



Galiano Island Local Trust Committee

Regular Meeting Agenda

Date: June 3, 2025
Time: 1:00 pm
Location: North Community Hall
22790 Porlier Pass Road, Galiano Island, BC

		Pages
1.	CALL TO ORDER	1:00 PM - 1:20 PM
“Please note, the order of agenda items may be modified during the meeting. Times are provided for convenience only and are subject to change.”		
2.	TERRITORIAL ACKNOWLEDGEMENT	
3.	APPROVAL OF AGENDA	
4.	TRUSTEE REPORT	
5.	CHAIR'S REPORT	
6.	ELECTORAL AREA DIRECTOR'S REPORT	
7.	FIRST NATION REPORT	
8.	TOWN HALL AND QUESTIONS	1:20 PM - 1:40 PM
9.	COMMUNITY INFORMATION MEETING	1:40 PM - 2:15 PM
9.1	GL-RZ-2023.1 (Rockafella) - Draft Bylaw No. 291	
10.	PUBLIC HEARING - None	
11.	MINUTES	2:15 PM - 2:25 PM
11.1	Local Trust Committee Minutes Dated April 8, 2025 (for Adoption)	4 - 12
11.2	Section 26 Resolutions Without Meeting Report - None	
11.3	Advisory Planning Commission Minutes - None	
12.	BUSINESS ARISING FROM MINUTES	
12.1	Follow-up Action List Dated May 2025	13 - 16

13.	DELEGATIONS	2:25 PM - 2:35 PM	
13.1	Robin Stringer re GL-PLTUP20250108 (Harris)		17 - 19
14.	CORRESPONDENCE		
	<i>Correspondence received concerning current applications or projects is posted to the LTC webpage</i>		
15.	MEETING BREAK - COMMUNITY UPDATE		
16.	APPLICATIONS AND REFERRALS	2:35 PM - 3:35 PM	
16.1	Salt Spring Island Local Trust Committee Referral for Proposed Bylaws 544 and 545 (for Response) (attached)		20 - 29
16.2	PL-TUP-2025-0108 (Harris) - Staff Report (attached)		30 - 50
16.3	GL-DVP-2023.6 (Popperton) – Staff Report (attached)		51 - 81
16.4	GL-RZ-2023.1 (Rockafella) - Draft Bylaw No. 291 - Staff Report (attached)		82 - 97
17.	LOCAL TRUST COMMITTEE PROJECTS	3:35 PM - 4:00 PM	
17.1	Official Community Plan Review - Staff Report (attached)		98 - 102
18.	REPORTS	4:00 PM - 4:10 PM	
18.1	Work Program Reports (attached)		
18.1.1	<u>Active Projects Report Dated May 2025</u>		103 - 103
18.1.2	<u>Future Projects Report Dated May 2025</u>		104 - 104
18.2	Applications Report Dated May 2025 (attached)		105 - 111
18.3	Trustee and Local Expense Report Dated Feb 2025 (attached)		112 - 112
18.4	Adopted Policies and Standing Resolutions (attached)		113 - 117
18.5	Local Trust Committee Webpage		
18.6	Islands Trust Conservancy Report Dated March 2025		118 - 119
19.	NEW BUSINESS		
20.	UPCOMING MEETINGS		
20.1	Next Regular Meeting Scheduled for July 8, 2025 at the Galiano North Community Hall, Galiano Island		

- | | | |
|-----|-----------------------|-------------------|
| 21. | TOWN HALL | 4:10 PM - 4:30 PM |
| 22. | CLOSED MEETING - None | |
| 23. | ADJOURNMENT | 4:30 PM - 4:30 PM |

Galiano Island Local Trust Committee Minutes of Regular Meeting

Date: April 8, 2025
Location: Galiano South Community Hall
141 Sturdies Bay Road, Galiano Island, BC

Members Present: Timothy Peterson, Chair
Ben Mabberley, Local Trustee
Lisa Gauvreau, Local Trustee

Staff Present: Kim Stockdill, Island Planner
Bruce Belcher, Planner 2 (electronic)
Lisa Millard, Meeting Administrator/Recorder (electronic)

Others Present: There were approximately eight (8) members of the public present.

1. CALL TO ORDER

Chair Peterson called the meeting to order at 1:00 p.m.

2. TERRITORIAL ACKNOWLEDGEMENT

Chair Peterson acknowledged that the meeting was being held in the territory of the Coast Salish First Nations. He noted the Galiano Local Trust Committee and Penelakut Tribe have embarked on an important journey of relationship building and thanked Penelakut Council Member Ken Thomas for his invaluable role as liaison between the parties.

3. APPROVAL OF AGENDA

The following addition to the agenda was presented for consideration:

19.2 GL-SUB-2020.1 – Correspondence Road Dedication Waiver

By general consent the agenda was approved as amended.

4. TRUSTEE REPORT

Trustee Gauvreau reported the following:

- Attended Islands Trust Conservancy meeting
- Attended Trust Programs Committee meeting to work on the draft Islands Trust Policy Statement in preparation of anticipated First Reading in June
- Attended an event hosted by the Galiano Library One Book Reading Program in which the book *A Mind Spread Out on the Ground* by Mohawk author Alicia Elliott was discussed
- Attended March Trust Council and highlighted the election of Salt Spring Trustee Laura Patrick to Chair of Trust Council

Trustee Mabberley reported attendance at March Trust Council and summarized the election of Trustee Laura Patrick as Chair, approval of the 2026/26 budget for which he voted in opposition, and the motion he advanced to have the Islands Trust Policy Statement brought to Trust Council in June for First Reading to enable the First Nations and public engagement process.

5. CHAIR'S REPORT

Chair Peterson reported the following:

- Attended March Trust Council and highlighted the election of new Chair Laura Patrick, approval of the annual budget and Strategic Plan, workshop facilitated by BC Ferries, and decision to move the draft Islands Trust Policy Statement work to Trust Programs Committee
- Attended Chief Administrative Officer Performance Evaluation Committee meeting
- Upcoming Committee of the Whole Meetings will focus on 2022 Governance Report and Code of Conduct Policy discussions
- Attendance at the upcoming Association of Vancouver Island Coastal Communities convention which he will be presenting on behalf of an ad hoc group promoting mental health wellness in local government leadership

6. ELECTORAL AREA DIRECTOR'S REPORT - None

7. FIRST NATION REPORT

Penelakut Council Member Ken Thomas acknowledged and welcomed ongoing communications between the Local Trust Committee and the Penelakut Council.

8. TOWN HALL AND QUESTIONS

A member of the public thanked community members for offering their service on the Advisory Planning Commission and asked the Local Trust Committee to consider opting into the request for inclusion in the Provincial requirement of principal residency for short-term vacation rentals as did the Salt Spring Island Local Trust Committee.

Chair Peterson stated the Salt Spring Island Local Trust Committee held meetings with stakeholders and subsequently determined there was general consensus that opting into the principal residency requirement was appropriate. He noted the annual deadline to join is March 31 and there will be ability to opt in, or out, each year. Trustees concurred the discussion is important to have in community consultation.

A member of the public referenced the Trust Council budget funding allocated to Official Community Plan Review Projects on a number of islands and asked why Galiano was not included.

Island Planner Stockdill referenced the staff report included in the agenda and noted it was to provide information to determine the potential scope and timelines of an Official Community Plan and Land Use Bylaw review project and should the Local Trust Committee wish to pursue the project budget would be requested for the 2026/27 fiscal year.

A member of the public spoke to the Palmberg application and stated the following:

- Consideration of referring the application to the Advisory Planning Commission might be appropriate
- The Directives Checklist indicates the application is not contrary to, or at variance, with the Islands Trust Policy Statement
- Freshwater resources in the directive checklist has been marked as non applicable; however, there is potential for significant increased water use
- The Capital Regional District was not included in the referrals list; however, the property is located near a community water system

Island Planner Stockdill replied as follows:

- The Local Trust Committee has the ability to refer any type of application to the Advisory Planning Commission and the option to do so is included in the staff report
- If the Local Trust Committee believes freshwater resources are applicable, or that the application does not comply with the Trust Policy Statement, they can request that information be changed
- The Sticks Allison Water District has been added to the referral list and the staff report was updated to reflect the addition

A member of the public asked if multi-stage applications, that are spread out over several years, come back to the Local Trust Committee prior to proceeding to the next stage, and they also suggested the term “referral agencies” be changed to “referral entities”.

Island Planner Stockdill noted when an application is approved the applicant must abide by the new bylaws and relevant covenants and there are no requirements to communicate to the Local Trust Committee following approval of the application.

A member of the public stated up to one third of Advisory Planning Commission participants can be non-residents and those positions should be offered to First Nations.

The Chair referenced Islands Trust request to the Provincial Government for a governance review which includes, in part, the goal of implementing the *Declaration Act* within the *Islands Trust Act*.

9. COMMUNITY INFORMATION MEETING – None

10. PUBLIC HEARING - None

11. MINUTES

11.1 Local Trust Committee Minutes Dated February 11, 2025 (for Adoption)

The following amendment to the minutes was presented for consideration:

Page 3 of the Minutes in first bullet point change location name to Trisha Way Park.

By general consent the Galiano Island Local Trust Committee meeting minutes of February 11, 2025 were adopted as amended.

11.2 Section 26 Resolutions Without Meeting Report - None

11.3 Advisory Planning Commission Minutes - None

12. BUSINESS ARISING FROM MINUTES

12.1 Follow-up Action List Dated April 2025

Island Planner Stockdill provided an update on items on the Follow Up Action List.

13. DELEGATIONS - None

14. CORRESPONDENCE

Correspondence received concerning current applications or projects is posted to the LTC webpage

15. MEETING BREAK - COMMUNITY UPDATE

The break was rescheduled to a later time in the meeting.

16. APPLICATIONS AND REFERRALS

16.1 GL-SUB-2023.1 (Taylor) - Staff Report

Planner Belcher summarized the staff report and highlighted the following:

- The application seeks an exemption from the 10% minimum frontage requirement on Lot B of a proposed subdivision
- There is no minimum frontage requirement in the Galiano Land Use Bylaw
- A Riparian Development Permit was required as a condition for subdivision approval which has been issued as no new development will be proposed on the property
- While the minimum frontage is less than the 10% requirement specified in the *Local Government Act* the proposal allows a distance of 26.7 metres frontage
- The *Local Government Act* allows a local government to waive the 10% frontage requirement

Discussion ensued and Trustees had no questions or concerns regarding the application.

GL-2025-010

It was MOVED and SECONDED

that Galiano Island Local Trust Committee EXEMPT Lot B of proposed subdivision (GL-SUB-2023.1, 172 Burrill Road) from the 10% minimum frontage requirement under Section 512 of the *Local Government Act*.

CARRIED

16.2 PL-RZ-2024-0003 (Palmberg) – Staff Report (2:00)

Island Planner Stockdill summarized the staff report and highlighted the following:

- The Local Trust Committee previously directed staff to draft bylaws for the rezoning application
- The subject property is proposed to be rezoned to a site specific Rural 2 zone to allow uses including a contractor yard, storage and sale of gravel, soil, and aggregates, sawmilling, manufacturing of wood products, and production and sales of cider and wine

- The draft bylaw should be amended to include a contractor’s workshop
- The draft bylaw includes building height restrictions and land screening requirements
- The Official Community Plan would amend Policy E to permit agricultural uses in addition to the currently allowed residential use

Trustees had no questions for the Planner and noted that giving First Reading enables the community engagement and consultation process to begin.

GL-2025-011

It was MOVED and SECONDED,

that Galiano Island Local Trust Committee Bylaw No. 296, cited as “Galiano Island Official Community Plan Bylaw No. 108, 1995, Amendment No. 3, 2024” be read a first time.

CARRIED

GL-2025-012

It was MOVED and SECONDED

that Galiano Island Local Trust Committee Bylaw No. 297, cited as “Galiano Island Land Use Bylaw No. 127, 1999, Amendment No. 3, 2024”, be amended by adding "contractor workshop" as a permitted use.

CARRIED

GL-2025-013

It was MOVED and SECONDED,

that Galiano Island Local Trust Committee Bylaw No. 297, cited as “Galiano Island Land Use Bylaw No.127, 1999, Amendment No. 3, 2024”, be read a first time as amended.

CARRIED

GL-2025-014

It was MOVED and SECONDED,

that Galiano Island Local Trust Committee has reviewed the Islands Trust Policy Statement Directives Only Checklist and determined that Bylaw No. 296, cited as “Galiano Island Official Community Plan Bylaw No. 108, 1995, Amendment No. 3, 2024”, is not contrary to or at variance with the Islands Trust Policy Statement.

CARRIED

GL-2025-015

It was MOVED and SECONDED,

that Galiano Island Local Trust Committee has reviewed the Islands Trust Policy Statement Directives Only Checklist and determined that Bylaw No. 297, cited as Galiano Island Land Use Bylaw No. 127, 1999, Amendment No. 3, 2024”, is not contrary to or at variance with the Islands Trust Policy Statement.

CARRIED

GL-2025-016

It was MOVED and SECONDED,

that Galiano Island Local Trust Committee request staff to schedule a Public Hearing and Community Information Meeting for Bylaw No. 296, cited as “Galiano Island Official Community Plan Bylaw No. 108, 1995, Amendment No. 3, 2024”.

CARRIED

GL-2025-017

It was MOVED and SECONDED,

that Galiano Island Local Trust Committee request a covenant under Section 219 of the Land Title Act from the applicant for PL-RZ-2024-0003 (Palmberg) as a condition of adopting Bylaw No. 297 that includes conditions and restrictions for the proposed uses and recommendations from the water management plan.

CARRIED

Island Planner Stockdill advised that a Community Information Meeting for Bylaw No. 296 will be scheduled to be held during the July Local Trust Committee meeting.

16.3 Salt Spring Island Local Trust Committee Referral for Proposed Bylaw No. 543 (for Response)

GL-2025-018

It was MOVED and SECONDED,

that Galiano Island Local Trust Committee interests are unaffected by the Salt Spring Island Local Trust Committee Draft Bylaw No. 543.

CARRIED

The meeting was recessed for a break at 2:20 p.m. and reconvened at 2:30 p.m.

17. LOCAL TRUST COMMITTEE PROJECTS

17.1 Associated Islands Regulations Review Project – Staff Report

Island Planner Stockdill summarized the staff report and highlighted the following:

- The Local Trust Committee previously requested staff add an Associated Islands Regulations Review Project to its active projects list as a minor project
- The intent is to review and amend regulations in the Land Use Bylaw that would be applicable to associated islands and boat access only properties
- In-person and electronic Special Meetings, Community Information Meetings, and engagement with First Nations and property owners would be undertaken
- Reference to minor amendments in the out-of-scope section of the Project Charter should state major amendments
- The proposed project timeline and budgeting estimates were reviewed

Discussion ensued and Trustees confirmed interest in moving the project forward.

