presence of flat terrain, and the presence of more permeable surficial geology.

**4.2 Authority**

The Groundwater Recharge Protection Development Permit Area is designated a development permit area pursuant to Section 488(1)(a) of the *Local Government Act* for the protection of the natural environment, its ecosystems and biological diversity and Section 488(1)(i) of the *Local Government Act* for the establishment of objectives to promote water conservation.

**4.3 Special Conditions and Objectives that Justify the Designation**

It is the Object of the Islands Trust to “Preserve and protect the Trust Area and its unique amenities and environment of the Trust Area for the benefit of the residents of the Trust Area, and of British Columbia generally, in cooperation with municipalities, regional districts, improvement districts, other persons and organizations and the government of British Columbia.”

It is Provincial legislation in Section 473(1)(d) of the Local Government Act that an official community plan must include statements and map designations for the area covered by the Plan respecting restrictions on the use of land that is environmentally sensitive to development.

The Islands Trust Council has committed to identifying, protecting and, where possible, restoring or rehabilitating groundwater recharge areas in the Trust Area.

It is policy of the Islands Trust Council that Local Trust Committees address measures that ensure:

- neither the density nor intensity of land use is increased in areas which are known to have a problem with the quality or quantity of the supply of freshwater, and
- the quality and quantity of drinking water sources for current and future Trust Area residents is preserved and protected, and
- the overall health of watersheds and ground water in the Islands Trust Area is protected.

Mapping of recharge and water balance completed in 2021 for Galiano Island identifies that the island has a number of areas of critical concern with respect to groundwater vulnerability.

The Objectives of the development permit area are:

- to protect and sustain access to a reliable and safe supply of drinking water for groundwater wells
- to protect and sustain the quality and supply of surface and groundwater necessary to the provision of ecological services
- to mitigate the impacts of development and climate change on groundwater supplies

#### **4.4 Development Approval Information**

The Groundwater Recharge Protection DPA is also designated an area for which development approval information (DAI) may be required according to Section 485(1) of the *Local Government Act*. The designation of these areas for this purpose is based on the special conditions or objectives supporting the designation of the DPA. Development approval information means information on the anticipated impact of the proposed activity or development on the community or the natural environment.

#### **4.5 Applicability**

A development permit is required for the subdivision of land, construction of, addition to or alteration of a building or other structure, or land alteration, including the cutting of trees, unless exempted below.

#### **4.6 Development Permit Exemptions**

The following activities are exempt from any requirement for a development permit:

- a) Development for which Islands Trust has been provided with a written statement from a registered professional hydrogeologist with relevant experience certifying that the proposed would have no impact on critical groundwater recharge.

- b) Repair, maintenance, alteration, additions to, or reconstruction of existing lawful buildings, structures or utilities, including those that are lawfully non-conforming (a building permit may still be required).
- c) Dwellings, cottages, accessory buildings and structures, and associated land alteration that are clustered within a residential home plate not exceeding an area of 1000m<sup>2</sup>, and one access driveway and overhead utility lines and poles outside of the residential home plate
- d) Land that is subject to a conservation covenant under section 219(4) of the *Land Title Act* in relation to natural, environmental, wildlife or plant life value relating to the land, granted to the Local Trust Committee or a covenantee designated under section 219(3)(c) of the *Land Title Act*.
- e) Repair and maintenance of existing roads, driveways, paths and trails, provided there is no expansion of the width or length of the road, driveway, path or trail, and no creation of additional impervious surfacing, including paving asphalt or similar surfacing.
- f) Removal of invasive species.
- g) Cutting and removal of up to 5 trees per hectare (with a trunk diameter greater than 20 centimetres measured 1.5 metres above the ground) within a 12-month period on any one lot.
- h) Removal of trees that have been examined by an arborist and certified to pose an immediate threat to life or property.
- i) Farm operations as defined in the *Farm Practices Protection (Right to Farm) Act* and farm uses as defined in Section 2(2), (3), (4) and (5) of the *Agricultural Land Reserve Use, Subdivision, and Procedure Regulation*.
- j) Forest management activities, as defined in the *Private Managed Forest Land Regulation*, on land classified as managed forest land under the *Private Managed Forest Land Act*.
- k) The construction of an accessory building or structure with a lot coverage of less than 100m<sup>2</sup>.
- l) Construction of trails or fences that does not alter contours of the land.
- m) Emergency actions required to prevent, control or reduce an immediate threat to human life, the natural environment or public or private property including:
  - i. Forest fire, flood and erosion protection works;
  - ii. Protection, repair or replacement of public facilities;
  - iii. Clearing of an obstruction from a bridge, culvert, dock wharf or stream; or
  - iv. Bridge repairs.
- n) Works undertaken by a local government or a body established by a local government.
- o) Works authorized under a provincial statute.

#### 4.7 Guidelines

The *Local Government Act* prohibits construction of buildings and structures and the alteration of land and subdivision in Development Permit Area 4 unless the owner first obtains a development permit. Development permits will be issued in accordance with the following guidelines.

1. In general, development should minimize negative impacts on the quality and quantity of subsurface water supplies.
2. Where a qualified professional hydrogeologist or engineer has made recommendations for mitigation measures, the permit conditions may include a requirement for security in the form of an irrevocable letter of credit, to ensure the protection of groundwater supply quality or quantity consistent with the measures and recommendations described in the report.
3. Where the qualified professional hydrogeologist or engineer's report describes an area as suitable for development with special mitigating measures, the development permit should only allow the development to occur in compliance with the measures described in the report. Monitoring and regular reporting by a hydrogeologist or other professional at the applicant's expense may be required during construction and development phases, as specified in a development permit.
4. Where an application involves the subdivision of land, layout of the subdivision should be, to the greatest extent possible, designed to:
  - a) replicate the function of a naturally vegetated watershed;
  - b) maintain the hydraulic regime of surface and groundwater pre-development flow rates;
  - c) minimize interference with groundwater recharge;
  - d) not introduce or remove material where it would cause erosion of or the filling in of natural watercourses or wetlands.
5. Where freshwater collection and storage cisterns are required as a condition of the construction of a building, impervious surfaces should be minimized.
6. Where freshwater collection cisterns are required as a condition of construction of a building, the LTC may require that all new dwelling units include:
  - i. External equipment for collecting and distributing rainwater from the dwelling unit roof;
  - ii. A pumping system;
  - iii. An overflow handling system.
7. The use of impervious paved driveways shall be discouraged.
8. Where tree removal is not exempt from the requirement for a permit:
  - a. Removal of trees from steep slopes should only be allowed where necessary and where replacement vegetation / erosion control measures are established. Plans delineating extent of vegetation / tree removal and location of proposed construction, excavation and / or blasting, may be required.

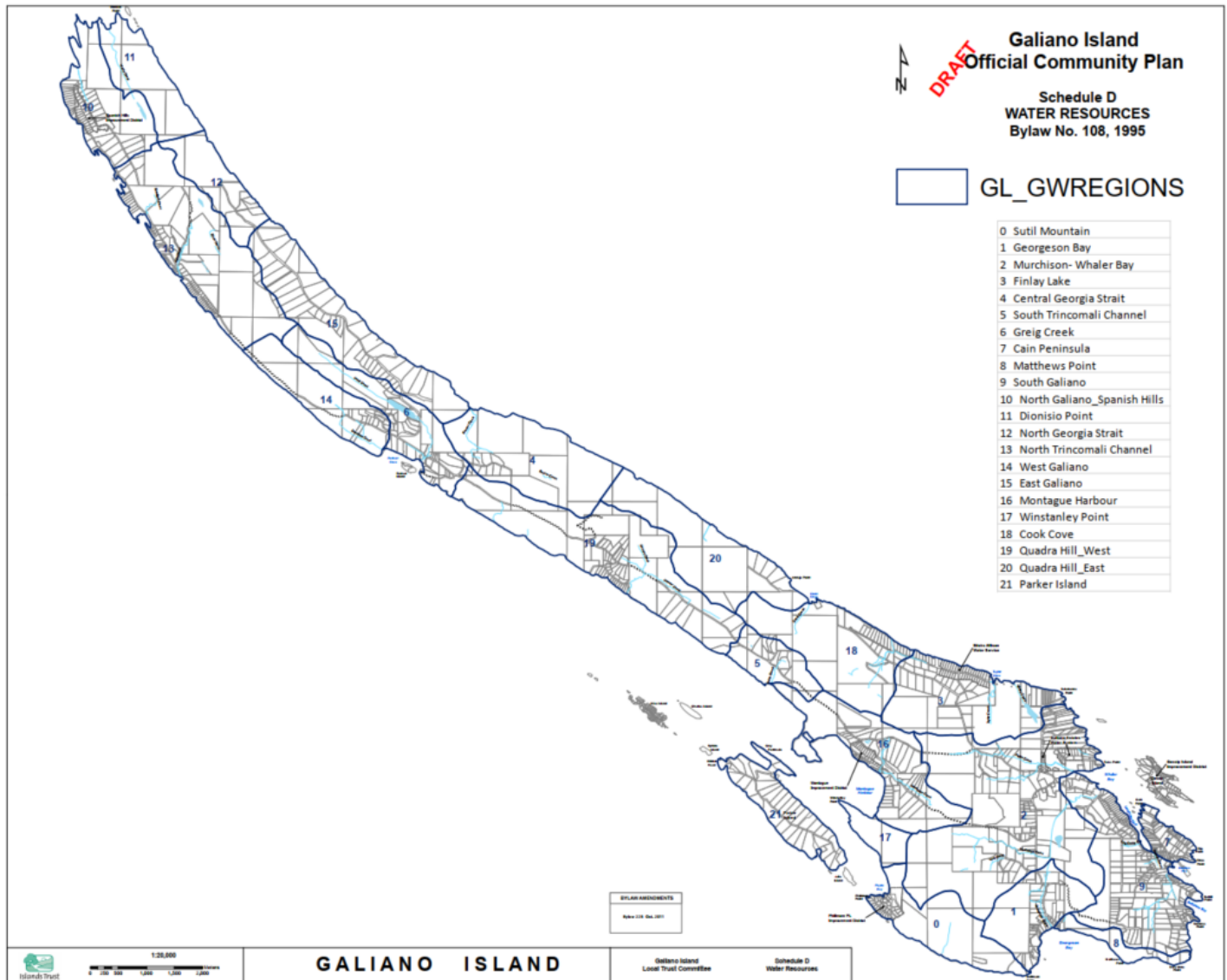
- b. All development should be undertaken and completed in such a manner as to prevent the release of sediment to any watercourse. An erosion and sediment control plan, including actions to be taken prior to land clearing and site preparation and the proposed timing of development activities to reduce the risk of erosion, may be required as part of the development permit application.
  - c. Existing, native trees should be retained wherever possible and trees to be retained near development should be clearly marked prior to development, and temporary fencing installed at the drip line to protect them during clearing, grading and other development activities.
  - d. If the area has been previously cleared of trees, or is cleared during the process of development, replanting requirements may be specified in the development permit. Areas of undisturbed bedrock exposed to the surface or natural sparsely vegetated areas should not require planting.
  - e. Tree species used in replanting, restoration or enhancement should be selected to suit the soil, light and groundwater conditions of the site, should preferably be native to the area, and should be selected for erosion control and/or wildlife habitat values as needed. Suitably adapted, non-invasive, non-native trees may also be considered acceptable.
  - f. All replanting should be maintained by the property owner for a minimum of 2 years from the date of completion of the planting to ensure survival. This may require removal of invasive, non-native weeds (e.g., Himalayan blackberry, Scotch broom, English ivy) and irrigation. Unhealthy, dying or dead trees should be replaced at the owner's expense in the next regular planting season. Permits may include, as a condition, the provision of security to guarantee the performance of terms of the permit.
9. Roads, driveways, trails and pathways should follow the contours of the land and appropriately manage drainage. The construction of roads and utility corridors and other activities involving the disturbance of the soil, must be conducted in such a manner that the productivity of the local groundwater recharge area is not impaired through soil compaction, altered surface drainage patterns, siltation, erosion, or salt water intrusion.
10. Parking areas should be located and constructed so as to minimize erosion and water pollution by controlling storm runoff. Structural measures such as catch basins, oil separators, bio-filtration trenches or swales, unpaved or permeable all-weather surfaces should be considered for this purpose.
11. Permits may include minor variances to subdivision or building and structure siting or size regulations to meet the objectives of the development permit area."
12. Section VI Development Approval Information, Subsection 2. Special Conditions "ii" is amended by deleting "elevated groundwater catchments" and replacing it with "groundwater recharge".
13. Schedule "D – Water Resources" is removed and replaced with Schedule "D – Groundwater Regions" as shown on Plan No.1 attached and forming part of this bylaw.