GL-2025-019

that Galiano Island Local Trust Committee request staff to amend the Project Charter by changing “minor: to major in Out-of-Scope section related to amendments to the Galiano Official Community Plan.

CARRIED

GL-2025-020

It was MOVED and SECONDED

that Galiano Island Local Trust Committee endorse the attached project charter for the Associated Islands Regulations Review Project as amended.

CARRIED

17.2 Official Community Plan Review Project - Staff Report

Island Planner Stockdill summarized the staff reported and noted the following:

- The report provides the Local Trust Committee with context for an Official Community Plan Review Major Project commencing in the 2026/27 fiscal year
- A Major Project requires a business case be presented for approval through Trust Council
- The Local Trust Committee can consider either a targeted review or a comprehensive and full review which affects budget and timelines
- The last review of the Galiano Official Community Plan was in 2011

Discussion ensued and the following comments were recorded:

- There is consensus to undertake a targeted review
- Community engagement can occur to determine which sections of the Official Community Plan might be reviewed
- Capacity funding for First Nations engagement will need to be included in the budget outlined in the business case

GL-2025-021

It was MOVED and SECONDED,

that Galiano Island Local Trust Committee request staff to report back with a draft Business Case and Work Plan for a targeted OCP review.

CARRIED

Island Planner Stockdill clarified that the Official Community Plan review would not start now; but the foundation is being laid to prepare a business case for approval for the 2026/27 fiscal year in consideration of starting the review in 2026.

18. REPORTS

18.1 Work Program Reports

18.1.1 Active Projects Report Dated April 2025

18.1.2 Future Projects Report Dated April 2025

Items 18.1.1 and 18.1.2 were received for information.

18.2 Applications Report Dated April 2025

Received for information.

18.3 Trustee and Local Expense Report Dated Jan 2025

Received for information.

18.4 Adopted Policies and Standing Resolutions

Received for information.

18.5 Local Trust Committee Webpage

No updates required at this time.

18.6 Islands Trust Conservancy Report Dated Feb 2025

Received for information.

19. NEW BUSINESS

19.1 2024/25 Annual Report - Request for Decision

GL-2025-022

It was MOVED and SECONDED.

that Galiano Island Local Trust Committee approves the attached text for inclusion in the 2024/25 Annual Report for approval by Trust Council and submission to the Minister of Housing and Municipal Affairs.

CARRIED

19.2 GL-SUB-2020.1 – Correspondence: Road Dedication Waiver

Trustee Mabblerley received correspondence seeking confirmation that removal of road dedication does not impact the lot zoning in anyway.

Island Planner Stockdill stated staff will need to review matter and will report back to the Local Trust Committee if necessary.

20. UPCOMING MEETINGS

20.1 Next Regular Meeting Scheduled for June 3, 2025 at the Galiano North Community Hall, Galiano Island

21. TOWN HALL

A member of the public asked for clarification on implications of the road dedication waiver.

A Trustee indicated correspondence was received, staff will look into it, and if the Local Trust Committee is required to make decisions, or provide input, staff will bring that information back to the Local Trust Committee for discussion.

A member of the public stated they did not understand concerns about a comprehensive Official Community Plan review lasting ten years as the previous one undertaken on Galiano was completed in a two-year timeline.

A Trustee confirmed other islands comprehensive reviews have been ongoing for over ten years and the Chair explained the budgeting process for projects that are not completed in one term.

A member of the public spoke to the 2007 regional trail network plan that was driven by community organizations and suggested staff determine which organizations provided input into the 2011 Official Community Plan review and ask them if they would be willing to update their section as part of a new review project.

22. CLOSED MEETING

22.1 Motion to Close the Meeting

GL-2025-023

It was MOVED and SECONDED,

that the meeting be closed to the public in accordance with the Community Charter, Part 4, Division 3, s. 90(1)(a)(f):

(a) personal information about an identifiable individual who holds or is being considered for a position as an officer, employee or agent of the municipality or another position appointed by the municipality;

(f) law enforcement, if the council considers that disclosure could reasonably be expected to harm the conduct of an investigation under or enforcement of an enactment;

AND that the recorder and staff attend the meeting.

CARRIED

The regular meeting was closed to the public at 3:14 p.m.

22.2 Recall to Order

The meeting was recalled to order at 3:41 p.m.

22.3 Rise and Report

Chair Peterson rose and reported adoption of the February 11, 2025 *in-camera* meeting minutes and the appointment of Pricilla Ewbank, Bert Hol, and Dennis Perch to the Galiano Island Board of Variance, commencing immediately for a term ending April 8, 2028.

23. ADJOURNMENT

By general consent the meeting was adjourned at 3:41 p.m.

Tim Peterson, Chair

Certified Correct:

Lisa Millard, Meeting Administrator/Recorder

Follow Up Action Report

Galiano Island

10-Sep-2024

Progress	Activity	Responsibility	Dates	Status
0%	1 15.1 GL-RZ-2021.2 (DL 86) 1. Staff to create draft bylaw numbers and templates - BLs 292/293 (DONE) 2. Staff to schedule meeting with Penelakut/MOTI/Applicant - (DONE) 3. Staff to send referral to GI Parks & Rec Commission - in process	Jas Chonk Kim Stockdill	Target: 29-Nov-2024	In Progress
0%	2 15.1 GL-RZ-2023.2 (DL 85) 1. Staff to create draft bylaw numbers and templates - BLs 294/295 (DONE) 2. Staff to schedule meeting with Penelakut/MOTI/Applicant - meeting with staff and MOTI completed (DONE) 3. Staff to send referral to GI Parks & Rec Commission - in process 4. Staff to review easement/SRoW from Cook Road to DL 85 (emergency access)	Jas Chonk Kim Stockdill	Target: 29-Nov-2024	In Progress

08-Oct-2024

Progress	Activity	Responsibility	Dates	Status
0%	1 17.1 GL-BP-2024.10 (Florianova) - LTC approved release of covenant and LTC Chair to sign covenant release.	Kim Stockdill	Target: 29-Nov-2024	In Progress

Follow Up Action Report

Galiano Island

10-Dec-2024

Progress	Activity	Responsibility	Dates	Status
0%	1 Land Transfer Applications: 1. LTC directs staff to engage with the Islands Trust Conservancy and the Galiano Conservancy Association to consider the role of facilitator in land transfer applications. 2. LTC directs staff to investigate, report back on the process, feasibility and implications of transferring lands associated with rezoning applications to be governed under Penelakut Tribe land codes.	Brad Smith Kim Stockdill	Target: 30-May-2025	In Progress
0%	2 16.2 GL-RZ-2014.1 (Crystal Mountain) 1. LTC requests applicant to engage with Penelakut Tribe to determine feasibility of land transfer, including agreement on proposed lot layout, future uses, and subdivision mechanism acceptable to the LTC. Staff to report back once applicant has completed engagement.	Brad Smith	Target: 28-Mar-2025	In Progress

11-Feb-2025

Progress	Activity	Responsibility	Dates	Status
0%	1 16.3 GL-RZ-2023.1 (Rockafella) 1. LTC gave direction to staff to not hold a Public Hearing for Bylaw No. 291 and for staff to give Notice of First Reading once staff. (DONE) 2. LTC gave direction for staff to schedule a Community Information Meeting prior to First Reading for June 3rd LTC meeting. (DONE) 3. Staff to draft Notice of First Reading for June 3rd LTC meeting. (DONE)	Jas Chonk Kim Stockdill	Target: 27-Jun-2025	Completed

Follow Up Action Report

Galiano Island

08-Apr-2025

Progress	Activity	Responsibility	Dates	Status
100%	1 Staff to send current Galiano LTC annual meeting schedule to Penelakut Chief, Council and staff.	Lisa Millard	Target: 18-Apr-2025	Completed
0%	2 Staff to set up meeting with Penelakut Chief, Council and staff and the Galiano LTC for late June, early July to provide updates to Penelakut Tribe regarding current applications and projects.	Joe Elliott Kim Stockdill	Target: 27-Jun-2025	In Progress
0%	3 11.1 Galiano LTC minutes of February 11, 2025 adopted as amended.	Emily Bryant	Target: 18-Apr-2025	Completed
0%	4 Galiano LTC in-camera meeting minutes of February 11, 2025 adopted as is.	Emily Bryant	Target: 18-Apr-2025	Completed
0%	5 GL-SUB-2023.1 (Taylor) - Galiano LTC waived 10 percent frontage. Staff to update Cityview.	Bruce Belcher	Target: 18-Apr-2025	Completed
0%	6 GL-RZ-2024-0003 (Palmberg) 1. Bylaw Nos. 296 and 297 given first reading (bylaw 297 as amended). (DONE) 2. Bylaw Nos. 296 and 297 not contrary to or at variance with the ITPS. (DONE) 3. Staff to schedule CIM and Public Hearing for proposed Bylaw No. 296 as part of the regular LTC meeting for July 8, 2025. (DONE) 4. Staff to draft s.219 covenant prior to consideration of bylaw 297 adoption. 5. Staff to send bylaw referrals (DONE)	Jas Chonk Kim Stockdill	Target: 27-Jun-2025	Completed

Follow Up Action Report

Galiano Island

08-Apr-2025

Progress	Activity		Responsibility	Dates	Status
0%	7	16.3 SSILTC Bylaw No. 543 - Interests unaffected.	Jas Chonk	Target: 18-Apr-2025	Completed
0%	8	17.1 Associated Islands Regulations Review Project 1. Project charter endorsed as amended. (DONE) 2. Staff to send early engagement letters to FN (DONE) and associated island/boat access only property owners. (to be completed in June)	Kim Stockdill	Target: 02-May-2025	In Progress
0%	9	17.2 OCP Review Project - Staff to report back with a business case and work plan for a targeted OCP review project.	Robert Kojima	Target: 30-May-2025	Completed
0%	10	Galiano LTC appointed Bert Hol, Priscilla Ewbank, and Dennis Perch to Galiano Island Board of Variance.	Emily Bryant Jas Chonk	Target: 25-Apr-2025	Completed

Temporary Use Permit
PLTUP20250108 (Harris)

9880 Porlier Pass Road

Consultation

A guiding principle of the Islands Trust is that open public consultative participation is vital to effective decision-making for the Trust Area.

Public consultation has not occurred.

How can staff put forward a recommendation without a report on consultation?

Application Process

The Application Process is deficient.

- o Land Use Bylaw*

*“**Confirm** that uses, buildings and structures comply with siting, size and dimension requirements.”*

An 11x17 Site Plan, drawn to scale has not been completed.

Lane access to the property has not been assessed.

Protection For Tenants

This is a material change from what was previously presented (Social Housing). Why has this changed?

The current proposal is a “for profit scheme”, with little protection for the tenants.

Precedent setting

If this TUP is approved, it will give a clear nod to other land owners.

Proposed TUP

“5. This permit is not a building permit and does not remove any obligation on the part of the permittee to comply with all other requirements of “Galiano Island Land Use Bylaw No.127, 1999” and to obtain other approvals necessary for completion of the proposed development, including approvals from the Capital Regional District, Island Health, Ministry of Environment and Climate Change Strategy, and Ministry of Transportation and Infrastructure.”

Recommendations:

Comment: 5 should be rewritten to be a strict condition precedent to a TUP...The permittee will obtain all other approvals necessary...(this should be time bound...suggest 3 months.)

APPLICATION PROCESS BE SUBJECT TO AN INDEPENDENT REVIEW FOR COMPLETENESS. Refer the application to the advisory planning commission (APC) for review and comment, prior to making a decision;

THE APPLICATION PROCESS should be subject to a legal review.

OTHER

1. No short term rentals.
2. Tenants and Landlord execute agreements under the Landlord Tenancy Act.
3. Freeze on any additional tenancy until TUP in place
4. TUP is revoked if Harris sells the property.

From: Rob Pingle
Sent: Tuesday, April 15, 2025 9:57 AM
To: 'mtippett@cvrd.bc.ca'; Jas Chonk; Nadine Mourao;
'realestate@crd.bc.ca'; 'amanda.vanderkloof@bcas.ca';
'cathie.mcintyre@bcassessment.ca'; 'FrontCounterBC@gov.bc.ca';
'saltspring@rcmp-grc.gc.ca'; 'jholmes@saltspringfire.com'
Cc: Oluwashogo Garuba
Subject: Salt Spring Island Local Trust Committee Proposed Bylaw Nos 544 &
545 Referral - For Response
Attachments: SS-BL-544-545_ReferralFRM.pdf; SS-BL-544_2025-04-10_OCP-
1stReading.pdf; SS-BL-545_2025-04-10_LUB-1stReading.pdf

Dear Referral Coordinators,

We are contacting you in regards to a referral of Bylaw Nos. 544 & 545 (attached), which proposes to amend the Official Community Plan (OCP) and Land Use Bylaw (LUB) to legalize commercial uses previously permitted by a Temporary Use Permit and amend the OCP designation from Residential Neighbourhood to Non-village commercial and General Employment land use designation on the property at 248 Lower Ganges Road, Salt Spring Island.

Staff reports and other materials related to the proposed bylaw can be viewed on our website at: <https://islandstrust.bc.ca/island-planning/salt-spring/current-applications/> as SS-RZ-2019.1.

A reply is respectfully requested by **June 16, 2025**.

Should you have any questions, or require further information on the Proposed Bylaw, please contact

Islands Trust Planner Oluwashogo Garuba at (250) 538-5603 or ogaruba@islandstrust.bc.ca and she would be happy to answer any questions you may have.

Referral responses should be addressed to myself at rpingle@islandstrust.bc.ca.

Thank you for your time and attention to this referral,

Rob Pingle

Legislative Clerk | Deputy Secretary

Islands Trust | Salt Spring Island

Phone: 250-538-5600 | www.islandstrust.bc.ca

You can also reach us toll-free via Service BC 1-800-663-7867 | 604-660-2421

The new Islands Trust office at 121 McPhillips Avenue, Salt Spring Island is not open to the public at this time. Staff will continue to provide services by phone and e-mail until the new office space opens

Preserving and protecting over 450 islands and surrounding waters in the Salish Sea

I respectfully acknowledge that the Islands Trust Area is located within the treaty lands and territories of the BOKÉĆEN, Cowichan Tribes, K'ómoks, Lyackson, MÁLEXET, Qualicum, scəwəθən, səlilwətəʔ, SEMYOME, shíshálh, Skwxwú7mesh, Snaw-naw-as, Snuneymuxw, Songhees, Spune'luxutth', STÁUTW, Stz'uminus, ʔaʔəmen, Ts'uubaa-asatx, Wei Wai Kum, We Wai Kai, WJOŁEŁP, WSIKEM, Xeláltxw, Xwémalhwu, Xwsepsum, and xʷməθkʷəy̓əm First Nations. Islands Trust is committed to reconciliation and to working together to preserve and protect this ecologically, culturally, and spiritually significant region in the Salish Sea.



Islands Trust

BYLAW REFERRAL FORM

4-121 McPhillips Avenue
Salt Spring Island, BC V8K 2T6
Ph: (250) 537-9144
ssiinfo@islandstrust.bc.ca
www.islandstrust.bc.ca

Island: Salt Spring Island Trust Area Bylaw No.: 544 & 545 Date: April 15, 2025

You are requested to comment on the attached Bylaw for potential effect on your agency's interests. We would appreciate your response within 60 days. If no response is received within that time, it will be assumed that your agency's interests are unaffected.

APPLICANTS NAME / ADDRESS:

Nick Williams & Eric Beamish – 248 Upper Ganges Rd, SSI BC, V8K 2P8

PURPOSE OF BYLAW:

To legalize commercial uses previously permitted by a Temporary Use Permit.

GENERAL LOCATION:

248 Upper Ganges Road, SSI

LEGAL DESCRIPTION:

LOT A, SECTION 4, RANGE 4 EAST, NORTH SALT SPRING ISLAND, COWICHAN DISTRICT, PLAN 42183

SIZE OF PROPERTY AFFECTED:

0.8 ha (1.98 ac)

ALR STATUS:

Not in ALR

OFFICIAL COMMUNITY PLAN DESIGNATION:

Residential Neighbourhood Designation (RN)

OTHER INFORMATION:

The applicant is seeking amendment to the Land Use Bylaw (LUB) to legalize commercial uses permitted by a Temporary Use Permit and also amend the Official Community Plan (OCP) designation from Residential Neighbourhood to Non-village commercial and General Employment land use designation.

Please fill out the Response Summary on the back of this form. If your agency's interests are "Unaffected", no further information is necessary. In all other cases, we would appreciate receiving additional information to substantiate your position and, if necessary, outline any conditions related to your position. Please note any legislation or official government policy which would affect our consideration of this Bylaw.

(Signature)

Name: Oluwashogo Garuba

Title: A/Planner 2

This referral has been sent to the following agencies:

First Nations

Cowichan Tribes
Halalt First Nation
Lyackson First Nation
Malahat Nation
Pauquachin First Nation
Penelakut Tribe
Semiahmoo First Nation
Snuneymuxw First Nation
Stz'uminus First Nation
Ts'uubaa-Asatx First Nation
Tsartlip First Nation
Tsawout First Nation
Tsawwassen First Nation
Tseycum First Nation

Provincial Agencies

BC Assessment Authority
Front Counter BC

Regional Agencies

CRD – All Referrals

Non-Agency Referrals

BC Ambulance Service
RCMP
SSI Fire-Rescue
Salt Spring Island Coast Salish Society

Adjacent Local Trust Committees and Municipalities

Galiano Island Local Trust Committee
Mayne Island Local Trust Committee
North Pender Island Local Trust Committee
Thetis Island Local Trust Committee
Cowichan Valley Regional District

BYLAW REFERRAL FORM
RESPONSE SUMMARY

- ☐ Approval Recommended for Reasons Outlined Below
- ☐ Approval Recommended Subject to Conditions Outlined Below
- ☐ Interests Unaffected by Bylaw
- ☐ Approval Not Recommended Due to Reason Outlined Below

Salt Spring Island Trust Area
(Island)

(Signature)

(Date)

544 & 545
(Bylaw Number)

(Title)

(Agency)

PROPOSED

SALT SPRING ISLAND LOCAL TRUST COMMITTEE BYLAW NO. 544

A BYLAW TO AMEND SALT SPRING ISLAND OFFICIAL COMMUNITY PLAN BYLAW NO. 434, 2008

The Salt Spring Island Local Trust Committee enacts in open meeting assembled as follows:

1. CITATION

This Bylaw may be cited for all purposes as “Salt Spring Island Official Community Plan Bylaw No. 434, 2008, Amendment No. 1, 2025”.

2. SCHEDULES

Salt Spring Island Official Community Plan No. 434, cited as “Salt Spring Island Official Community Plan Bylaw No. 434, 2008” is amended as shown on Schedule 1, attached to and forming part of this bylaw.

3. SEVERABILITY

If any provision of this Bylaw is for any reason held to be invalid by a decision of any Court of competent jurisdiction, the invalid provision must be severed from the Bylaw and the decision that such provision is invalid must not affect the validity of the remaining provisions of the Bylaw.

READ A FIRST TIME THIS	10th	DAY OF	APRIL	2025
PUBLIC HEARING HELD THIS	_____	DAY OF	_____	20____
READ A SECOND TIME THIS	_____	DAY OF	_____	20____
READ A THIRD TIME THIS	_____	DAY OF	_____	20____
APPROVED BY THE EXECUTIVE COMMITTEE OF THE ISLANDS TRUST THIS	_____	DAY OF	_____	20____
APPROVED BY THE MINISTER MUNICIPAL AFFAIRS AND HOUSING THIS	_____	DAY OF	_____	20____
ADOPTED THIS	_____	DAY OF	_____	20____

Chair

Secretary

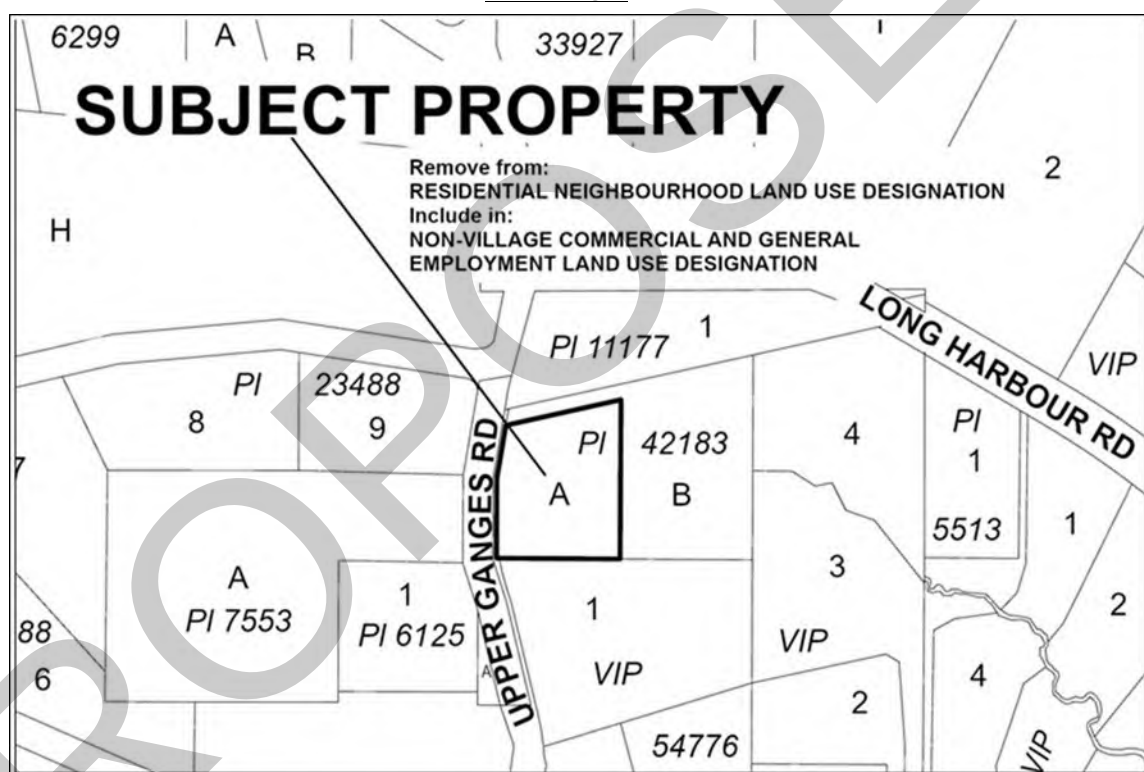
**SALT SPRING ISLAND LOCAL TRUST COMMITTEE
BYLAW NO. 544**

SCHEDULE 1

1. Schedule "A", Volume 2 is amended as follows:

1.1 Map 1 – Plan Area with Land and Shoreline Use Designation is amended by including LOT A, SECTION 4, RANGE 4 EAST, NORTH SALT SPRING ISLAND, COWICHAN DISTRICT, PLAN 42183, in the Non-Village Commercial and General Employment Land Use Designation as shown on Plan No. 1 of this bylaw.

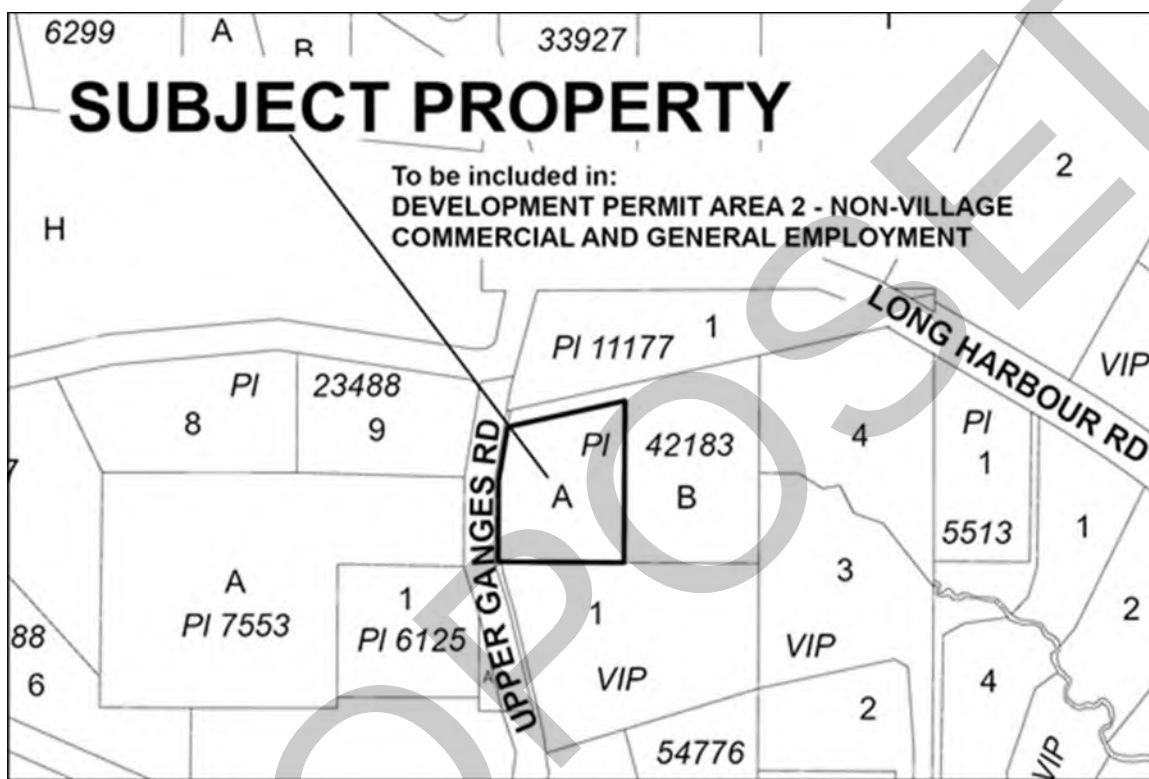
PLAN NO 1



2. Schedule "A", Volume 2 is amended as follows:

1.1 Map 19 – Development Permit Area 2 – Non-Village Commercial and General Employment is amended by including LOT A, SECTION 4, RANGE 4 EAST, NORTH SALT SPRING ISLAND, COWICHAN DISTRICT, PLAN 42183, as shown on Plan No. 1 of this bylaw.

PLAN NO. 1



PROPOSED

SALT SPRING ISLAND LOCAL TRUST COMMITTEE BYLAW NO. 545

A BYLAW TO AMEND SALT SPRING ISLAND LAND USE BYLAW, 1999

The Salt Spring Island Local Trust Committee, being the Trust Committee having jurisdiction in respect of the Salt Spring Island Local Trust Area under the *Islands Trust Act*, enacts as follows:

1. Citation

This bylaw may be cited for all purposes as “Salt Spring Island Land Use Bylaw, 1999, Amendment No. 3, 2025”.

2. Salt Spring Island Local Trust Committee Bylaw No. 355, cited as “Salt Spring Island Land Use Bylaw, 1999,” is amended as follows:

2.1 Schedule “1” – Zoning Map, is amended by changing the zoning classification of LOT A, SECTION 4, RANGE 4 EAST, NORTH SALT SPRING ISLAND, COWICHAN DISTRICT, PLAN 42183 from Residential 7 (R7) to General Employment 3 variant b (GE3 (b)), as shown on Plan No. 1 attached to and forming part of this bylaw, and by making such alterations to Schedule “1” to Bylaw No. 355 as are required to effect this change.

2.2 By adding the following within Section 9.7.5 – Exceptions in Particular Locations:

“Zone Variation – GE3(b)

(16) The following accessory use is permitted:

(a) One accessory dwelling and one personal services business accessory to the dwelling unit (248 Upper Ganges Road).”

2.3 And by making such consequential numbering alterations to effect this change.

3. SEVERABILITY

If any provision of this Bylaw is for any reason held to be invalid by a decision of any Court of competent jurisdiction, the invalid provision must be severed from the Bylaw and the decision that such provision is invalid must not affect the validity of the remaining provisions of the Bylaw.