14. Schedule "G – Development Permit Area 4: Elevated Groundwater Catchment" is removed and replaced with Schedule "G – Development Permit Area 4: Groundwater Recharge Protection" as shown on Plan No.2 attached and forming part of this bylaw.



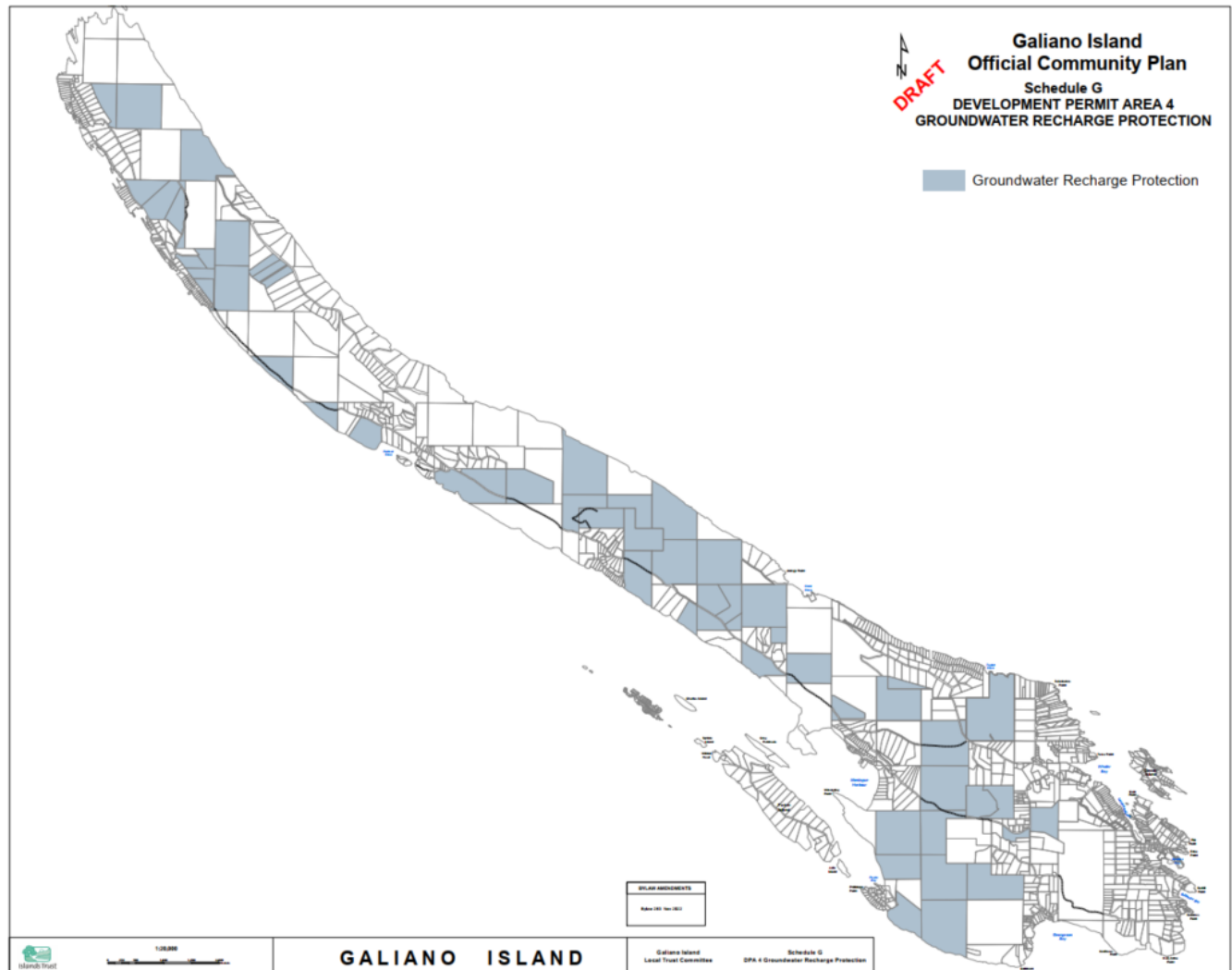
**GALIANO ISLAND LOCAL TRUST COMMITTEE**  
**BYLAW NO. 283**  
**Plan No.1**

**Schedule D – Groundwater Regions**



**GALIANO ISLAND LOCAL TRUST COMMITTEE**  
**BYLAW NO. 283**  
**Plan No.2**

**Schedule G – Development Permit Area 4: Groundwater Recharge Protection**



# DRAFT

## GALIANO ISLAND LOCAL TRUST COMMITTEE BYLAW NO. 284

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### A BYLAW TO AMEND GALIANO ISLAND LAND USE BYLAW, NO. 127, 1999

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The Galiano Island Local Trust Committee, being the Local Trust Committee having jurisdiction in respect of the Galiano Island Local Trust Area under the *Islands Trust Act*, enacts as follows:

1. Citation

This bylaw may be cited for all purposes as “Galiano Island Land Use Bylaw No. 127, 1999, Amendment No. 1, 2022”.

2. Galiano Island Local Trust Committee Bylaw No. 127, cited as “Galiano Island Land Use Bylaw No. 127, 1999,” is amended as follows:

2.1 Section 2 General Regulations, Subsection 2.28– Secondary Suites is amended by removing 2.28.6 in entirety and replacing it with “ 2.28.6 A building permit for a property outside a water service area shall not be issued for a secondary suite unless a freshwater catchment and storage system having a capacity of at least 18,000 litres is installed on the property.”

2.2 Section 2 General Regulations is amended by inserting “Cistern Requirements” as a new heading under Section 2.28.

2.3 Section 2 General Regulations is amended by inserting, under the heading “Cistern Requirements” the following:

“2.29 A building permit for a property outside a water service area shall not be issued for a new building to be used as a dwelling, including a cottage, unless a cistern (or combination of cisterns) for the storage of freshwater having a capacity of at least 18,000 litre is installed on the property.

2.30 The floor area occupied by any cistern located in a building and the housing provided for such cistern is excluded from the calculation of the floor area of the building and the lot coverage of the lot on which it is located. “

2.4 Section 13 Subdivision and Development Regulations 13.23 is amended by removing “16,000” and replacing it with “18,000”.

2.5 Section 13 Subdivision and Development Regulations is amended by deleting 13.24 through 13.29 in entirety and replacing with the following and by making such consequential numbering alterations to effect this change.

13.24 Each lot in a proposed subdivision must be supplied with sufficient potable water to supply the uses permitted on the *lot* by this Bylaw according to the standards set out in Table 1.

| TABLE 1<br>POTABLE WATER SUPPLY STANDARDS FOR SUBDIVISION |                            |
|-----------------------------------------------------------|----------------------------|
| USE                                                       | VOLUME<br>(litres per day) |
| <i>Per lot (including one dwelling unit)</i>              | 2000                       |
| <i>Each additional dwelling unit</i>                      | 2000                       |

*Information Note: If more than one dwelling unit is connected to the same source of water, the water system may be subject to the Drinking Water Protection Act, the Water Utility Act or other regulations pertaining to water supply systems.*

*Information Note: Water obtained from a stream, or non-domestic groundwater use requires a licence under the Water Sustainability Act.*

- 13.25 Where potable water is to be supplied by a community water system, the community water system must provide written confirmation that it is able to supply potable water for the uses specified in Table 1 to each lot.
- 13.26 Where potable water is to be supplied from a stream, the applicant for subdivision must provide proof of authorization (water licence) indicating the total volume of water granted to the licence holder confirming that it is able to supply *potable* water for the volume specified in Table 1 to each *lot*.
- 13.27 Where a lot proposed to be subdivided contains a non-domestic use that requires a licence under the *Water Sustainability Act*, the applicant must provide proof of authorization (water licence) indicating the total volume of water granted to the licence holder confirming that it is able to supply water for the non-domestic use, as well as potable water for the volume specified in Table 1 to each lot.
- 13.28 In the absence of a water licence, where potable water is to be supplied by a drilled well, a pumping test shall be carried out on each well in a proposed subdivision by:
- pumping groundwater, at a constant rate, for a minimum period of 12 hours; and
  - withdrawing the total daily required volume specified in Table 1 over a maximum period of 24 hours; and
  - monitoring groundwater levels continuously during the pumping test and during the recovery period.
- 13.29 Where potable water is to be supplied by a drilled well in accordance with Subsection 13.28, a sounding tube or wellhead port must be installed to enable the insertion of water level monitoring equipment.
- 13.30 Drilled wells used for the purposes of subdivision application must not be located within 50 metres of the natural boundary of the sea.