READ A FIRST TIME THIS	10th	DAY OF	APRIL	2025
PUBLIC HEARING HELD THIS	_____	DAY OF	_____	20____
READ A SECOND TIME THIS	_____	DAY OF	_____	20____
READ A THIRD TIME THIS	_____	DAY OF	_____	20____

APPROVED BY THE EXECUTIVE COMMITTEE OF THE ISLANDS TRUST

_____ DAY OF _____ 20____

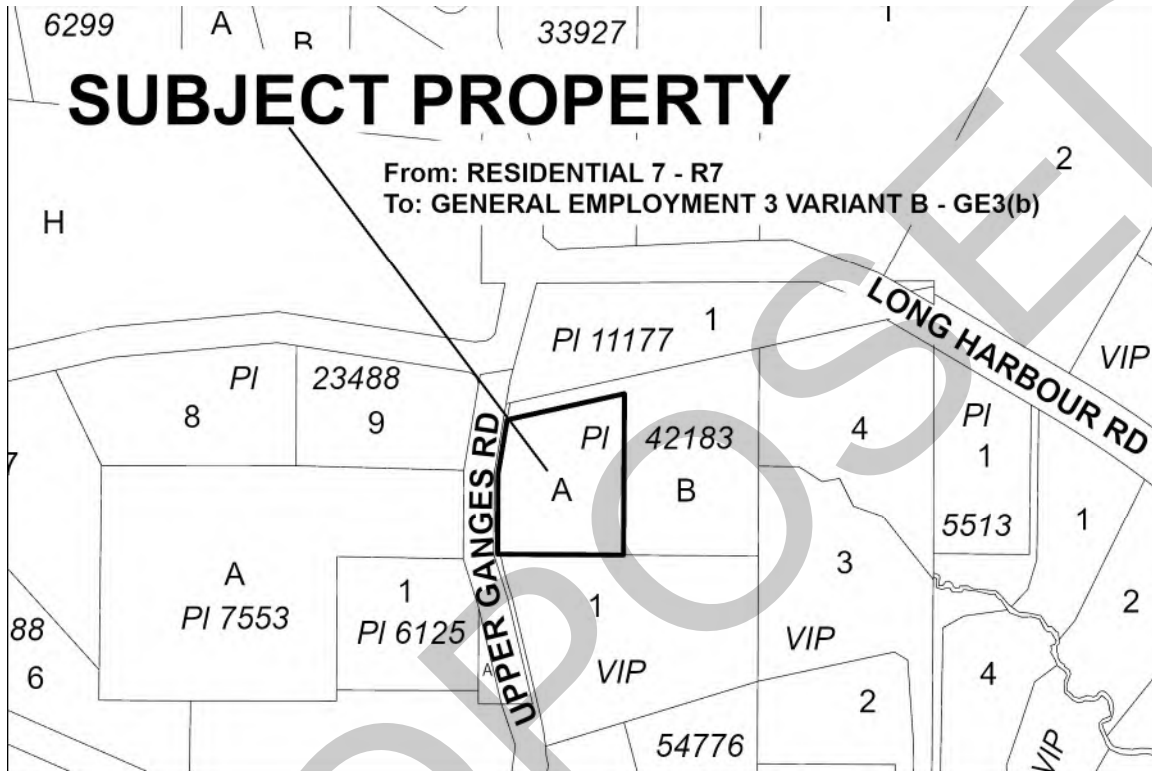
ADOPTED THIS _____ DAY OF _____ 20____

Chair

Secretary

SALT SPRING ISLAND LOCAL TRUST COMMITTEE
BYLAW NO. 545

Plan No. 1



DATE OF MEETING: June 3, 2025

TO: Galiano Island Local Trust Committee

FROM: Kim Stockdill, Island Planner
Southern Team

COPY: Robert Kojima, Regional Planning Manager

SUBJECT: TUP Application – Staff Report

Applicant: George Harris

Location: 9980 Porlier Pass Rd – PID: 026-836-734

RECOMMENDATIONS

1. That the Galiano Island Local Trust Committee amend Temporary Use Permit GL-PL-TUP-2025-0103 (Harris) by amending:
 - a) Condition 3(f) by reducing the maximum floor area from 93 m² (1000 ft²) to 65 m² (700 ft²); and,
 - b) Condition 3(g) by reducing the maximum occupancy of a Dwelling Unit from eight (8) to five (5) people.
2. That the Galiano Island Local Trust Committee approve Temporary Use Permit application GL-PL-TUP-2025-0103 (Harris) for a period of three (3) years as amended.

REPORT SUMMARY

The purpose of this report is to consider issuance of a temporary permit use permit for multiple-unit dwellings with residential rental tenure and accessory uses.

BACKGROUND

The subject property is located mid-island along Porlier Pass Road. The lot slopes upward from the front lot line toward the rear of the property. The existing driveway bisects a wetland area (not mapped as a sensitive ecosystem), crosses the western neighboring property via easement access, and winds upward toward the existing developed area. The buildings on the property were originally used for forestry purposes and were converted for use by a film school in the late 1990s.

According to the applicant, the buildings are now used as affordable housing for Galiano Island residents. The former film school student accommodation buildings have been converted into five housing units, each with its own kitchen.

The applicant applied to rezone the property in 1995 to amend the zoning from Rural Residential (RR) to Commercial 7 (C7), which would permit a commercial film school use. In 2002, the property was successfully rezoned to C7 and re-designated as Commercial in the Official Community Plan (OCP). The film school business operated for approximately 20 years, according to the applicant.

In 2006, a lot line adjustment was registered with the Land Title Office. Prior to the adjustment, the property was 1.578 hectares in area. The adjustment increased the area of the subject property to 1.98 hectares and resulted in a split-zoned parcel (C7 and RR).

Staff visited the property twice: once in June 2023, and again on October 29, 2024. Staff did not enter the dwelling units. Attachment 1 provides additional site context. Attachment 2 includes relevant maps, orthophotos, and site visit photos. A cover letter provided by the applicant is included as Attachment 3.

In 2023, the applicant applied to rezone the property to legalize the multi-unit dwelling for residential rental tenure and other accessory uses. Due to the financial cost of a rezoning application, the applicant wishes to proceed with a Temporary Use Permit (TUP) application to temporarily permit the use, with the intent for residents to transition to other housing society projects once constructed.

Application Proposal & Rationale

The applicant's proposal is to temporarily legalize the existing rental tenure use. As part of the application, the Temporary Use Permit (TUP), if approved, would permit the following common buildings/structures: one kitchen, one laundry room, and one lounge.

According to the applicant (Attachment 3), the applicant's rationale is as follows:

- The goal of turning the Gulf Island Film and Television School-GIFTS into the temporary "Gulf Island Frugal Tenancy Site"-GIFTS (as affordable housing) is an important part of ensuring Galiano can house those most in need
- A significant water license, sewage system, integrated fire alarm and final occupancy permit existed for 30 residential [film school] students and a Manager's family under the current [C7] zoning. The sewage system was designed for 45 people which included the administration, teachers, interns and guests while the film school was in session
- Extensive repair and upgrades to add integrity, sustainability, comfort and efficiency - including heat pumps to replace energy inefficient electric and propane heating – have been made to the site
- Reusing this facility has the lowest carbon footprint than any new construction

Figure 1 - Location of Subject Property

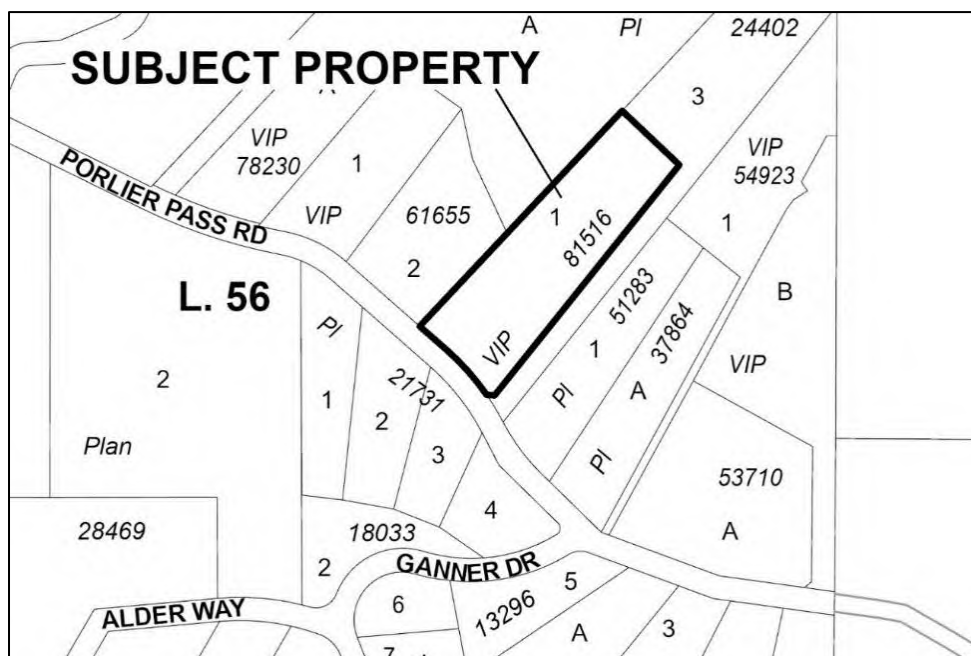


Figure 2 – Orthophoto with Zoning



ANALYSIS

Policy/Regulatory

Official Community Plan

The Galiano Island Official Community Plan (OCP) land use designations for the subject property are: Commercial (C) and Rural Residential (RR).

The OCP provides guidelines for TUPs and the proposal complies with the two applicable TUP guidelines – see TUP Guidelines Checklist Attachment No 3.

The following Development Permit Areas (DPAs) are located on the property:

- DPA 3 – Tree Cutting
- DPA 6 – Commercial & Industrial
- DPA 7 – Moderate Steep Slopes

A Development Permit is not required as no land alteration or construction is proposed.

Land Use Bylaw

The subject property is split zoned Commercial 7 (C7) and Rural Residential (RR) in the Galiano Island Land Use Bylaw No. 103. As the multi-unit dwelling use is not permitted in the C7 and RR zones, the applicant has applied for a TUP to temporarily permit the use.

Issues and Opportunities

Temporary Use Permits (TUP)

A Temporary Use Permit (TUP) may allow a use that is not permitted by current zoning, specify the conditions under which the use may be carried out, and permit and regulate the construction of buildings or structures associated with that use. This mechanism facilitates short-term uses—either those intended to be temporary in nature or those initiated while assessing their long-term compatibility with the property through the rezoning process.

Draft Permit Conditions

As the former film school student accommodation buildings are now used as residential rental dwellings, the conditions of the Temporary Use Permit (TUP) would allow this use to continue in its current form, without any expansion. The applicant has indicated that the largest dwelling unit is 700 ft² and that the maximum occupancy is five (5) residents per unit. Staff recommend amending the draft permit to reduce both the maximum allowable floor area and the maximum number of residents per dwelling unit (see Recommendation No. 1).

The Local Trust Committee (LTC) has the option to amend the draft TUP, provided that any additional conditions serve to further restrict the permitted use.

LTC Considerations

Groundwater – The applicant states that a water license application was sent to the province over five years ago and remains under review. Staff have included a condition in the TUP requiring the permit holder is responsible to ensure the temporary use complies with the *Water Sustainability Act*.

Emergency Services – As part of the rezoning process for the film school, the applicants upgraded the driveway in 2002 to ensure access for emergency and fire vehicles. The North Galiano Island Fire Department approved the access on April 17, 2002. Staff have referred the current application to the Galiano Island South Fire Hall for comment.

BC Building Code – In 2002, the buildings used by the film school were required to be upgraded to meet the *B.C. Building Code*. A referral has been sent to the Capital Regional District (CRD) Building Inspection department for review of the TUP application and to determine whether any additional upgrades or requirements are recommended.

Consultation

Statutory Requirements

TUP Notices were circulated to surrounding applicants and residents (Attachment 5). The required advertisement was placed in the *Driftwood* in the May 21 and May 28, 2025 editions. The notification period ends on May 23, 2025 at 4:30 p.m.

At the time of writing, staff have received one submission from a neighbour opposing the application who intends to speak as a delegation during the June 3, 2025 meeting.

Any submissions received prior to the LTC Meeting will be forwarded to the LTC and reported at the meeting.

First Nations

The Islands Trust reviews all applications to ensure the preservation and protection of cultural heritage, archaeological sites, and ancestral places. To provide awareness regarding areas of archaeological potential,

staff forwarded the Islands Trust Chance Find Protocol and the provincial Archaeological Branch guidelines on the *Heritage Conservation Act* directly to the applicants.

RECOMMENDATION

Based on the foregoing, the recommendations on page 1 are supported as:

- Affordable housing has been identified in numerous studies as a longstanding community need
- The TUP would provide a temporary solution to the shortage of rental housing on Galiano Island
- The TUP as drafted meets the OCP TUP objectives
- The temporary use acts as transitional housing until other approved affordable housing options are developed on Galiano

ALTERNATIVES

The LTC may consider the following alternatives to the staff recommendation:

1. Request further information

The LTC may request further information prior to making a decision. If selecting this alternative, the LTC should describe the specific information needed and the rationale for this request.

Resolution:

That the Galiano Island Local Trust Committee request that the applicant for GL-PL-TUP-2025-0108 (Harris) submit to the Islands Trust _____.

2. Add conditions

The LTC may wish to amend the TUP by adding additional conditions. If selecting this alternative the LTC should specify the additional conditions.

Recommended wording for the resolution is as follows:

That the Galiano Island Local Trust Committee amend Temporary Use Permit GL-PL-TUP-2025-0108 (Harris) by adding the following conditions: _____; and,

That the Galiano Island Local Trust Committee approve Temporary Use Permit application GL-PL-TUP-2025-0108 (Harris) as amended

3. Send Rezoning Application to the Galiano Advisory Planning Commission

Resolution:

That the Galiano Island Local Trust Committee refer rezoning application GL-PL-TUP-2025-0108 (Harris) to the Galiano Advisory Planning Commission for the following purpose _____.

4. Deny the application

The LTC may deny the application.

Resolution:

That the Galiano Island Local Trust Committee proceed no further with application GL-PL-TUP-2025-0108 (Harris).