- 13.31 Where potable water is to be supplied by a drilled well in accordance with Subsection 13.28, the applicant for subdivision must provide written certification under seal of a hydrogeologist that:
- Each well has been constructed in accordance with the *Groundwater Protection Regulation*;
  - Each well has been constructed in accordance with Subsections 13.28 and 13.29;
  - Each well has sufficient available groundwater to provide the daily required volume of potable water for each lot in accordance with Table 1; and
  - Includes recommendations for mitigation measures, if applicable, to ensure long-term sustainable yield of the drilled well.
- 13.32 If the daily required volume of potable water cannot be supplied in accordance with Subsections 13.24 or if the certification referred to in Article 13.31(c) cannot be made, the applicant must grant a covenant under the *Land Title Act* to the Galiano Island Local Trust Committee that restricts the development of the subdivision to the uses for which there is a sufficient volume of water.
- 13.33 Where the potable water supply is provided through a drilled well or water licence, a hydrogeologist must also provide:
- Results of a water quality analysis, completed by an accredited laboratory;
  - A plan of the proposed subdivision indicating the location where each water sample was taken;
  - A statement that the water samples upon which the water quality analysis was performed were unadulterated samples taken from the locations indicated on the plan.
  - Confirmation, based on the accredited laboratory water quality analysis, that the proposed water supply source is potable, or can be made potable, with a treatment system; and
  - Confirmation, based on the accredited laboratory water quality analysis of chloride concentrations, that the drilled well is not likely to be affected by the intrusion of saline groundwater or sea water in accordance with the Province of British Columbia guidance documents;
- 13.34 If the water to be supplied is not potable, but can be made potable with a treatment system, the applicant must grant a covenant under the *Land Title Act* to the Galiano Island Local Trust Committee that requires on-going treatment of the water to potable water standards.
- 13.35 For the purposes of subdivision, drilled wells impacted by seawater intrusion or whose operation is likely to cause seawater intrusion are not permitted sources of potable water.
- 13.36 For the purposes of subdivision, alternative potable water supplies including, but not limited to, shallow dug wells, rainwater catchment and desalination are not permitted sources of potable water.
- 13.37 The requirements of Section 13.24 -13.36 shall not apply where the proposed subdivision is a boundary adjustment that does not result in an increase in the number of lots or permitted dwelling units, provided that all lots in the subdivision

are currently serviced by existing wells, community water system connection or water licence.”

- 2.5 Section 17 Interpretation, Subsection 17.1 Definitions, is amended by adding the following in alphabetical order:

““aquifer” means a geological formation; or a group of geological formations, or a part of one or more geological formations that is groundwater bearing and capable of storing, transmitting and yielding groundwater.

“groundwater” means water naturally occurring below the surface of the ground.

“Hydrogeologist” means an engineer or geoscientist with competency in the field of hydrogeology, regulated under the Professional Governance Act, Engineers and Geoscientists Regulation.

“potable” means water that is safe to drink, fit for domestic purposes and meets the Heath Canada Guidelines for Canadian Drinking Water Quality or any guidance documents or legislation which may be enacted in substitution.”

“pumping test” means a flow test to determine the long-term sustainable yield of a well, conducted under supervision of a hydrogeologist, and that is consistent with the British Columbia Guide to Conducting Pumping Tests, Guidance for Technical Assessments in Support of an Application for Groundwater Use in British Columbia, other guidance documents which may be issued, applicable legislation, and consists of pumping groundwater from a well typically for 12 to 72 hours depending on aquifer characteristics.

- 2.6 Section 17 Interpretation, Subsection 17.1 Definitions, is amended by removing the definition of “community water system” in its entirety and replacing it with  
 ““community water system” means a system of waterworks that serves more than one lot and is owned, operated and maintained by an improvement district, a regional district, a water utility, a society, or a water supplier.”

DATE OF MEETING: December 5, 2022  
TO: Galiano Island Local Trust Committee  
FROM: Robert Kojima, Regional Planning Manager  
Southern Team  
COPY: Brad Smith, Island Planner  
SUBJECT: Local Trust Committee Work Program Review

## RECOMMENDATION

1. That the Galiano Island Local Trust Committee make any amendments to the Work Program

## REPORT SUMMARY

The Local Trust Committee is being asked to review its 'Work Program' and provide direction for any changes to the Active and Future Projects. This report provides a summary of current and recently completed LTC Projects, an overview of the currently identified future projects, and identifies other potential projects the LTC may wish to consider this term. The report also provides a summary of the status of major applications.

### Completed and On-going Projects

Over the course of past term the LTC undertook the following projects:

| Project                            | Summary                                                                                                                          | Current Status                                             | Comments                                                                                                                         |
|------------------------------------|----------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------|
| STVR Review                        | Reviewed Policy and Regulations for Short Term Vacation Rentals                                                                  | Completed                                                  | This two year project (2019 – 2021) resulted in amendments that removed option for operators to apply for a Temporary Use Permit |
| Technical and Minor Amendments     | Made a number of corrections to errors, omissions and updated regulations in Land Use Bylaw                                      | Completed                                                  | Project was initiated in 2020 and completed in mid-2021                                                                          |
| District Lot Amendments            | Re-designated and rezoned three F1 lots owned by the province and rezoned one lot owned by the conservancy to Nature Protection. | OCP amendment bylaw is at the Ministry for approval        | Bylaws can be adopted upon receipt of Minister's approval                                                                        |
| Groundwater Mapping Implementation | To implement groundwater mapping project through amendments to Development Permit Area and subdivision regulations               | LTC direction to draft bylaws and bring back for readings. | The project is funded through the end of the fiscal year (March 31, 2023).                                                       |

By Trust Council policy, an LTC can have one active minor project at a time, in addition to any major projects funded through a business case approved by Trust Council.

Currently, the Groundwater Mapping Implementation project is the LTC's Active Project. Staff recommend that the LTC review the work undertaken by the previous LTC on the Groundwater Mapping Implementation project: mapping work has been completed, funding is available to March 31<sup>st</sup> and funding in the next fiscal year could be available up to \$5000 to complete the work. The LTC should review the work done to date and provide direction on whether it still wishes to proceed. If the LTC does want to proceed with the project, no amendment to the Work Program would be needed.

### Potential Future Projects

The LTC should start to consider future projects, particularly any Major Projects, as business cases need to be developed starting in April 2023. The following section identifies potential future projects from several sources.

1. Future Projects List: as issues are identified, an LTC can add potential projects to the 'Future Projects List'. These are tracked in a report included in each agenda package. The following table summarizes the items currently identified on the Future Projects List:

| Date added | Issue                          | Description                                                                                                                                        | Comments                                                                                                        |
|------------|--------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------|
| 2012       | Parking                        | Roadside parking in summer for Spanish Hills Dock and boat launch.                                                                                 | This would be advocacy with MoTI, the OCP was amended to include policy supporting rezoning for a parking area. |
| 2013       | Light Industrial Zoning        | A review and inventory assessment of existing and potential light industrial zones.                                                                | Could be a future minor project                                                                                 |
| 2019       | Coastal Douglas-fir Protection | Implementation of recommendations from toolkit                                                                                                     | Depending on scope, could be a minor project or a major project                                                 |
| 2019       | Cannabis retail and production | Consider review of policies and regulations to address cannabis retail sales and production                                                        | Not currently an issue, would be a minor project                                                                |
| 2019       | Emergency Access Planning      | Follow-up from CRD emergency planning process - include consideration of developing driveway guidelines for emergency access within land use bylaw | Depending on scope, could be a minor project or a major project                                                 |
| 2020       | Review of Road Network Plan    | Review of Road Network Plan (December 11th APC memo in review process)                                                                             | Would likely be a major project                                                                                 |



| Date added | Issue                                                                         | Description                                                                                                 | Comments                                                                                                                                               |
|------------|-------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------|
| 2021       | Review of tiny home/trailer regulations, maximum house sizes and lot coverage | Identified as a future Phase II Housing initiative (to follow STVR Review)                                  | Identified scope would be a minor project. Scope could be expanded to a broader affordable housing initiative (see below)                              |
| 2022       | Wise Island Bylaw Review                                                      | Review of OCP and LUB pertaining to Wise Island bylaws and potentially other islands with water access only | Scope would be amendments to the existing zoning, creation of new separate bylaws for associated islands no longer supported. Would be a minor project |
| 2022       | Shoreline model protection bylaw                                              | Review APC report in consideration of development of shoreline model protection bylaw                       | Would likely be a minor project to review existing DPA and setbacks, and review dock zoning.                                                           |

The LTC should review the Future Projects List and remove any initiatives it considers out-of-date or any it no longer supports.

2. Strategic initiatives: these are potential projects that have been advanced through the Regional Planning Committee, with a brief description of each:
  - a. Affordable Housing: a broader review of housing policies and regulations, including consideration of implementation of Islands Trust housing toolkit recommendations and coordination with CRD [Southern Gulf Islands Housing Strategy](#).
  - b. Coastal Douglas-fir Ecosystem Protection: Regional Planning Committee prepared a toolkit with options for protecting significant tracts of mature forest. This is also on the LTC's Future Projects List.
  - c. Cultural Heritage Protection implementation: phase 1 of a project to develop criteria for identification of cultural heritage sites was undertaken last year. Implementation could include designation of Heritage Conservation Areas, based on existing mapping, designation of shoreline areas or First Nations recommendations.
  - d. Shoreline Review: Regional Planning Committee funded a report on shoreline protection last term. Several LTCs initiated projects to review shoreline and marine policies and regulations last term. This is also on the LTC's Future Projects list.
  - e. Development Permit Area Review: while not a specific Regional Planning Committee project, Galiano's development permit areas were, for the most part, adopted or amended ten years ago. A discrete review and update could be an LTC project this term.