Submitted By:	Kim Stockdill, Island Planner	May 22, 2025
Concurrence:	Robert Kojima, Regional Planning Manager	May 22, 2025

ATTACHMENTS

1. Site Context
2. Maps, Plans, Photographs
3. TUP Guidelines Checklist
4. Notice
5. Applicant's Letter
6. Proposed Permit GL-PL-TUP-2025-0108 (Harris)

ATTACHMENT 1 – SITE CONTEXT

LOCATION

Legal Description	Lot 1, District Lot 56, Galiano Island, Cowichan District, Plan VIP81516
PID	026-836-734
Civic Address	9980 Porlier Pass Rd
Lot Size	1.98 hectares (4.88 acres)

LAND USE

Current Land Use	Forest and Residential
Surrounding Land Use	Forest, Residential, Utility, and Nature Protection

HISTORICAL ACTIVITY

File No.	Purpose
GL-SUB-1990.30	N/A
UN-SUB-1991.82	
GL-SUB-1999.2	
GL-RZ-1995.4	To rezone a portion of the subject property to a permit a film school

POLICY/REGULATORY

Official Community Plan Designations	Galiano Island OCP No. 108, 1995 Designations: Commercial (C) and Rural Residential (RR)
Land Use Bylaw	Galiano Island LUB No. 127, 1999: Commercial Private Film School (C7) and Rural Residential (RR)
Other Regulations	N/A
Covenants	None
Bylaw Enforcement	GL-BE-2019.17 – Closed GL-BE-2021.10 – Closed

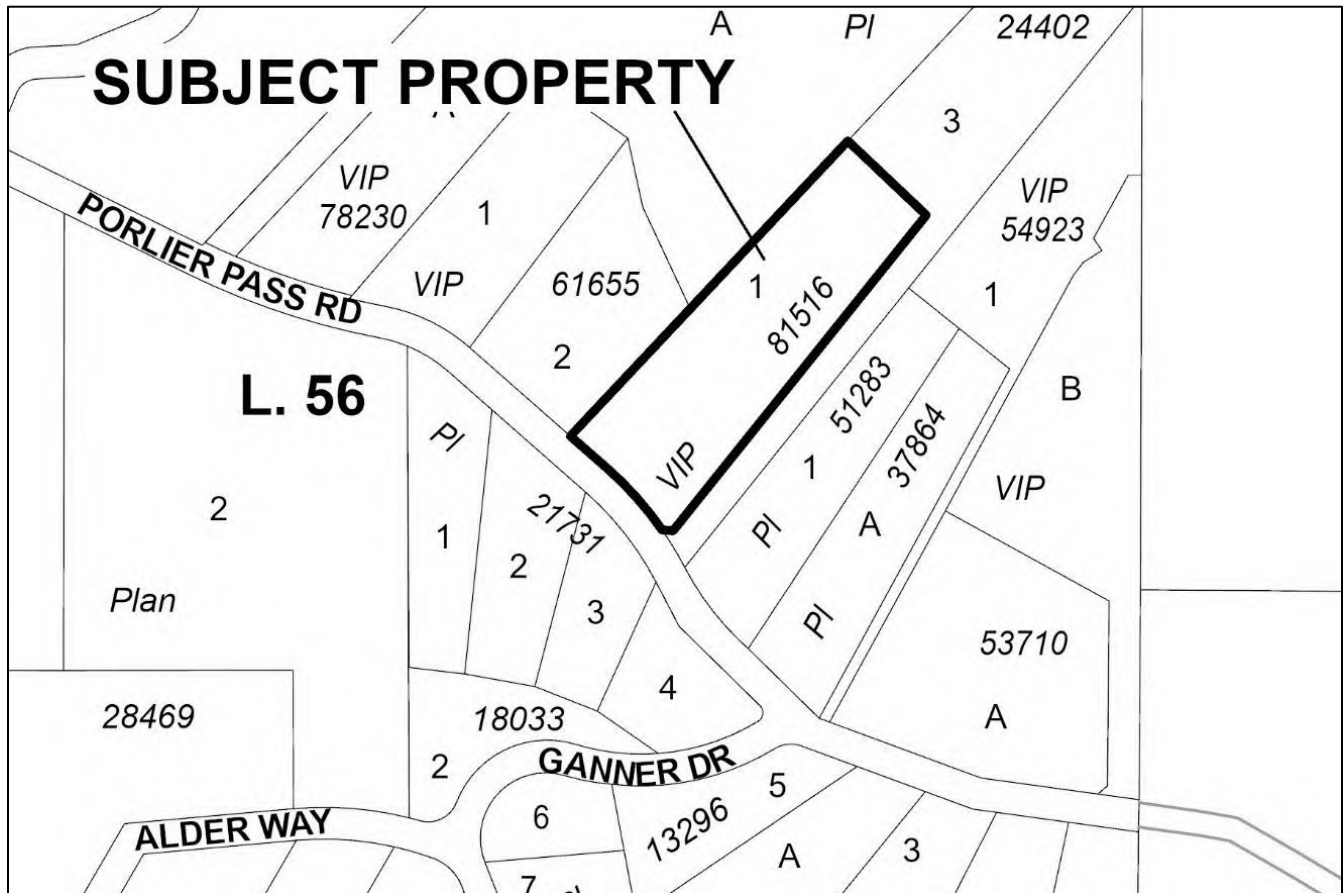
SITE INFLUENCES

Islands Trust Conservancy	N/A
Regional Conservation Strategy	The proposal does not impact the objectives and priorities of the Islands Trust Conservancy regional conservation plan.
Species at Risk	N/A
Sensitive Ecosystems	N/A
Hazard Areas	Low and medium risk steep slope on property
Archaeological Sites	There is potential for the presence of archaeological material. Staff have directed the applicant to the following guidelines: All archaeological and cultural heritage is protected under the <i>Heritage Conservation Act</i> and areas of archaeological potential

	may contain undocumented archaeological sites which would be automatically protected under the <i>Heritage Conservation Act</i> (including all intact or disturbed sites) and require a permit from the BC Archaeology Branch. Further information regarding permits: https://www2.gov.bc.ca/gov/content/industry/natural-resource-use/archaeology/permits. • In the event that archaeological features or materials are found, either intact or disturbed on the subject property, stop work immediately and contact the BC Archaeology Branch at 250-953-3334 or archaeology@gov.bc.ca. • Any impacts, would include the following: landscaping, tree removal, digging, using heavy equipment, development, fencing, footings, or any form of groundwork. For more information regarding registered archaeological sites and archaeological potential on the subject property, submit an Archaeological Information Request Form: www.archdatarequest.nrs.gov.bc.ca, or contact Islands Trust to access mapping of the subject property.
Climate Change Adaptation and Mitigation	Increased density and clustered design support climate change strategies
Shoreline Classification	N/A
Shoreline Data in TAPIS	N/A

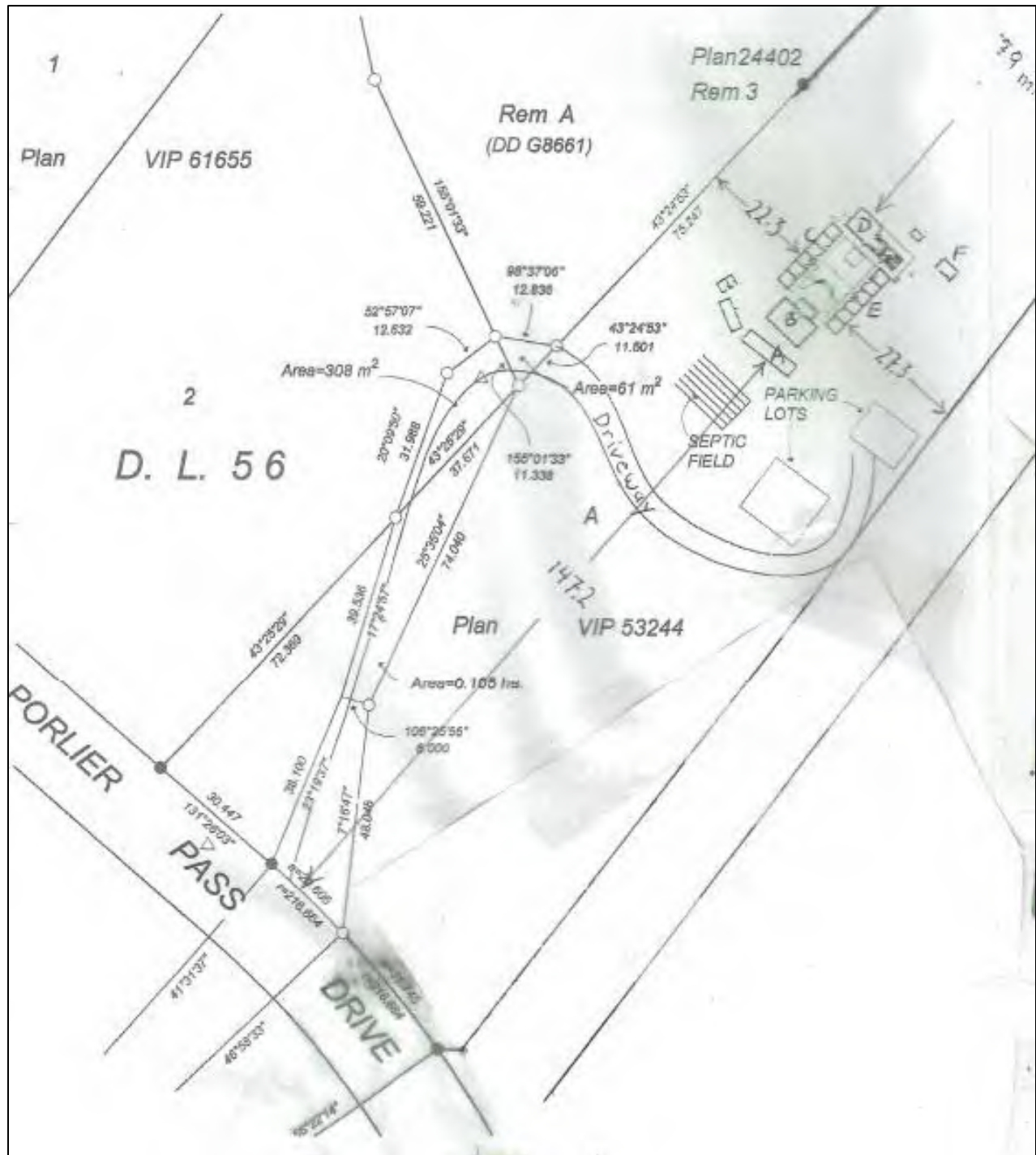
ATTACHMENT 2 – MAPS, PLANS, ORTHO-PHOTOS

2.1 SUBJECT PROPERTY MAP



2.2 SITE PLAN PROVIDED BY APPLICANT

- A - Atco trailer 10'x39'
- B - Main building 34'x21' - 2 stories
- C - Atco trailer 10'x56'
- D - Cookhouse/washrooms 20'x50'
- E - Atco trailer 10'x56'
- F - Pump house 8'x12'



2.3 ZONING AND ORTHO



2.4 DEVELOPMENT PERMIT AREAS



2.5 10 METRE CONTOURS



2.6 SITE VISIT PHOTOS



LOOKING NORTH TOWARDS EXISTING BUILDING CURRENTLY USED FOR COMMUNITY HOUSING



LOOKING WEST TOWARDS EXISTING BUILDING



LOOKING NORTH TOWARDS REAR OF PROPERTY (MODERATE STEEP SLOPE)



LOOKING SOUTH TOWARDS WINDING DRIVEWAY



LOOKING SOUTH TOWARDS PORLIER PASS RD AND WETLAND AREAS BORDERING DRIVEWAY

ATTACHMENT 3 – TEMPORARY USE PERMIT GUIDELINES

CONTRACTOR YARD

Guideline	Complies	Comments
Permits for temporary uses may be issued for short term uses or as a test of the compatibility of the proposed land use, which may not have been anticipated, with existing uses.	Yes*	Staff Comments: The temporary use acts as transitional housing until other approved affordable housing options are developed on Galiano
Permits can be issued for any period up to three years and could be considered for renewal once for any further period up to three years.	Yes	Staff Comments: TUP is drafted for 3 years.
In addition, the following guidelines apply when the Local Trust Committee is considering the issuance of a temporary use permit for a contractor yard...	N/A	Staff Comments: N/A

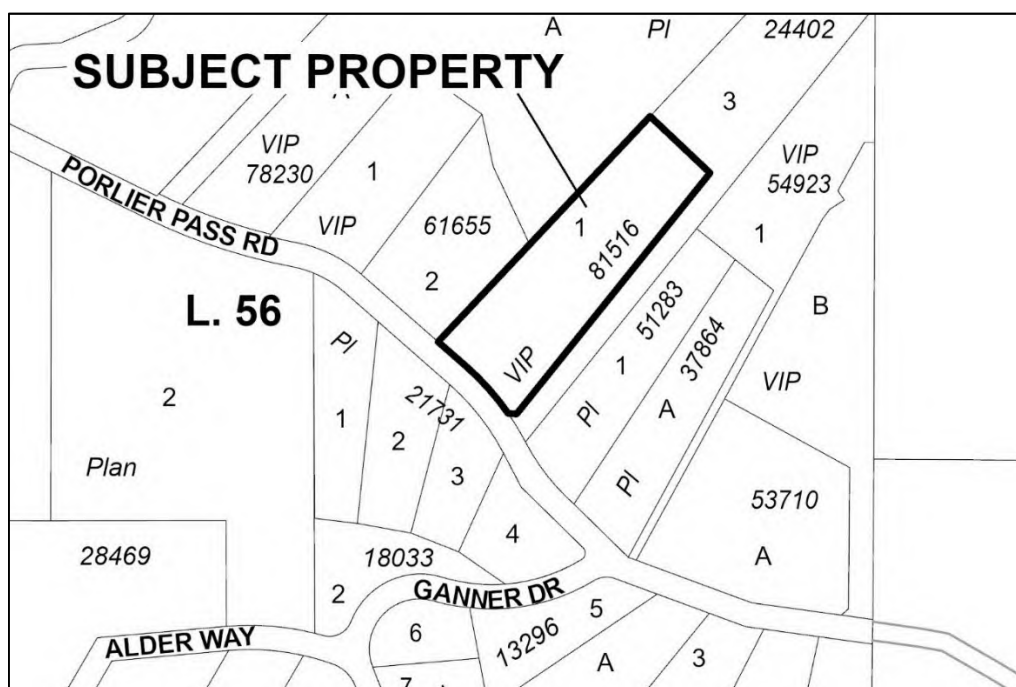
NOTICE
PLTUP20250108
GALIANO ISLAND LOCAL TRUST COMMITTEE

NOTICE is hereby given pursuant to Section 494 of the *Local Government Act* that the Galiano Island Local Trust Committee will be considering a resolution allowing for the issuance of a Temporary Use Permit. The proposed permit would apply to Lot 1, District Lot 56, Galiano Island, Cowichan District, Plan VIP81516 (PID: 026-836-734). This property is located at **9980 Porlier Pass Road**.

The purpose of this temporary use permit would be to permit a multiple-unit dwelling and accessory uses.

The establishment of these uses would be subject to the conditions specified in the attached proposed permit. The permit would be issued for three (3) years and the owner may apply to the LTC to have it renewed once for an additional three (3) years.

The general location of the subject property is shown on the following sketch:



A copy of the proposed permit may be inspected at the Islands Trust Office, 200 - 1627 Fort Street, Victoria, B.C. V8R 1H8 between the hours of 8:30 a.m. to 4:30 p.m. Monday to Friday inclusive, excluding statutory holidays, commencing **May 12, 2025** and continuing up to and including **May 23, 2025**.

For the convenience of the public only, and not to satisfy Section 499 (2) (c) of the *Local Government Act*, additional copies of the Proposed Permit may be inspected at various Notice Boards on Galiano Island.

Enquiries or comments should be directed to Kim Stockdill, Island Planner at (250) 405-5157, for Toll Free Access, request a transfer via Enquiry BC: In Vancouver 660-2421 and elsewhere in BC 1-800-663-7867; or by fax (250) 405-5155; or by email to: southinfo@islandstrust.bc.ca before 4:30 p.m., **May 23, 2025**.

The Galiano Island Local Trust Committee may consider a resolution allowing for the issuance of the permit during the regular business meeting starting at **1:00 p.m., June 3, 2025**, to be held at the Galiano North Community Hall, 22790 Porlier Pass Road.

All applications are available for review by the public with prior appointment. Written comments made in response to this notice will also be available for public review.

The goal of turning the Gulf Island Film and Television School-GIFTS into the temporary "Gulf Island Frugal Tenancy Site"-GIFTS (as affordable housing) is an important part of ensuring Galiano can house those most in need while we continue to pursue permanent affordable housing.

I have been a board member of 3 different housing societies over the past 15 years and am presently on the board of GALI and GIGARHS. Although we have now spent over a million dollars on soft costs, we are likely to be some years from success. Our building costs have doubled since applying for rezoning and financing has tripled. The budget of GALI has gone from 7 million dollars to 14 million dollars and is expected to continue to inflate.

After running GIFTS as a film school for 20 years, I sold it to new owners who unfortunately failed, blaming COVID, and returned the facility to me. A local First Nations mother from an old Galiano family and her children approached me, after they had been evicted and were sleeping in their car, to ask if she could stay at the facility while it was sitting empty. I was extremely reluctant, but agreed to a very temporary situation while I decided what to do with the newly returned property. This quickly led to a further 3 single moms with kids, and a couple of single men moving in. About half the residents are Indigenous, and none of the residents have any other option for housing on Galiano Island. These people are the volunteer firefighters, first responders, recycle center volunteers, dish washers, house cleaners, childcare providers, bicycle mechanics, etc.

A significant water license, sewage system, integrated fire alarm and final occupancy permit existed for 30 residential students and a Manager's family under the current zoning. The sewage system was designed for 45 people which included the administration, teachers, interns and guests while the film school was in session. After extensive repair and upgrades to add integrity, sustainability, comfort and efficiency - including heat pumps to replace energy inefficient electric and propane heating - to the site, our new residents have come together to support each other in a community that I could never have envisioned when I agreed to their requests for emergency housing on the old film school site.

I am now applying for a Temporary Use Permit to allow those in need to know they will not be evicted while we await our societies to succeed. Please consider waving the fees to obtain a TUP for my property to allow for the ongoing benefit of those who reside there.

Reusing this facility has the lowest carbon footprint than any new construction.

Let me know if I can answer any questions.

Thank you for your consideration,

George Harris



PROPOSED
GALIANO ISLAND LOCAL TRUST COMMITTEE
TEMPORARY USE PERMIT
PLTUP20250108 (Harris)

9980 Porlier Pass Road

To: George Harris

1. This Permit applies to the land described below:

Lot 1, District Lot 56, Galiano Island, Cowichan District, Plan VIP81516 (PID: 026-836-734)

As shown on Schedule 'A' attached to and forming part of this permit.

2. This Permit is issued for the purpose of permitting the owner(s) to conduct the following uses on the property:

a) Multiple-unit dwelling and accessory uses

3. The uses shall be carried on subject to the following conditions and specifications substantively consistent with Schedule 'A', attached to and forming part of this permit:

- a) Multiple-unit dwelling means residential use of attached dwelling units.
- b) The occupancy of the Multiple-unit dwelling shall be limited to residential rental tenure.
- c) Multiple-unit dwelling accessory uses are limited to one common kitchen, one common laundry room and one common lounge room.
- d) Dwelling unit means the use of a portion of a Multiple-unit dwelling by a single household that is limited to residential rental tenure.
- e) The Multiple-unit dwelling use is restricted to a maximum of five (5) Dwelling units.
- f) No Dwelling unit may exceed a maximum floor area of 93 m² (1000 ft²).
- g) The maximum occupancy of any Dwelling unit is eight (8) people.
- h) All Dwelling units must be connected to a domestic water supply.
- i) The holder of this Permit is responsible to ensure the temporary use permitted by issuance of this permit complies with the *Water Sustainability Act*.
- j) All Dwelling units must be connected to sewage disposal facilities complying with the *Public Health Act*.
- k) Multiple-unit dwelling uses must be screened from adjacent residential uses complying with Section 15.1 of the Galiano Island Land Use Bylaw No. 127.
- l) The temporary use permitted by this permit shall cease on the date of the expiry of this permit unless the permit is renewed.
- m) The holder of this Permit, will be held accountable for any violation of the conditions of this Permit. The Islands Trust Bylaw Investigations Officer may enter the property between the hours of 9:00 am and 5:00 pm on any day without prior consultation with the holder of the Permit for the purpose of investigating a complaint.

4. This permit is valid for three (3) years from date of issuance of the permit and upon expiry of the permit; the owner of the site shall discontinue the temporary use to the satisfaction of the Islands Trust.
5. This permit is not a building permit and does not remove any obligation on the part of the permittee to comply with all other requirements of "Galiano Island Land Use Bylaw No. 127, 1999" and to obtain other approvals necessary for completion of the proposed development, including approvals from the Capital Regional District, Island Health, Ministry of Environment and Climate Change Strategy, and Ministry of Transportation and Infrastructure.

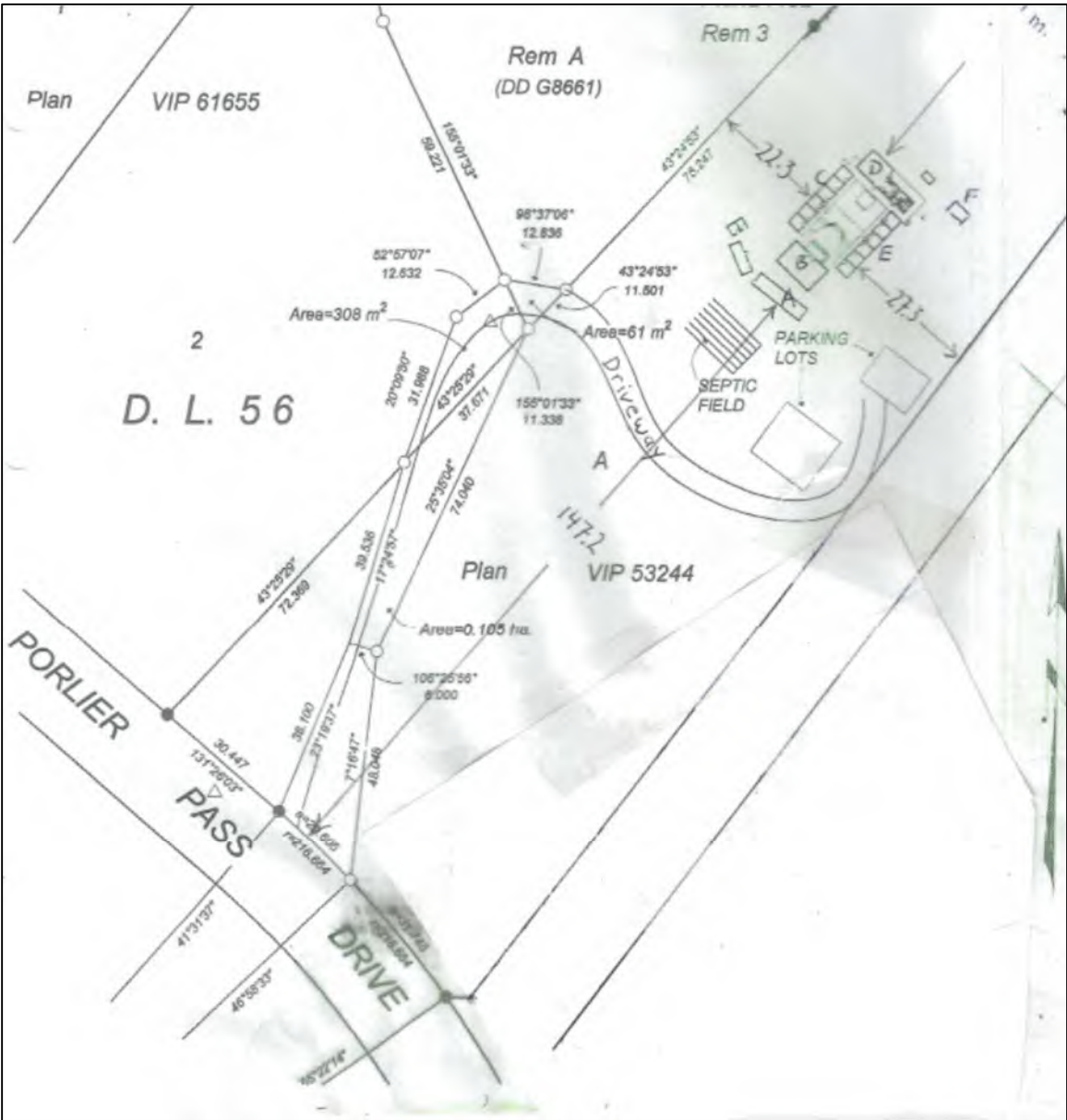
AUTHORIZING RESOLUTION PASSED BY THE GALIANO ISLAND LOCAL TRUST COMMITTEE THIS XXTH DAY OF XXX, 2025.

Deputy Secretary, Islands Trust

Date Issued

GALIANO ISLAND LOCAL TRUST COMMITTEE
PLTUP20250108

SCHEDULE 'A' - SITE PLAN



File No.: GL-DVP-2023.6 (Poppleton)
GL-DP-2024.2 & GL-BP-
2023.7

DATE OF MEETING: February 11, 2025
TO: Galiano Island Local Trust Committee
FROM: Phil Testemale, Planner 2
Southern Team
COPY: Kim Stockdill, Island Planner
SUBJECT: Development Variance Permit Application
Applicant: John Poppleton and April Gilbert
Location: 2990 Georgeson Bay Road

RECOMMENDATION

1. That the Galiano Island Local Trust Committee approve issuance of GL-DVP-2023.6 (Poppleton)

REPORT SUMMARY

The purpose of the report is to consider a Development Variance Permit (DVP) for the siting of a proposed structure: a replacement septic disposal absorption field.

A concurrent Development (DP) application (GL-DP-2024.2) has been made. That application is delegated and staff will issue the permit pending the LTC's approval of the DVP.

RATIONALE FOR VARIANCE

The applicant's rationale for the variances is to facilitate the construction of a required replacement septic sewer system in compliance with the Land Use Bylaw (LUB).

BACKGROUND

The application is the result of the Preliminary Plan Review process for the renovation of the dwelling on the property which was originally constructed in the late 1960's. The existing system, and particularly the absorption field, has failed and needs to be replaced.

The specific variances to the Galiano Land Use Bylaw No. 127, 1999 (LUB) are shown in Figure 2 and are listed as follows:

- a) Section 2.14 which states that buildings and structures must be sited at least 7.5 metres from the natural boundary of the sea (NBS) is varied to permit the siting of a sewage absorption field within 5.8 metres of the natural boundary of the sea.

- b) Section 2.15 which states that sewage absorption fields must be sited at least 30 metres from the natural boundary of the sea, any lake, swamp, or other natural watercourse and any well is varied to permit the sewage absorption field within 5.8 metres of the natural boundary of the sea and 19.0 metres from a well.
- c) Subsection 14.5 which states that parking spaces may not be located in a setback area required in respect of a front lot line is varied to permit two (2) parking spaces as close as 0.0 metres from the front lot line.

The extent of proposed development with respect to the variance would consist of a septic tank, a floating outlet tank and an 'Eljen In-Mound' Type 2¹ combined treatment and dispersal system ('drain field'). The field will be 'built-up' and the tanks sited above ground with no excavation or ground alteration required. The stairs and landing leading from the front deck will be removed for placing the field (Attachment 2.1).

The system was designed by Brent Dennis, P.Eng. of Cleartech Consulting Ltd. and his filing of the licence with Island Health is Attachment 4. Given the slope hazards on the property and the reporting requirements of the DPA, the design was made in consultation with Michael Payne, P.Eng. of Coast Geotechnical Ltd. The submitted geotechnical assessment report is Attachment 5.

The siting of the drain field is the only component of the system that requires variance and its location was selected based on the size, topography, existing development and geotechnical constraints of the property. Within those constraints and the need to maximize the distance to the property's groundwater well and the NBS, the proposed location is the only feasible one on the property.

The property is small in size (0.16 ha / 0.39 ac) waterfront lot located on Georgeson Bay in Active Pass. It has been previously disturbed by historic land use. It is composed of landscaped lawn and gardens, with a 2 -5 m strip of native trees, shrubs and vegetation along the shoreline top of bank (Attachment 2.2). Existing development includes a dwelling (under renovation – GL-BP-2023.7), a garage, pumphouse, shed and decks and stairs (Attachment 2.1). The siting of the garage and decks stairs have been verified as pre-dating the inception of zoning and therefore have legal, non-conforming status.

The applicant has provided a letter explaining the rationale for the variances (Attachment 3).

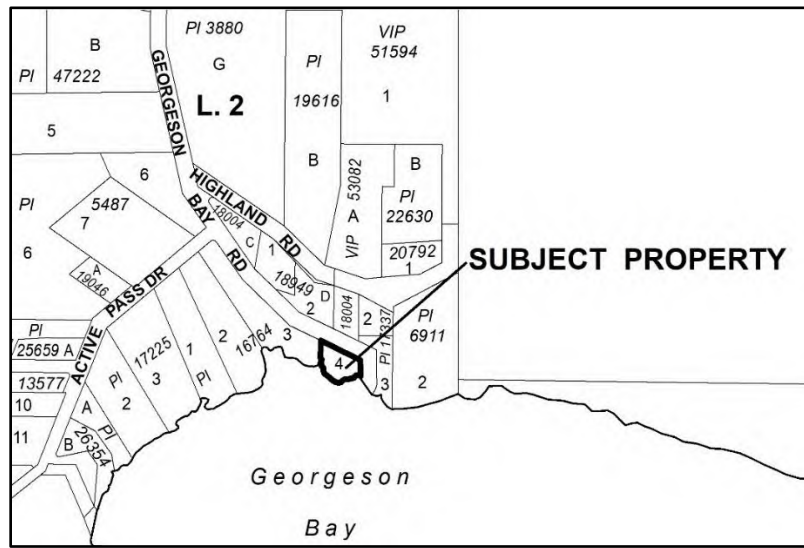
If the application is denied, the owners could apply to the Board of Variance.

A copy of the Notice and proposed permit GL-DVP-2023.6 (Poppleton) are Attachments 6 & 7.

Staff visited the property in April 2025 Images in Attachment 2.2

¹ With a Type 2 septic system, treatment takes place within a septic tank plus an additional aerobic treatment unit, typically within a small-scale on-site mechanical biological packaged treatment plant, before being discharged to a drain field.

Figure 1 – Subject Property



ANALYSIS

Official Community Plan:

The property is designated **Small Lot Residential – SLR** in the Galiano Island Official Community Plan No. 108, 1995 (OCP – Attachment 1).

Development Permit Area (DPA) 2 – Shoreline; DPA 5 – Sensitive Ecosystems and DPA 7 – Steep Slope Moderate and High are designated on the subject property. As above, a delegated DP application will be considered for issuance pending the outcome of the variance.

Land Use Bylaw:

The property is zoned as **Small Lot Residential Zone** in the LUB (Attachment 1). The variances will allow the development in conformance with the LUB.

Issues and Opportunities

Intent of Regulations being varied

The overall purpose of setback from the natural boundary of the sea are to:

- Protection of the natural environment, and more specifically the sensitive shoreline.
- Align LUB regulations with those for the Ministry of Health and Island Health.
- Limiting the visual impact of development on adjacent properties and the public realm.
- Establishing a consistent development pattern within a local area.
- Protection of views, scenic areas and distinctive features contributing to the overall visual quality and scenic value of the Trust Area.
- Maintaining a rural character.