3. OCP / LUB Review: Galiano's OCP was extensively reviewed and updated ten years ago and the LUB was subsequently amended as well. Galiano's Bylaws are not the oldest, but nor are they the most recent in the Trust Area; the LTC could consider identifying an OCP and LUB review to commence later in the term.
4. Other potential projects: the LTC should consider identifying other potential initiatives or issues, either as an LTC or through a process of community consultation.

The LTC may wish to request scheduling of a special meeting to engage in more detailed deliberations on identifying future projects or to engage in community consultation on future priorities.

### **Business Cases for Major Projects**

Major projects are any LTC projects that are anticipated to require a budget over \$5,000 in any given fiscal year. These projects would be supported by planners from the Regional Planning Team and are required to have a business case approved by Trust Council. LTCs wishing to undertake a Major Project should start developing a business case in the spring, endorse the business case by July in order to have it reviewed by Regional Planning Committee and by the Financial Planning Committee at their October and November meetings. The Financial Planning Committee's recommendations on the business case would then be considered at the December Trust Council for inclusion in the budget for the following fiscal year.

### **Administrative Bylaws**

All LTCs have administrative bylaws that govern the LTC's procedures. Recent amendments to the LTC's administrative bylaws include:

1. Amendments to the meeting procedures bylaw to permit electronic meetings
2. A new Fees Bylaw to implement application fee changes recommended by the Regional Planning Committee
3. Adoption of a Land Use Permit Delegation Bylaw: this delegates the approval of development permits to staff for all DPAs except Form and Character.

Pending Administrative Bylaw amendments that the LTC can expect next year include:

1. Amendments to the development procedures bylaw to allow for alternative notification for public hearings
2. Amendments to the Freedom of Information Bylaw will be brought to all LTCs by the Director of Legislative Services in the new year.

### **Applications**

Rezoning applications are the most complex and time consuming applications considered by LTCs. The LTC completed several significant rezoning applications in the last term.

1. GL-RZ-2017.1 (Stevens) – Rezoning of a portion of an F1 lot to Forest Industrial, with provision of emergency access Statutory Right-of-way to CRD and a covenant for future road dedication.
2. GL-RZ-2017.2 (Mignault) – rezoning of lot from F2 to R2

3. GL-RZ-2019.2 (Gavreau) – rezoning of lot from residential to commercial
4. GL-RZ-2021.1 (GALI) – rezoning for new affordable housing proposal
5. GL-RZ-2022.1 (Gaylor- DL85) – F1 rezoning, proceed no further

Several rezoning applications remain on-going:

1. GL-RZ-2014.1 (Crystal Mtn) – Bylaws have received First Reading
2. GL-RZ-2019.1 (GIGARHS) – Affordable housing - ready for adoption
3. GL-RZ-2020.1 (King) – F1 to F3 rezoning - applicant to provide professional reports
4. GL-RZ-2021.2 (Gaylor – DL86) – F1 rezoning - application in abeyance, applicants to provide revised plan
5. GL-RZ-2022.2 (Hayes) – rezoning to boundary adjustment - First Reading

In addition to rezoning applications, last term the LTC considered:

1. 64 land use permits (an average of 16 per year):
  - i. Development Permits – 17
  - ii. Development Variance Permits – 28
  - iii. Temporary use permits – 19
2. In addition:
  - i. Staff reviewed 118 Building Permits for the CRD and 3 subdivisions
  - ii. There were 3 Board of Variance appeals

Summary reports with the current status of all applications are provided in each agenda package. Staff reports are included in agendas when an LTC decision or direction is required.

### **Standing Policies and Resolutions**

The LTC has, over the years, adopted a number of policies in the form of standing resolutions. These resolutions direct how staff act in certain instances, and can provide guidance to the LTC itself. A report of standing resolutions is included in each staff report and the LTC should review these policies early in the term and considering rescinding outdated policies.

### **Rationale for Recommendation**

The Work Program identifies active and future LTC projects. At the start of the term, the LTC should consider whether to proceed with the existing active project and should identify future priorities or schedule a special meeting for the setting of strategic priorities for the term.

### **ALTERNATIVES**

The LTC may consider the following alternatives to the staff recommendation:

#### **1. Schedule a Special Meeting**

The LTC may wish to schedule a special meeting to review the Work Program. The resolution can be worded as:

*That the Galiano Island Local Trust Committee request staff to schedule a special meeting for the purpose of setting LTC priorities.*

**2. Amend the Work Program**

The LTC can amend either list. The resolution may be worded as:

*That the Galiano Island Local Trust Committee amend the [Active Projects List/Future Projects List] as follows: [indicate amendments].*

|               |                                          |                   |
|---------------|------------------------------------------|-------------------|
| Submitted By: | Robert Kojima, Regional Planning Manager | November 17, 2022 |
|---------------|------------------------------------------|-------------------|



# Work Program Application

Galiano Island

Reports

FUAL (15)

Future Projects (9)

In Camera FUAL (3)

Active Projects (2)

Add Record

Archive

| Priority     | Activity                                                                                                                         | Received Date | Target Date | Responsibility |
|--------------|----------------------------------------------------------------------------------------------------------------------------------|---------------|-------------|----------------|
| 2nd Priority | <b>Description:</b><br>Rezoning of DL 64, 68, 72, 87                                                                             | 06-Dec-2021   | 30-Nov-2022 |                |
| 1st Priority | <b>Description:</b><br>Groundwater Sustainability                                                                                |               |             |                |
| Medium Level | <b>Activity:</b><br>Phase 1 and 2: mapping and data analysis - Completed<br>Phase 3: Implementation of mapping and data analysis | 02-Apr-2019   | 30-Sep-2022 |                |



# Work Program Application

Galiano Island

Reports

FUAL (15)

Future Projects (9)

In Camera FUAL (3)

Active Projects (2)

Add Record

Archive

| Received Date | Description                                                                                                                                                                                                                                                                                                                                   | Responsibility |
|---------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------|
|               | <div><div>Description:</div><div>Parking Issues</div></div>                                                                                                                                                                                                                                                                                   |                |
| 23-Jul-2012   | <div><div>Activity:</div><div>Issue for discussion with MoTI and public parking issues generated from associated islands.<br/>(see correspondence from P. Midgely on agenda of Apr/12)</div></div>                                                                                                                                            |                |
|               | <div><div>Description:</div><div>Light Industrial Zoning</div></div>                                                                                                                                                                                                                                                                          |                |
| 18-Nov-2013   | <div><div>Activity:</div><div>A review and inventory assessment of existing and potential light industrial zones.</div></div>                                                                                                                                                                                                                 |                |
|               | <div><div>Description:</div><div>Coastal Douglas-Fir Protection</div></div>                                                                                                                                                                                                                                                                   |                |
|               | <div><div>Activity:</div><div>Review 'Protection of the Coastal Douglas-fir and Associated Ecosystems: An Islands Trust Tool Kit (2018)' and provide recommendations from toolkit.<br/>- LPC is intending to develop a model bylaw in 2021-22.<br/>Include review the Contiguous Forest Mapping in the Islands Trust Area Report.</div></div> |                |
|               | <div><div>Description:</div><div>Cannabis Retail and production</div></div>                                                                                                                                                                                                                                                                   |                |
| 05-Mar-2019   | <div><div>Activity:</div><div>Consider review of policies and regulations to address cannabis retail sales and production</div></div>                                                                                                                                                                                                         |                |
|               | <div><div>Description:</div><div>Emergency Access Planning</div></div>                                                                                                                                                                                                                                                                        |                |
| 02-Apr-2019   | <div><div>Activity:</div><div>Follow-up from CRD emergency planning process - include consideration of developing driveway guidelines for emergency access within land use bylaw</div></div>                                                                                                                                                  |                |
|               | <div><div>Description:</div><div>Review of Road Network Plan</div></div>                                                                                                                                                                                                                                                                      |                |
| 02-Mar-2020   | <div><div>Activity:</div><div>Review of Road Network Plan - include December 11th APC memo in review process - meet with MOTI</div></div>                                                                                                                                                                                                     |                |
|               | <div><div>Description:</div><div>Review of LUB tiny home/trailer regulations, maximum house sizes and lot coverage</div></div>                                                                                                                                                                                                                |                |
| 01-Jun-2021   |                                                                                                                                                                                                                                                                                                                                               |                |
|               | <div><div>Description:</div><div>Wise Island bylaw review</div></div>                                                                                                                                                                                                                                                                         |                |
| 06-Sep-2022   | <div><div>Activity:</div><div>Review of Wise Island bylaws and potentially other islands with water access only</div></div>                                                                                                                                                                                                                   |                |
|               | <div><div>Description:</div><div>Shoreline model protection bylaw</div></div>                                                                                                                                                                                                                                                                 |                |
| 06-Sep-2022   | <div><div>Activity:</div><div>Review APC report in consideration of development of shoreline model protection bylaw</div></div>                                                                                                                                                                                                               |                |



## Applications

### Development Permit

| File Number  | Applicant Name      | Date Received | Purpose                                                                                 |
|--------------|---------------------|---------------|-----------------------------------------------------------------------------------------|
| GL-DP-2021.5 | Neave O'Shaughnessy | 17-Aug-2021   | 835 STURDIES BAY RD - application for a DP for development in a sensitive ecosystem DPA |

**Planner:** Phil Testemale

#### Planning Status

**Status Date:** 01-Nov-2022

Meeting with Ryzuk - to amend assessment/add an option.

**Status Date:** 28-Sep-2022

Geotechnical Design to be submitted 2022-10-07

**Status Date:** 30-Aug-2022

Geotech. Assess. rec'd. Requires recommendations for remediation.

| File Number  | Applicant Name                 | Date Received | Purpose                                         |
|--------------|--------------------------------|---------------|-------------------------------------------------|
| GL-DP-2022.3 | Galiano Island Contracting LTD | 11-Aug-2022   | Improvement to an existing revetment structure. |

**Planner:** Phil Testemale

#### Planning Status

**Status Date:** 10-Nov-2022

Updated Survey (Glen Mitchell) by end of November

**Status Date:** 24-Oct-2022

Applicant delayed in contacting/contracting surevy.