- Establishing certainty with respect to development by maintaining consistent siting regulations.

The overall purpose of distance regulations between a well and a septic field are:

- Protection of groundwater resources from potential contamination by wastewater effluent.

The overall purpose of setback regulations for parking are:

- Limiting the visual impact of development on adjacent properties and the public realm.
- Establishing a consistent development pattern within a local area.
- Protection of views, scenic areas and distinctive features contributing to the overall visual quality and scenic value of the Trust Area.
- Maintaining a rural character.
- Establishing certainty with respect to development by maintaining consistent siting regulations.

Figure 2 – Site Plan

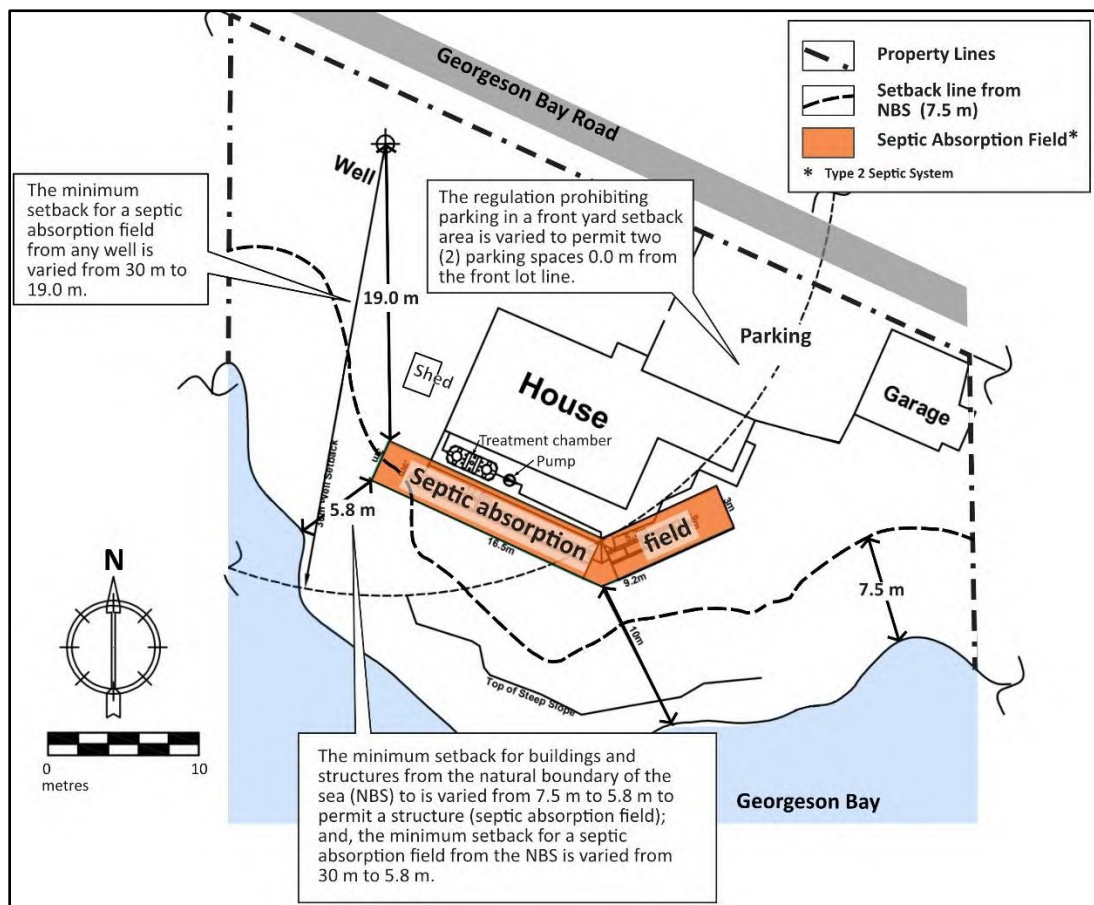
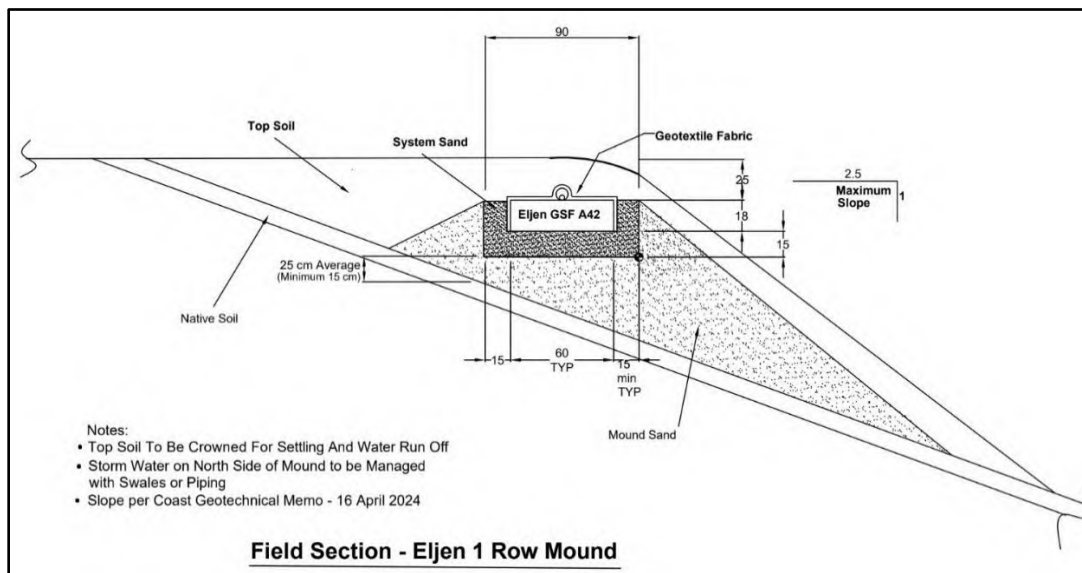


Figure 3 – Section of Mound



Potential impacts of granting to variance

Granting a variance can potentially create an expectation in the community with regard to future applications. As variances consider the unique circumstances pertaining to a particular situation that may warrant the relaxation of a specific zoning regulation each application should be evaluated on its own merits.

Impact on Neighbouring Properties and the Environment

Given the location of the proposed development and that it is a low-lying earthen mound that will be top dressed and planted with grass, there should be no visual impacts on neighbouring properties or the public realm.

As above, the septic system has been designed by professional engineers in order to maximize the distance to the natural boundary of the sea and the well on the property. The Biologist's report submitted for the DP confirms that the system will not alter site hydrology significantly, cause erosion or sedimentation nor contribute to any eutrophication on the marine environment. Further, conditions for construction management and monitoring in the proposed DP will safeguard the natural environment.

Consultation

DVP Notices were circulated to surrounding property owners and residents in November in preparation for the December 10th LTC Regular Meeting. The Canada Post Strike delayed delivery, therefore the application was rescheduled to the current meeting.

At the time of writing, staff have received no submissions in response to notification. Staff did receive one phone response to that expressed no concerns to the proposed variances.

Any submissions received prior to the LTC Meeting will be forwarded to the LTC and reported at the meeting.

First Nations

The Islands Trust reviews all applications to ensure the preservation and protection of cultural heritage, archaeological sites, and ancestral places. The proposed development will not require any land alteration or soil disturbance. Further, the Provincial Archaeology Branch has reviewed and approved the works to proceed without an Archaeological Inspection Permit provided no soils are disturbed. As reviewed, the application is consistent with respect to LTC Standing Resolutions on reconciliation. Notwithstanding, to provide applicants with awareness regarding unknown archaeological areas, staff forwarded the Islands Trust Chance Find Protocol and the provincial Archaeological Branch guidelines on Heritage Act directly to the applicants with the initial application.

Rationale for Recommendation

Staff is recommending that the resolution on page 1 be supported for the following reasons:

- The rationale for the variances is reasonable.
- Impacts on neighbouring properties from approval of the variances would be not be significant.
- Minimizing impacts on the natural environment is the primary objective with the siting.
- The proposed variances do not challenge the intent of the regulations.
- At the time of writing, there has been no response to the notification.

ALTERNATIVES

The LTC may consider the following alternatives to the staff recommendation:

1. Request further information

The LTC may request further information prior to making a decision. If selecting this alternative, the LTC should describe the specific information needed and the rationale for this request. This should be debated in a regular meeting.

Recommended wording for the resolution is as follows:

That the Galiano Island Local Trust Committee request that the applicant submit to the Islands Trust_____.

2. Amend and Approve

The LTC may opt to amend the permit by adding conditions or denying specific variances. Recommended wording for the resolution is as follows:

That the Galiano Island Local Trust Committee amend application GL-DVP-2023.6 (Poppleton) as follows: _____; and,

That the Galiano Island Local Trust Committee approve application GL-DVP-2023.6 (Poppleton) as amended.

3. Deny the application

The LTC may deny the application.

Recommended wording for the resolution is as follows:

That the Galiano Island Local Trust Committee deny application GL-DVP-2023.6 (Poppleton).

Submitted By:	Phil Testemale, Planner 2	January 8, 2025
Concurrence:	Robert Kojima, Regional Planning Manager	January 13, 2025

ATTACHMENTS

1. Site Context
2. Plans and Photographs
3. Applicant Rationale
4. Island Health Filing
5. Geotechnical Assessment
6. Notice
7. Draft Development Variance Permit

ATTACHMENT 1 – SITE CONTEXT

LOCATION

Legal Description	Lot 4, District Lot 2, Galiano Island, Cowichan District, Plan 16764
PID	PID: 004-075-714
Civic Address	2990 Georgeson Bay Road
Lot Size	0.16 ha (0.39 ac)

LAND USE

Current Land Use	Residential (SLR)
Surrounding Land Use	Residential

HISTORICAL ACTIVITY

File No.	Purpose
GL-BP-2023.7	Renovation of existing dwelling.

POLICY/REGULATORY

Official Community Plan Designations	The property is designated SLR – Small Lot Residential in the Galiano Island Official Community Plan No. 107 Development Permit Areas 2 – Shoreline, 5 – Sensitive Ecosystems and 7 – Steep Slopes (Medium and High) designated on the subject property  <i>DPA 2 and 5 Mapping</i> □ 2990 Georgeson Bay Rd □ DPA 2 - Shoreline □ DPA 5 - Sensitive Ecosystems
--------------------------------------	---

	 Steep Slope - High Hazard Steep Slope - Moderate Hazard 2990 Georgeson Bay Rd <i>DPA 7 Mapping</i>
Land Use Bylaw	The property is zoned as Small Lot Residential (SLR) in the Galiano Island Land Use Bylaw No.  2990 Georgeson Bay Rd Land Use Bylaw <i>Ortho/Zoning Map</i>

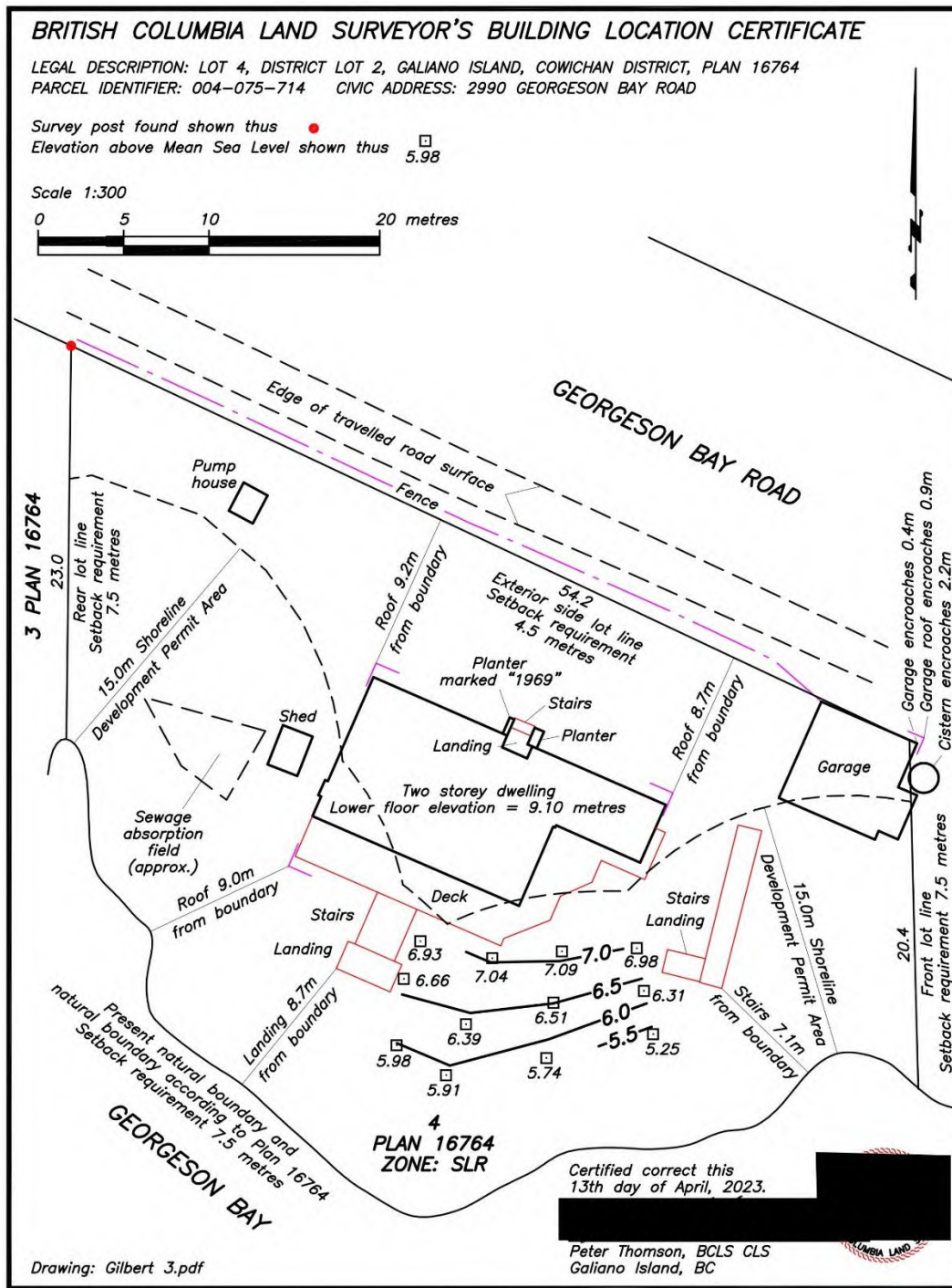
Other Regulations	N/A
Covenants	N/A
Bylaw Enforcement	N/A

SITE INFLUENCES

Islands Trust Conservancy	The application has no considerations for the Islands Trust Conservancy
Regional Conservation Strategy	This application has no considerations for the Regional Conservation Plan.
Species at Risk	None
Sensitive Ecosystems	 <i>Sensitive Ecosystem Mapping</i>
Hazard Areas	 <i>2 m Contours and Steep Slope Hazard Mapping</i>
Archaeological Sites	Archaeological site on property (See report under 'First Nations')
Climate Change Adaptation and Mitigation	GHG emission changes are linked to allowable density on the property and will not change with approval of the DVP.