**Status Date:** 04-Oct-2022

Updated legal survey required and requested.



## Applications

### Development Permit

| File Number  | Applicant Name | Date Received | Purpose                                                                      |
|--------------|----------------|---------------|------------------------------------------------------------------------------|
| GL-DP-2022.4 | Keefer, Jesse  | 20-Sep-2022   | Application for a DP for development in a commercial form and character DPA. |

**Planner:** Brad Smith

#### Planning Status

**Status Date:** 23-Nov-2022

Staff report on Dec 5, 2022 LTC agenda

**Status Date:** 11-Oct-2022

Planner Smith assigned to file.

**Status Date:** 05-Oct-2022

Planner met with applicant's consultant to discuss options for avoiding requirements for a variance

| File Number  | Applicant Name  | Date Received | Purpose                                                                      |
|--------------|-----------------|---------------|------------------------------------------------------------------------------|
| GL-DP-2022.5 | Longson, Gerald | 26-Oct-2022   | Application for a DP for development in a commercial form and character DPA. |

**Planner:** Brad Smith

#### Planning Status

**Status Date:** 23-Nov-2022

Staff report tentatively scheduled for Feb 2023 LTC agenda

**Status Date:** 28-Oct-2022

Fee received from applicant.

**Status Date:** 26-Oct-2022

File created in EDM.

## Applications

### Development Variance Permit

| File Number   | Applicant Name | Date Received | Purpose                         |
|---------------|----------------|---------------|---------------------------------|
| GL-DVP-2022.4 | Carrick, Ian   | 31-May-2022   | Application for stairs and deck |

**Planner:** Phil Testemale

#### Planning Status

**Status Date:** 14-Oct-2022

Applicant has contacted QEP Keith Erikson for DP reporting (est. January 2024)

**Status Date:** 22-Jun-2022

E-mail sent to applicants requesting information to determine requirement for DP.

**Status Date:** 03-Jun-2022

Robert K. assigned file to Phil.

| File Number   | Applicant Name  | Date Received | Purpose                                                                                           |
|---------------|-----------------|---------------|---------------------------------------------------------------------------------------------------|
| GL-DVP-2022.5 | Grehan, Barbara | 11-Aug-2022   | 574 Gulf Drive - Application for a variance for siting of deck, stairs, and landing in a setback. |

**Planner:** Charly Caproff

#### Planning Status

**Status Date:** 23-Nov-2022

Staff report on Dec 5, 2022 LTC agenda

**Status Date:** 15-Nov-2022

Draft staff report submitted for review

**Status Date:** 20-Oct-2022

Draft notice and permit submitted for review

## Applications

### Development Variance Permit

| File Number                                                                          | Applicant Name                                                      | Date Received | Purpose                                                          |
|--------------------------------------------------------------------------------------|---------------------------------------------------------------------|---------------|------------------------------------------------------------------|
| GL-DVP-2022.6                                                                        | Galiano Island<br>Contracting LTD<br><b>Planner:</b> Phil Testemale | 03-Oct-2022   | Application for a variance for siting of a seawall in a setback. |
| <b>Planning Status</b>                                                               |                                                                     |               |                                                                  |
| <b>Status Date:</b> 10-Nov-2022<br>Updated Survey (Glen Mitchell) by end of November |                                                                     |               |                                                                  |
| <b>Status Date:</b> 10-Nov-2022<br>DVP and Notice Drafted - awaiting updated survey  |                                                                     |               |                                                                  |
| <b>Status Date:</b> 05-Oct-2022<br>Fee received from applicant.                      |                                                                     |               |                                                                  |

### Rezoning

| File Number                                                                                       | Applicant Name                                            | Date Received | Purpose                                                                                                                                        |
|---------------------------------------------------------------------------------------------------|-----------------------------------------------------------|---------------|------------------------------------------------------------------------------------------------------------------------------------------------|
| GL-RZ-2014.1                                                                                      | Crystal Mountain<br>Society<br><b>Planner:</b> Brad Smith | 28-Oct-2014   | 20300 PORLIER PASS RD: Application for rezoning to amend the OCP and LUB to allow for a Forest Retreat Centre - Bylaws 256 (OCP) and 257 (LUB) |
| <b>Planning Status</b>                                                                            |                                                           |               |                                                                                                                                                |
| <b>Status Date:</b> 03-Aug-2022<br>CIM scheduled for Saturday Sept24, 2022                        |                                                           |               |                                                                                                                                                |
| <b>Status Date:</b> 27-Jun-2022<br>Staff report on Jul4 agenda                                    |                                                           |               |                                                                                                                                                |
| <b>Status Date:</b> 17-Jun-2022<br>Applicant submitted revised proposal reducing maximum capacity |                                                           |               |                                                                                                                                                |

## Applications

### Rezoning

| File Number  | Applicant Name | Date Received | Purpose                                                                                                                                                                |
|--------------|----------------|---------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| GL-RZ-2019.1 | GIGARHS        | 11-Sep-2019   | Georgia View Rd: rezoning application for to amend the OCP and LUB to permit an affordable housing development - Bylaws 276, (OCP), 277 (LUB), 274 (Housing Agreement) |

**Planner:** Brad Smith

#### Planning Status

**Status Date:** 23-Nov-2022

Staff memo on Dec 5, 2022 LTC agenda

**Status Date:** 10-Nov-2022

S219 covenant and housing agreement signed - sent to Land Title Office for registration

**Status Date:** 28-Oct-2022

OCP amendment approved by Minister

| File Number  | Applicant Name         | Date Received | Purpose                                                                                                |
|--------------|------------------------|---------------|--------------------------------------------------------------------------------------------------------|
| GL-RZ-2020.1 | KING, FRED &<br>DEBBIE | 27-Oct-2020   | 51 Galiano Way - Application for rezoning to amend the OCP to permit residential use - Bylaw 279 (LUB) |

**Planner:** Brad Smith

#### Planning Status

**Status Date:** 28-Oct-2021

Applicant working on DAI TOR items

**Status Date:** 31-Aug-2021

Planner to contact applicant for status update

**Status Date:** 22-Jun-2021

Applicant working on TOR items - no clear timeline for coming back to LTC

## Applications

### Rezoning

| File Number  | Applicant Name          | Date Received | Purpose                                                                                                                                                                      |
|--------------|-------------------------|---------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| GL-RZ-2021.1 | New Commons Development | 08-Mar-2021   | 409 Porlier Pass Road - Application for rezoning to amend the LUB to permit an affordable housing development with a total of 20 units (within 4 buildings). Bylaw 280 (LUB) |

**Planner:** Brad Smith

#### Planning Status

**Status Date:** 23-Nov-2022

Previous covenants removed from Title by Land Land Title Office

**Status Date:** 11-Nov-2022

S 219 covenant and Housing Agreement registered at Land Title office

**Status Date:** 18-Oct-2022

Bylaws adopted by RWM following execution of covenant and housing agreement

| File Number  | Applicant Name | Date Received | Purpose                                                     |
|--------------|----------------|---------------|-------------------------------------------------------------|
| GL-RZ-2022.2 | Hayes, Judy    | 02-Aug-2022   | Bylaw Amendment & Rezoning - Bylaws 287 (OCP) and 288 (LUB) |

**Planner:** Brad Smith

#### Planning Status

**Status Date:** 23-Nov-2022

Staff report on Dec 5, 2022 LTC agenda

**Status Date:** 20-Sep-2022

Preliminary staff report planned to be on Nov 7, 2022 agenda

**Status Date:** 14-Sep-2022

Received Site Disclosure Statement from applicant.

## Applications

### Subdivision

| File Number   | Applicant Name | Date Received | Purpose                                                                                       |
|---------------|----------------|---------------|-----------------------------------------------------------------------------------------------|
| GL-SUB-2020.1 | Mitchell, Glen | 19-Dec-2019   | GIGHARS - Proposed two lot conventional subdivision referral of Lot 1 District Lots 30 and 31 |

**Planner:** Brad Smith

#### Planning Status

**Status Date:** 18-May-2021

Applicant has received preliminary conditions approval letter from MOTI - subdivision subject to successful rezoning

**Status Date:** 19-Feb-2021

Applicant working on referral report items

**Status Date:** 15-Dec-2020

Referral report reviewed with applicant

| File Number   | Applicant Name     | Date Received | Purpose                                                                      |
|---------------|--------------------|---------------|------------------------------------------------------------------------------|
| GL-SUB-2021.1 | Lawrence Waterfall | 09-Jul-2021   | 350 MARY ANN POINT RD - Referral of a subdivision application for 3 new lots |

**Planner:** Phil Testemale

#### Planning Status

**Status Date:** 23-Jun-2022

Applicant hiring environmental professional for required DP application.

**Status Date:** 01-Dec-2021

New subdivision layout plan rec'd

**Status Date:** 17-Sep-2021

Terms of Reference for Hydrogeologist's proof of potable water sent to applicant.

## Applications

### Subdivision

| File Number   | Applicant Name           | Date Received | Purpose                                                                                                                                                                                                                                                                                                                               |
|---------------|--------------------------|---------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| GL-SUB-2022.1 | Okuda Andersen,<br>Kadek | 13-Jan-2022   | The subdivision of two lots zoned rural residential into three lots with the same zoning. One of these proposed lots has already been developed and the other two proposed are vacant. The subdivision will not increase density. There are no covenants, easements, rights-of-way, or other charges registered against either title. |

**Planner:** Brad Smith

### Planning Status

**Status Date:** 12-Oct-2022

PLR letter received from MOTI and filed in EDM

**Status Date:** 10-Mar-2022

Review completed -response sent to MOTI

**Status Date:** 28-Feb-2022

Staff to initiate review in early March and response to MOTI

# ***Islands Trust***

LTC EXP SUMMARY REPORT F2023  
Invoices posted to Month ending October 2022

| 625 Galiano             | Invoices posted to Month ending October 2022 | <u>Budget</u>   | <u>Spent</u>    | <u>Balance</u>   |
|-------------------------|----------------------------------------------|-----------------|-----------------|------------------|
| 65000-625               | LTC "Trustee Expenses"                       | 302.00          | 64.98           | 237.02           |
| LTC Local               |                                              |                 |                 |                  |
| 65200-625               | LTC - Local Exp - LTC Meeting Expenses       | 4,294.00        | 3,871.47        | 422.53           |
| 65210-625               | LTC - Local Exp - APC Meeting Expenses       | 333.00          | 715.28          | -382.28          |
| 65220-625               | LTC - Local Exp - Communications             | 250.00          | 1,578.75        | -1,328.75        |
| 65230-625               | LTC - Local Exp - Special Projects           | 279.00          | 0.00            | 279.00           |
| TOTAL LTC Local Expense |                                              | <u>5,156.00</u> | <u>6,165.50</u> | <u>-1,009.50</u> |
| Projects                |                                              |                 |                 |                  |
| 73001-625-4114          | Galiano Groundwater Strategy Implementation  | 2,000.00        | 156.30          | 1,843.70         |
| 73001-625-4125          | Galiano Crown Lot Rezoning                   | 1,000.00        | 2,141.06        | -1,141.06        |
| TOTAL Project Expenses  |                                              | <u>3,000.00</u> | <u>2,297.36</u> | <u>702.64</u>    |



## Standing Resolutions Log

### Galiano Island

| Resolution Number                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | Action  | Date        |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------|-------------|
| <b>2020-042 (Standing)</b><br><br><b>DESCRIPTION: Use of Development Permits for Variances</b><br><br>That the Galiano Island Local Trust Committee request that development permit applications where a variance is requested be processed as a combined application with both a development permit and a development variance permit.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | Carried | 08-Sep-2020 |
| <b>2020-041 (Standing)</b><br><br><b>DESCRIPTION: Unlawful Land Uses and Planning Applications</b><br><br>that the Galiano Island Local Trust Committee adopt the following policy on unlawful land uses and planning applications:<br>a. Where an application is received and a use is continuing in contravention of a land use bylaw, staff are directed to request that the applicant cease the use prior to processing the application, and that staff are directed to continue with enforcement until the use is ceased.<br>b. The applicant may request that the Local Trust Committee proceed with consideration of the application while the use is continuing; and, where the Local Trust Committee considers there is a community need to process the application while the prohibited use is continuing, the Local Trust Committee may direct that bylaw enforcement actions, including the issuing of notices, cease.<br>c. Where the Local Trust Committee does not consider that there is a community need, or the applicant has not made such a request of the Local Trust Committee; bylaw enforcement actions, including the issuing of notices, will continue.<br>d. In deciding whether to grant land use approval for a use that was commenced in contravention of a land use bylaw, the Local Trust Committee may consider whether the applicant has suspended the prohibited land use pending a decision on the application. | Carried | 06-Jul-2020 |

## Standing Resolutions Log

### Galiano Island

| Resolution Number                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | Action  | Date        |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------|-------------|
| <b>2020-013 (Standing)</b><br><br>DESCRIPTION: <b>Advisory Planning Commission</b><br><br>that the Galiano Island Local Trust Committee request that prior to expiration of Advisory Planning Commission members terms of office, staff write to commissioners asking if they wish to be reappointed and also advertise for expressions of interest for new commissioners.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | Carried | 03-Feb-2020 |
| <b>2019-053 (Standing)</b><br><br>DESCRIPTION: <b>12.4 Adopted Policies and Standing Resolutions</b><br><br>that the Local Trust Committee seek to engage in Reconciliation with local First Nations, governments and the island community by honouring the Truth and Reconciliation Commission (TRC) Calls to Action, United Nations Declaration on the Rights of Indigenous Peoples (UNDRIP), Draft Principles that Guide the Province of British Columbia's Relationship with Indigenous Peoples, and Islands Trust First Nations Engagement Principles, the Local Trust Committee endeavours to: <ul style="list-style-type: none"> <li>a) Annually, write a letter to First Nations, (re)introducing trustees and staff and provide a schedule of known Local Trust Committee meetings for the upcoming year, as well as, provide an update of current projects and advocacy activities;</li> <li>b) For various Local Trust Committee meetings, invite First Nations to attend meetings; as well as, provide a traditional welcome to their territory if they would like;</li> <li>c) Work with First Nation governments on cooperative initiatives, including and not limited to, language, place names, territorial acknowledgements, and community education on Coast Salish and local First Nations' cultural heritage and history;</li> <li>d) Work with First Nation governments on engagement principles for inclusive land use, marine use, and climate change planning; advocacy, protection and stewardship; and knowledge and information sharing protocols;</li> <li>e) Establish and maintain government-to-government dialogue with First Nations, now and into the future, based on respect and recognition of Aboriginal rights and title, treaty rights, and First Nations' traditional territories within the Islands Trust Area.</li> </ul> | Carried | 03-Jun-2019 |

## Standing Resolutions Log

### Galiano Island

| Resolution Number                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | Action         | Date               |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------|--------------------|
| <b>2019-014 (Standing)</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | <b>Carried</b> | <b>04-Mar-2019</b> |
| <p>DESCRIPTION: <b>13.1 Cannabis Retail - Staff Report</b></p> <p>that the Galiano Local Trust Committee adopt the following standing resolution with respect to the processing of non-medicinal cannabis retail license applications:</p> <ul style="list-style-type: none"> <li>- Proposed or amended licenses for non-medicinal cannabis retail establishments require an application to the local trust committee.</li> <li>- The application process shall comprise a public consultation component, which includes at least one notification to neighbours, one public meeting, posting of public notices and one advertisement in a local periodical.</li> <li>- The public consultation process shall be determined by the local trust committee after initial review of the proposal.</li> <li>- However, as a minimum, the local trust committee will mail or otherwise deliver a notice to all owners and residents of properties within a 500 metre radius of the subject property where the establishment is proposed at least 10 days before adoption of a resolution providing comment on the application. The required notice shall include the following information: <ul style="list-style-type: none"> <li>o Name of the applicant and a description of the proposal in general terms</li> <li>o The location of the proposed establishment and the subject site</li> <li>o The place where, and date and time when, both a public meeting will be held and a resolution of the local trust committee considered.</li> <li>o The name and contact information of the Islands Trust planning staff member who can provide copies of the proposed or amended license application</li> <li>o How public comments may be submitted to the local trust committee.</li> </ul> </li> </ul> |                |                    |
| <b>2018-064 (Standing)</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | <b>Carried</b> | <b>04-Jun-2018</b> |
| <p>DESCRIPTION: <b>11.1 Telecommunication Strategy Project - Staff Report</b></p> <p>that the Galiano Island Local Trust Committee endorses the Telecommunication strategy Project Charter dated June 22, 2016</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                |                    |
| <b>2014-029 (Standing)</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | <b>Carried</b> | <b>07-Apr-2014</b> |
| <p>DESCRIPTION: <b>Community Wells as a Community Benefit</b></p> <p>That the Galiano Island Local Trust Committee will consider as a community benefit for all rezoning applications where there is an increase in density, the establishment of an instrumented observation well.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                |                    |

## Standing Resolutions Log

### Galiano Island

| Resolution Number                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | Action         | Date               |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------|--------------------|
| <b>2014-000 (Standing)</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | <b>Carried</b> | <b>03-Feb-2014</b> |
| <p>DESCRIPTION:</p> <p>On properties where there is an open bylaw enforcement file, planning staff should refer planning applications to the Bylaw Enforcement Manager for comment where one or more of the following circumstances exist:</p> <ol style="list-style-type: none"> <li>1. There have been significant delays or longer than typical timelines in the enforcement process</li> <li>2. The LTC is considering on-going, relevant policy or regulatory changes that could impact enforcement</li> <li>3. Litigation has been recommended</li> <li>4. Legal counsel has been involved (beyond providing a basic interpretation)</li> <li>5. There has been enforcement action beyond seeking voluntary compliance (e.g. a BEN warning or ticket, adjudication, a compliance agreement negotiated, etc.)</li> <li>6. There has been, or is an expectation of, joint enforcement with other jurisdictions</li> <li>7. There is potential for impact on other related enforcement files.</li> </ol> |                |                    |
| <b>2011-205 (Standing)</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | <b>Carried</b> | <b>17-Oct-2011</b> |
| <p>DESCRIPTION:    <b>Special Occasion Liquor Licenses</b></p> <p>That where a Liquor Control and Licensing Branch Special Occasion License referral relates to a property on which Galiano Island Land Use Bylaw No. 127, 1999 permits public assembly uses, such as restaurants or community halls, and where there have been no issues related to parking or past complaints for the preceding three years , staff may approve the Special Occasion License without referral to the Local Trust Committee. All other Special Occasion License referrals are to be referred to the Local Trust Committee for consideration.</p>                                                                                                                                                                                                                                                                                                                                                                           |                |                    |
| <b>2010-115 (Standing)</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | <b>Carried</b> | <b>18-Oct-2010</b> |
| <p>DESCRIPTION:    <b>Publishing Notices beyond legal requirements</b></p> <p>That the Galiano Island Local Trust Committee will advertise Public Hearing Notices in the Active Page Magazine in addition to the legally required advertising in the Driftwood Newspaper.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                |                    |



## Standing Resolutions Log

### Galiano Island

| Resolution Number | Action | Date |
|-------------------|--------|------|
|-------------------|--------|------|

**2009-085 (Standing)**

**Carried**

**11-May-2009**

DESCRIPTION: **Parks Commission Referral**

That staff refer all applications adjacent to a park or ocean access to the Galiano Island Parks and Recreation Commission for comment



## HIGHLIGHTS OF ISLANDS TRUST CONSERVANCY OCTOBER 6, 2022 BOARD MEETING

NOTE: For more detail on Conservancy meetings, including meeting minutes, please visit <https://islandstrust.bc.ca/whats-happening/meetings-and-events/>

### 1. ORGANIZATION UPDATES/TEAM

- ***This meeting was the last Islands Trust Conservancy (ITC) Board meeting prior to the Islands Trust elections. Up to three new Board members will be elected at the first Trust Council meeting. ITC Board members appointed by the Minister of Municipal Affairs will continue on the ITC Board and are unaffected by local government elections.***
- The ITC Manager provided an update on the local government election, noted ITC staff are preparing orientation materials for incoming trustees.
- The ITC Board continues to have a vacancy for one Ministerial appointment. The posting for the vacancy closed on October 7, 2022 and the ITC Board is awaiting news from the [Crown Agencies and Board Resourcing Office](#) regarding a potential new member.

### 2. STRATEGIC PLANNING/ADMINISTRATION

- ITC Board considered a proposed budget for the 2023/24 fiscal year. The proposed budget included an approximate 13% increase for ITC a. The increase is comparable to other Islands Trust departments and includes BCGEU tentative agreement salary increases and a business case for capacity funding for First Nations Engagement for development of a five-year ITC Plan (2026-2030). ITC Board approved the draft 2023/24 ITC Budget as presented and directed staff to provide it for inclusion in the Islands Trust draft 2023/24 budget.
- ITC Board received an update regarding the Trust Council meeting, including notice that Trust Council gave first, second and third reading to a revised Natural Area Protection Tax Exemption Program (NAPTEP) Fees Bylaw and Guidelines for Executive Committee sponsorship of NAPTEP application fees. **These guidelines and the revised bylaw will allow the ITC Board and NAPTEP applicants to apply to the Executive Committee for sponsorship (waiver) of NAPTEP fees.**

### 3. COVENANT AND PROPERTY ACQUISITIONS

- ITC Board approved a covenant over the Sandy Beach Nature Reserves (Keats Island) in favour of TLC The Land Conservancy of British Columbia and the Sunshine Coast Conservation Association.
- ITC Board approved and expansion for the Nighthawk Hill NAPTEP Covenant (North Pender Island), subject to receiving an updated Baseline Documentation Report that is acceptable to staff. Once the covenant is registered, staff will register a revised Natural Area Exemption Certificate on the land title.



#### 4. COVENANT AND PROPERTY MANAGEMENT

- ITC Board approved a request for tree planting by the Pender Islands Parks and Recreation Commission in Enchanted Forest Covenant (South Pender Island).

#### 5. COMMUNICATIONS AND OUTREACH

- Trustee Smith will attend the Conference of the Parties (COP) to the UN Convention on Biological Diversity December 7–19, 2022 and will highlight ITC work at COP15.
- A copy of the recent [Covenant Landholder Newsletter Fall 2022](#) was provided to the ITC Board. This is a newsletter for landholders of ITC conservation covenants.

#### 6. FUNDRAISING AND CONSERVANCY SUPPORT

- ITC Board approved an Opportunity Fund Grant award of \$5,400 to the Thetis Island Nature Conservancy for delivery of their Nature Stewards Program on Thetis Island.

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To find out more about Islands Trust Conservancy and our current goals, to donate to our Opportunity Fund, or to subscribe to email updates, visit our website: <https://islandstrust.bc.ca/conservancy/>

Shortcuts of interest:

- **Goals:** <https://islandstrust.bc.ca/conservancy/conservation-planning/>
- **Opportunity Fund:** (context) <https://islandstrust.bc.ca/conservancy/supporting-local-conservancies/opportunity-fund-grants/> ; (to donate online) <https://islandstrust.bc.ca/donate-to-conservancy/>
- **Request key updates via email:** <https://islandstrust.bc.ca/subscribe/> (NB: by scrolling down, you may also add your home address for a free hardcopy of the Heron newsletter, published three times per year)

# BRIEFING

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|                 |                                                                                                                         |                            |                   |
|-----------------|-------------------------------------------------------------------------------------------------------------------------|----------------------------|-------------------|
| <b>To:</b>      | LTCs in W̱SÁNEĆ Territory                                                                                               | <b>For the Meeting of:</b> | Various           |
| <b>From:</b>    | Trust Programs Committee                                                                                                | <b>Date Prepared:</b>      | September 2, 2022 |
| <b>SUBJECT:</b> | Aug 4, 2022 Letter from W̱SÁNEĆ Leadership Council Staff regarding Draft 2021 Islands Trust Policy Statement Amendments |                            |                   |

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**PURPOSE:** To provide, for information, a letter from W̱SÁNEĆ Leadership Council staff regarding draft 2021 Islands Trust Policy Statement amendments.

**BACKGROUND:** On August 26, 2022, Trust Programs Committee received a letter from the W̱SÁNEĆ Leadership Council (WLC) regarding WLC staff's response to draft 2021 Islands Trust Policy Statement Amendments.

Trust Programs Committee passed the following resolution:

***that Trust Programs Committee forward the letter of August 4, 2022, from W̱SÁNEĆ Leadership Council staff to all local trust committees in their territory***

This letter has also been shared with Trust Council and provincial staff.

WLC staff participated in both Phase 1 and Phase 2 of early and meaningful engagement related to the Policy Statement Amendment Project. Additional correspondence from W̱SÁNEĆ Leadership Council regarding the Policy Statement has been posted to the Islands 2050 webpage at <https://islandstrust.bc.ca/programs/islands-2050/>.

Staff will continue early and meaningful engagement with W̱SÁNEĆ Leadership Council on the Policy Statement Amendment Project and will provide a formal referral after first reading.

**ATTACHMENT(S):**

1. Aug 4, 2022 Letter from W̱SÁNEĆ Leadership Council Staff regarding Draft 2021 Islands Trust Policy Statement Amendments

**FOLLOW-UP:** Staff will follow up as directed.

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**Prepared By:** Clare Frater, Director, Trust Area Services





## **WLC Staff Response to 2021 Islands Trust Policy Statement Amendments August 4, 2022**

Below is a staff level review of the 2021 Islands Trust Policy Statement Amendments. WLC staff have organized this document by outlining past WSÁNEĆ Technical Advisory Committee (WTAC) recommendations, noting where Islands Trust amendments have incorporated and satisfied WTAC recommendations, and providing feedback on how to move forward. WLC staff have divided our review of the Islands Trust Policy Statement by the headers provided in that document (e.g. Introduction, Present Context, etc.).

As a note, this review is at the staff level and, due to capacity issue, it has not been reviewed by the WSÁNEĆ Leadership Council Board of Directors or the WSÁNEĆ Technical Advisory Committee. WLC staff hope for future opportunities to provide input where these advisory committees and decision-makers can be included.

### **Introduction:**

Past WTAC recommendation:

1. Include the story of TELEIÁĆES ("Relatives of the Deep"/Gulf Islands). This story brings a different level of understanding/context to those that may wonder why WSÁNEĆ want involvement in decisions regarding the Gulf Islands.

Feedback:

The story of TELEIÁĆES is not in the Policy Statement document. The WLC would like to see the inclusion of the story of TELEIÁĆES ("Relatives of the Deep"/Gulf Islands). This story brings a different level of understanding/context to those that may wonder why First Nations want involvement in decisions regarding the Islands. If other First Nations have similar stories, Islands Trust should attach them also as an appendix to the Policy Statement.

### **Present Context:**

Past WTAC recommendations:



1. Incorporate Bill c-15, an act respecting the United Nations Declaration on the Rights of Indigenous Peoples.
2. There is a need for cumulative impact studies to ensure responsible informed decision making. This work needs to incorporate First Nations values and be in collaboration with First Nations.
3. Support First Nations in the development of cultural overlay mapping, mapping for environmental and ecological systems, and heritage mapping.
4. Preserve environment to protect Douglas Treaty rights and ensure they can be exercised into the future.
5. Approach environmental issues in ways that further reconciliation with First Nations, the original and proper caretakers of the land.

#### 2021 Policy Statement:

- Trust Council adopted a Reconciliation Declaration that speaks to UNDRIP and free, prior and informed consent
- notes the need to “effectively preserve the environment” and, that “decision making will need to be guided by the best possible science and Indigenous ways of knowing”.
- Protects the environment for the generations to come and for First Nations that wish to come home or have access to traditional uses.
- Official community plans and regulatory bylaws, identify, preserve and protect and support the restoration of indigenous cultivation and harvesting areas and coordinate with, and advocate to, other government agencies to regulate and monitor harvesting.
- Commits to consulting with FNs prior to decisions regarding hunting and to preserve traditional harvesting areas.

#### WLC Staff Feedback:

The Islands Trust has adopted a Reconciliation Declaration that utilizes UNDRIP, and within the Policy Statement the Islands Trust has created policy that aligns with the principles of UNDRIP. However, support for UNDRIP is not imbedded in the Policy Statement and the Reconciliation Declaration 2019-2022 is not permanent. The WLC advise that a commitment to implementing the principles of UNDRIP is embedded into the Policy Statement.

The Policy Statement does a good job in utilizing scientific studies, cultural knowledge, First Nations’ values and informed decision making, but it does not commit to additional impact



studies or cultural site identification and mapping. The gathering of this cultural data is an important project for the implementation of this Policy Statement as the data held by the Provincial databases regarding Indigenous cultural sites are wholly insufficient. The WLC would like to see a commitment to resourcing data-gathering projects, which may be an item that can be negotiated as part of a WSÁNEĆ MOU.

The Policy Statement has greatly increased the protection of the environment and it does acknowledge the harvesting rights of First Nations, it also recognizes the need to solve environmental issues in collaboration with First Nations and other organizations but it lacks a framework in which this will occur. This is discussed further in the feedback for Governance.

### **The Islands Trust Object and Its Meaning**

Past WTAC recommendations:

1. Add information about First Nations and their history.
2. Mention First Nations rights and unceded title

2021 Policy Statement:

- Recognizes that it is in the homeland of 28,000 First Nations, that there is culturally significant species, archaeological sites and harvesting areas.
- First Nations have been here since time immemorial and are caretakers and stewards
- With creations stories, place names, laws and protocols
- Indigenous cultural heritage is a unique amenity of the Islands Trust.
- First Nations have been removed through colonization

WLC Staff Feedback:

Information regarding First Nations and their history were not added to the Object and its Meaning, possibly because the Object is stated in legislation and the Policy Statement is not intended to make a legislative change. However, Islands Trust did provide contextual information on First Nations through a statement that follows the Object and Its Meaning. Douglas Treaty rights and title, and Indigenous title is not specifically mentioned in this document. The WLC requests that Islands Trust recognizes its duty to uphold Douglas Treaty rights and title, and Indigenous title more generally.



## Location of the Islands Trust Area

2021 Policy Statement:

Includes a map of the 13 major Islands.

WLC Feedback:

In this section, WLC staff recommend the inclusion of a map that demonstrates the locations of the First Nations that have been named in the Policy and a place names map in SENCOTEN and/or Hul'qumi'num.

## Regional Governance:

Past WTAC recommendations:

1. First Nations should not be considered stakeholders. First Nations have a much stronger position that requires legal consultation than your typical stakeholder.
2. First Nations should be actively included in governance. First Nations involvement should not 'just' be as collaborators. WSÁNEĆ have responsibilities to the land and have been removed as caretakers.
3. There needs to be a more evidence based approach/whose information/ownership and controls. Not just 'evidence based' but based on best available science and social science and committed to indigenous ways of knowing."
4. We need a cooperation accord and information/data sharing agreements.

2021 Policy Statement:

- Trust Council recognizes that meaningful engagement/participation and cooperation with First Nations is critical and that First Nations play an integral role in governance and cooperative decision making in the Trust Area.
- Islands Trust commits to meaningful engagement/participation and cooperative/engagement mechanisms such as Protocol agreements, other cooperative arrangements and MOUs.
- The Islands Trust Policy Statement includes finding solutions using the best available area based mapping and indigenous ways of knowing.





#### WLC Staff Feedback:

In this policy statement, engagement and cooperation with First Nations is stated over 20 times. Engaging with First Nations is a priority of Islands Trust as they recognize that it is essential to the implementation of the Policy Statement. However, without an inclusive method of decision making, First Nations that do not have protocol agreements, or those that are in the process of making these agreements, will have no avenue of accountable engagement. Additionally, this method may limit tier one (First Nation to First Nation) collaboration and has the potential to reduce cooperation amongst First Nations. With that said, protocol agreements to clarify interests and establish commitments are essential and need to be created between the WSÁNEĆ Leadership Council, our constituent First Nations, and Islands Trust.

#### Ecosystem Preservation and Protection

##### Past WTAC recommendations:

1. The creation of protected areas, including areas that are 'off limits' and protected ecological networks that are intended to curb development.
2. Include active remediation projects.
3. All environmental preservation, protection, and mitigation projects should be established with First Nations as we need to ensure projects protect but do not alienate rights or block First Nations' economies.
4. When considering land acquisition, work with Local First Nations and land trusts
5. Reconnection of fragmented forest ecosystems.
6. Ecosystems Preservation and Protection.

##### 2021 Policy Statement:

- approaches to protecting the environment are being put in place for First Nations that wish to come home or have access to traditional uses.
- official community plans and regulatory bylaws are to identify, preserve, protect and support the restoration of indigenous cultivation and harvesting areas.
- advocate to other government agencies to regulate and monitor harvesting
- consult with First Nations prior to decisions regarding hunting and to preserve First Nations traditional harvesting areas.
- retain large land holdings to enable sustainable forest harvesting and minimize the fragmentation of forests



- coordinate with, and advocate to, the provincial government to adopt legislation establishing sustainable forest harvesting.
- agricultural and development activity needs to be respectful of Indigenous harvesting, and should not adversely impact (and be directed away from) traditional harvesting areas, middens and other archeologically significant resources and areas.
- in cooperation with First Nations and the Conservancy Board, will advocate for acquisitions in order to protect natural areas.

#### WLC Staff Feedback:

This policy statement increases environmental protection policies and recognizes the need to include First Nations' rights to access land and natural resources. It speaks not only to protection of the environment but the remediation of the environment, which was an important element to the WSÁNEĆ Technical Advisory Committee.

Additionally, there are tools embedded in the Policy Statement to protect land from development and pollution, but the policy statement does not speak to the creation of protected areas. The WLC recommends a commitment to additional impact studies, and ecosystem mapping to assist in protection and remediation of the environment.

Further, WLC staff find it problematic that the Policy Statement does not commit resources to do pursue these goals. This may be tackled through a protocol agreement or an MOU with the WLC but should also be a priority of the Islands Trust outside of a protocol agreement. This protocol agreement could include dedicated funding for environmental remediation projects important to WSÁNEĆ peoples, studies to determine causes of shellfish pollution in the Islands Trust area, and commitments to funding for WSÁNEĆ monitoring programs.

#### Heritage Preservation and Protection

##### Past WTAC recommendation:

1. Protect and preserve First Nations history, cultural and archaeological, in collaboration with First Nations

##### 2021 Policy Statement:

- recognizes heritage as a 'unique amenity' that is to be preserved and protected. This



includes, places, objects, knowledge, artistic impressions, natural landscapes, which includes Indigenous cultural heritage. This is not limited to areas that are utilized and occupied by indigenous peoples.

- First Nations have a right to identify, interpret and safeguard its value, outside of colonial frameworks.
- regional planning decisions should not have adverse impacts on Indigenous cultural heritage
- committees and island municipalities in their bylaws, need to identify, preserve, protect and support restoration of indigenous cultural heritage- in cooperation with First Nations.
- engage with Indigenous organizations/people to seek the best available archaeological data and provide educational materials and tools to help preserve and protect indigenous cultural heritage.

#### WLC Staff Feedback:

The additions that have been made to the policy statement in regards to the preservation and protection of heritage mostly cover the recommendations that were made by the WTAC. The concern of the WLC is the implementation of these policies and the inclusion of WLC in decision making on projects that may impact cultural heritage. The WLC staff recommend that Islands Trust make additional commitments to the WLC through protocol agreements and/or MOUs on this topic. Within these agreements, commitments could be made to further develop internal archaeological potential mapping at the Islands Trust; develop cultural heritage protocol for engagement, the use of WSÁNEĆ cultural workers, and other items of value to both parties; and, a role in decision making for WLC when Islands Trust contemplates Development Permits.

#### Housing

##### Past WTAC recommendation:

1. Promote First Nations housing opportunities that brings WSÁNEĆ people back out to the islands. That would be a real win.

##### 2021 Policy Statement:

- The Islands Trust shall advocate to organizations to foster safe, secure and affordable housing for indigenous peoples.



#### WLC Staff Feedback:

The WLC staff recommends that Islands Trust enter into an MOU to explore housing opportunities for WSÁNEĆ community members.

#### Additional Recommendations:

- Islands Trust include a commitment to place name changes, the use of First Nations art in developments, installing signage related to First Nations history/culture, and specific targeted reconciliation policies.
- Islands Trust prioritize First Nations economic opportunities.

#### Conclusion:

After completing the review of the 2021 Islands Trust Policy Statement, it is clear that the Islands Trust team has made meaningful and important changes to the Policy Statement. As mentioned above, there are many instances throughout the document where WLC staff can see that our feedback has been incorporated. However, WLC staff are concerned about future amendments to this document which may alter the elements important to the WLC. There is a chance that some commitments to environmental and cultural protection and First Nations engagement will be taken out of the Policy Statement. The WLC would like to support the strong commitments that are made in this iteration of the Policy Statement to First Nations collaboration, the environmental, and to First Nations culture. WLC staff would like to thank the Islands Trust staff who have provided the opportunity to review the Policy Statement which will may impact the rights and title of the WSÁNEĆ People.



# STAFF MEMORANDUM

DATE OF MEETING: December 15, 2022

TO: Galiano Island Local Trust Committee

FROM: Robin Ellchuk, Planning Team Assistant  
Southern Team

SUBJECT: Galiano Island Local Trust Committee 2023 Regular Meeting Schedule

## PURPOSE

- This memorandum proposes the Galiano Island Local Trust Committee Regular Meeting Schedule for the 2023 calendar year.
- Galiano Island Meeting Procedures Bylaw No. 282 stipulates that the Local Trust Committee shall establish a schedule of the date, time and place of regular Local Trust Committee meetings for the following calendar year, of which there shall be at least two, and that the schedule shall be posted on a bulletin board located at the Galiano Island public bulletin board and at the Islands Trust Victoria office.

## RECOMMENDATION:

THAT the Galiano Island Local Trust Committee approve the proposed 2023 Regular Meeting schedule as presented in Appendix 1 to establish a meeting schedule as required by Galiano Island Meeting Procedures Bylaw No. 282.

|               |                                          |                  |
|---------------|------------------------------------------|------------------|
| Submitted By: | Robin Ellchuk, Planning Team Assistant   | November 2, 2022 |
| Concurrence:  | Robert Kojima, Regional Planning Manager | November 2, 2022 |

## ATTACHMENTS

1. 2023 Local Trust Committee Schedule (Proposed) (Tuesdays)



Updated: December 6, 2022

## GALIANO ISLAND LOCAL TRUST COMMITTEE

### NOTICE OF 2023 BUSINESS MEETINGS

THE LTC HAS ADOPTED THE FOLLOWING DATES FOR ITS 2023 MEETING SCHEDULE.  
MEETINGS ARE SUBJECT TO CHANGE.

PLEASE VISIT THE GALIANO LTC WEBSITE FOR  
UP-TO-DATE SCHEDULE INFORMATION.

THE LTC WILL MEET ON THE 2<sup>nd</sup> TUESDAY OF EACH  
MONTH @12:30 P.M. UNLESS OTHERWISE NOTED\*.

**LOCATION:** Galiano South Community Hall – 141 Sturdies Bay RD

**MEETING DAY:** 2<sup>nd</sup> Tuesday of the month

**TIME:** 12:30 pm

| DATE                                   | LOCATION                                            |
|----------------------------------------|-----------------------------------------------------|
| February 7 * (1 <sup>st</sup> Tuesday) | Galiano South Community Hall<br>141 Sturdies Bay RD |
| March 14                               | Galiano South Community Hall<br>141 Sturdies Bay RD |
| April 11                               | Galiano South Community Hall<br>141 Sturdies Bay RD |
| June 20 * (3 <sup>rd</sup> Tuesday)    | Galiano South Community Hall<br>141 Sturdies Bay RD |
| July 11                                | Galiano South Community Hall<br>141 Sturdies Bay RD |
| September 12                           | Galiano South Community Hall<br>141 Sturdies Bay RD |
| October 10                             | Galiano South Community Hall<br>141 Sturdies Bay RD |
| November 14                            | Galiano South Community Hall<br>141 Sturdies Bay RD |
| December 12                            | Galiano South Community Hall<br>141 Sturdies Bay RD |

These are regular business meetings of the Local Trust Committee, where they will consider items such as  
bylaws, applications, and correspondence.

**ALL REGULAR BUSINESS MEETINGS ARE OPEN TO THE PUBLIC**

Website: [www.islandstrust.bc.ca/galiano](http://www.islandstrust.bc.ca/galiano)

Email: [southinfo@islandstrust.bc.ca](mailto:southinfo@islandstrust.bc.ca)

Phone: 250-405-5151