ATTACHMENT 2 – PLANS & PHOTOGRAPHS

2.1 SURVEY PLAN



2.2 PHOTOGRAPHS



EXISTING PUMPHOUSE, LOOKING WEST



EXISTING SEPTIC FIELD, LOOKING WEST



EXISTING SEPTIC FIELD, LOOKING SOUTH



DECK AND APPROXIMATE LOCATION OF NEW ABSORPTION FIELD, LOOKING WEST



DECK AND APPROXIMATE LOCATION OF NEW ABSORPTION FIELD, LOOKING NORTH-EAST



EXISTING STAIRS AND LANDING, AND APPROXIMATE LOCATION OF NEW ABSORPTION FIELD, LOOKING EAST



APPROXIMATE LOCATION OF NEW ABSORPTION FIELD, LOOKING SOUTH



APPROXIMATE LOCATION OF NEW ABSORPTION FIELD, LOOKING WEST



PARKING AREA, LOOKING NORTH-WEST



PARKING AREA, LOOKING SOUTH-WEST

Land Use Application
Development Variance Permit
2990 Georgeson Bay Rd, Galiano Island, BC V0N 1P0

Purpose of Application

The homeowner wishes to install a new septic system to replace a septic system that was built in 1967. This DVP application is submitted because the only location available on the property for a new septic system, according to Brent Dennis of BWD Engineering Inc., is within the required 7.5 metre setback for a structure from the natural boundary of the sea (Section 2.14 Land Use Bylaw 127) and within the required 30 metre setback for sewage absorption fields from the natural boundary of the sea (Section 2.15 Land Use Bylaw 127).

See the attached Record of Sewerage System issued by Vancouver Island Health that includes a site plan prepared by Brent Dennis of BWD Engineering Inc.



16 September 2024

Vancouver Island Health Authority
#201 – 771 Vernon Avenue
Victoria, BC V8X 5A7

via email: gateway_office@viha.ca

RE: Amendment - Record of Sewerage System GV23/442
Civic Address: 2990 Georgeson Bay Road, Galiano Island, BC
PID: 004-075-714

Dear Sir / Madam:

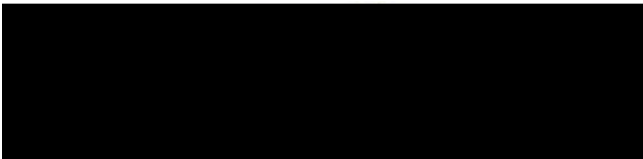
Please find enclosed submission for Amendment to Record of Sewerage System GV23/442 for the above noted property.

Changes include:

- Reducing Maximum Slope on mound to 2.5H:1V to meet Geotech requirements.

If you have any questions, please contact me by email or at the number below.

Sincerely,
BWD Engineering Inc.



Brent Dennis, P. Eng.
Cell: 604.789.2204

RECORD OF SEWERAGE SYSTEM				FILING # (OFFICE USE ONLY):	
1. <u>PROPERTY INFORMATION</u> 	☐ NEW CONSTRUCTION	☐ ALTERATION	☒ REPAIR	☒ AMENDMENT – ORIGINAL FILING #: GV23/422	
	TAX ASSESSMENT ROLL #: 01-764-02161.115			PID #: 004-075-714	
	LEGAL DESCRIPTION (PLAN, LOT, DISTRICT LOT, BLOCK NUMBERS): Lot 4, DL 2, Galiano Island, Cowichan District, Plan 16764				
	STREET (CIVIC) ADDRESS OR GENERAL LOCATION: 2990 Georgeson Bay Road			CITY: Galiano Island	
2. <u>OWNER INFORMATION</u>	NAME OF LEGAL OWNER: John Poppleton / April Gilbert			MAILING ADDRESS: 2990 Georgeson Bay Road	
	PHONE: 250-241-1011	CITY: Galiano Island		PROV: BC	POSTAL CODE: V0I 1P0
3. <u>AUTHORIZED PERSON INFORMATION</u>	NAME OF AUTHORIZED PERSON: Brent Dennis, P. Eng.		REGISTRATION #: 17359	MAILING ADDRESS: 15822 - 106A Ave	
	PHONE: 604-789-2204	EMAIL: brent.dennis@bwdengineering.com		CITY: Surrey	PROV: BC
4. <u>STRUCTURE INFORMATION</u>	SEWERAGE SYSTEM WILL SERVE: ☒ SINGLE FAMILY DWELLING ☐ OTHER STRUCTURE (SPECIFY) ☐ OTHER DWELLING (SPECIFY)				
	THE DESIGN DAILY DOMESTIC SEWAGE FLOW IS (CHECK ONE): ☒ LESS THAN OR EQUAL TO 9 100 LITRES ☐ MORE THAN 9 100 LITRES BUT LESS THAN 22 700 LITRES				
5. <u>SITE INFORMATION</u>	DEPTH OF NATIVE SOIL TO SEASONAL HIGH WATER TABLE OR RESTRICTIVE LAYER (cm): 45		INFORMATION RESPECTING THE TYPE, DEPTH AND POROSITY OF THE SOIL IS ATTACHED ☒ YES ☐ NO		
	GPS LOCATION OF SYSTEM (DECIMAL DEGREES) LATITUDE: <u>48.867040</u> LONGITUDE: <u>-123.345916</u>				
	HORIZONTAL ACCURACY (m) <u>10</u> ☒ RECREATIONAL GPS ☐ DIFFERENTIAL GPS				
6. <u>DRINKING WATER PROTECTION</u>	WILL THE SEWERAGE SYSTEM BE LOCATED LESS THAN 30m FROM A WELL? ☒ YES ☐ NO IF YES, ATTACH A PROFESSIONAL'S REPORT AND SPECIFY THE INTENDED DISTANCE <u>20</u> (m) DISTANCE OF PROPOSED SEWERAGE SYSTEM TO THE CLOSEST SURFACE WATER <u>>30</u> (m)				
7. <u>SYSTEM INFORMATION</u>	SEWERAGE TREATMENT METHOD: ☐ TYPE 1 ☒ TYPE 2 ☐ TYPE 3				
8. <u>LEGAL OR REGULATORY CONSIDERATIONS</u>	☒ CONSTRUCTION OF THE PROPOSED SEWERAGE SYSTEM WILL NOT CONFLICT WITH LEGAL INSTRUMENTS REGISTERED ON THE PROPERTY.		IS THIS FILING SUBMITTED AS THE RESULT OF AN ORDER FROM THE HEALTH AUTHORITY? ☐ YES (ATTACH A COPY OF THE ORDER) ☒ NO		
9. <u>PLOT PLAN AND SPECIFICATIONS</u>	☒ PLOT PLAN (TO SCALE) AND SPECIFICATIONS ARE ATTACHED ☒ THE PLANS AND SPECIFICATIONS ARE CONSISTENT WITH STANDARD PRACTICE SOURCE OF STANDARD PRACTICE: ☒ MINISTRY OF HEALTH STANDARD PRACTICE MANUAL ☐ OTHER				
10. <u>AUTHORIZED PERSON'S SIGNATURE</u>	SIGNATURE: 		OFFICE USE ONLY		
	DATE: 		FILING ACCEPTED DATE: RECEIPT NUMBER:		

ONSITE WASTEWATER SYSTEM CONSTRUCTION PLAN & SPECIFICATIONS

CIVIC ADDRESS: 2990 Georgeson Bay Road, Galiano Island, BC
PARCEL IDENTIFIER: 004-075-714
LEGAL DESCRIPTION: Lot 4, DL 2, Galiano Island, Cowichan District,
 Plan 16764
BC ASSESSMENT: 01-764-02161.115

CONTENTS	
SHEET #	TITLE
1	COVER
2	SYSTEM DESCRIPTION & CONSTRUCTION NOTES
3	SITE & SYSTEM DESIGN
4	DESIGN DETAILS

Title #	
ASSESS	
  2024-09-11	
1	COVER
2	SYSTEM DESCRIPTION & CONSTRUCTION NOTES
3	SITE & SYSTEM DESIGN
4	DESIGN DETAILS
 Brent Dennis, P.Eng. Brent.Dennis@BWDengineering.com Mobile: 604-789-2254 1002-1164 Ave. Surrey BC V3W 1C7 www.BWDengineering.com	
Permit to Practice: 1002193 John Poppleton & April Gilbert	
2990 Georgeson Bay Road, Galiano Island	
Cover Page	
BWD 23103	JD 16/11/23 23103-001
1 of 4 0	

SYSTEM DESCRIPTION AND FUNCTION

The new wastewater system will service an existing 3-bedroom residence. All existing septic systems are abandoned. No existing equipment is reused. There are no current or future expansion plans.

All sewerage from the building exits through a single line from the south side of the building above grade by gravity directly to the septic tank located at-grade under the deck. The septic tank is two-chamber with an outlet filter and high-level alarm. The effluent then flows by gravity to the floating outlet tank, also mounted at-grade below the deck. The Flout delivers effluent on demand to the combined treatment and dispersal field. The septic and floating outlet tank are vented through the building plumbing.

Secondary treatment is provided by an Eljen In-Mound, Type 2 Combined Treatment and Dispersal System. This system incorporates a single row of Eljen GSF A42 modules. The Eljen GSF further moderates the dosing and ensures that the effluent is properly treated prior to being released to the environment. The Eljen GSF also moderates the rate of infiltration further protecting the native soils. The field is centre fed, the distal lines in the field are equipped with a shut off valve at the proximal end. There is a clean out at the distal ends of the lines as well. Also, the field has two combination observation / sampling ports per the site plan.

PROJECT SPECIFIC NOTES

- 1. This system is NOT designed for backwash from a water softener or water filter.
- 2. This system is NOT designed for use of a garburator.
- 3. This system is NOT designed for floor drains, roof down spouts or any other water source not specifically noted.
- 4. This system is NOT designed for condensate from a high efficiency furnace.
- 5. This system IS designed for residential wastewater only.

SYSTEM PARAMETERS

DDF	1300 L/day	
HLR	Max: 50 L/m ² /day	Actual: 39 L/m ² /day
LLR	Max: 60 L/m ² /day	Actual: 65 L/m ² /day *
VS	Min: 60 cm	Actual: 60 cm
Field Type	At-Grade Bed	
Treatment System	Type 2 – Combined Treatment and Dispersal System	
Distribution	Demand Dose	

* Minor Departure Rational: Use of Eljen GSF with significant pathogen reduction and greatly reduced HLR.

EQUIPMENT SPECIFICATIONS

Septic Tank	Canwest RKS1000 LP c/w PL122 Filter and Reed Switch Working Volume: 4,540 L
Filter HL Alarm	Rhombus Tank Alert EZ
Floating Outlet Tank	Canwest RKT18 Floating Outlet Tank Dose Volume: 81 L / Dose (Maximum)
Secondary Treatment System	Eljen GSF – (14) A42 Modules c/w (2) Pan Lysimeters per Design and Pressure Main Vent (14 modules per row, 1 row)

EQUIPMENT NOTES:

- All supplier drawings must be reviewed for acceptance by the Engineer prior to final commitment.
- Equivalent substitutions must be approved by the Engineer in writing.
- All equipment manuals to be retained and forwarded to the Engineer.

CONSTRUCTION NOTES

1. Construction Management by Owner
2. Site Meetings / Inspections:
 - a) Project review (kick off) meeting on site is required prior to construction.
 - b) Final Inspection and commissioning are required prior to the system being put into service.
 - c) Further inspections, if required, will be determined at the kick-off meeting.

Note: Owner is responsible for scheduling site meetings and inspections.

3. All work to be completed by Galiano Septic Ltd. or an agreed ROWP Certified Installer approved by the Engineer in writing.
4. Any changes to the design must be approved by the Engineer in writing prior to installation.
5. Electrical **Notes:**
 - All electrical design is by others and must comply with BC Provincial Electrical Code.
 - Electrical Design to be reviewed by the Engineer prior to installation.
 - Junction Boxes are not to be located inside the tanks or below grade.
 - All Conduit to be sealed at both ends.
 - Reed Switch from Septic Tank Filter to be wired to a Tank Alert EZ panel.

- Alarm Panel and all JB's to have cover from direct weather.
 - Filter Reed Switch must have enough cable to be removed from the tank without disconnection of the cable.
6. All building plumbing by others.
 7. All septic plumbing to meet BC Plumbing Code and BC SPM-V3.
 8. The pump is located directly on the floor of the pump tank. There is no additional riser block used.
 9. Dispersal Field Notes:
 - a) Field construction to take place during dry weather only.
 - b) Organic Layer to be removed from basil area using round-up and hand raking prior to fill placement.
 - c) Basil Area to be fully scarified to remove smearing prior to system placement as required.
 - d) All fill and specified sand to meet Eljen 2022 Design and Installation Manual for BC and BC SPM-V3 specification for washed mound sand.
 - e) This field system does not require venting.
 - f) Observation ports extend to Basil Area (native soil) per BC SPM-V3. Two required, located per the site plan, and installed per BWD Engineering drawings.
 - g) Lysimeter Pans. Two required, located as noted on the site plan and installed per BWD Engineering drawings.
 - h) Finished Landscaping to direct surface water to drain away from field and must avoid pooling.
 - i) Distribution piping is centre fed c/w a floating outlet vent.
 10. All tanks to be located at grade under the deck and secured with anchor straps. Tanks are to be horded in, protected from UV light, and insulated. Final installation to be approved by the engineer.
 11. All piping is PVC. All pressure mains are 1½ -inch schedule 40, all gravity lines are 4-inch sewerage class.
 12. Pressure main to field to be placed on the existing surface and buried with landscaping soils.
 13. This design complies with and must be installed in accordance with the 2022 Eljen GSF Design and Installation Manual for BC and the BC SPM V3.
 14. Installer must follow project guidance on BWD Installer Information and Project Check List document provided under separate cover.
 15. Installer must complete and return BWD Installer's Letter of Certification, provided under separate cover.

Filing #:

LEGEND



-		DDMMYY
01	Issued for Amendment	DDMMYY
0	Issued for RSS Filing	28/1123

REV	DESCRIPTION:	DATE:
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Brent Dennis, P.Eng.
brent.dennis@BWDEngineering.com
Mobile: 604-789-2204
15822-106A Ave, Surrey BC V4N 1K7
www.BWDEngineering.com

Permit to Practice: 1002193

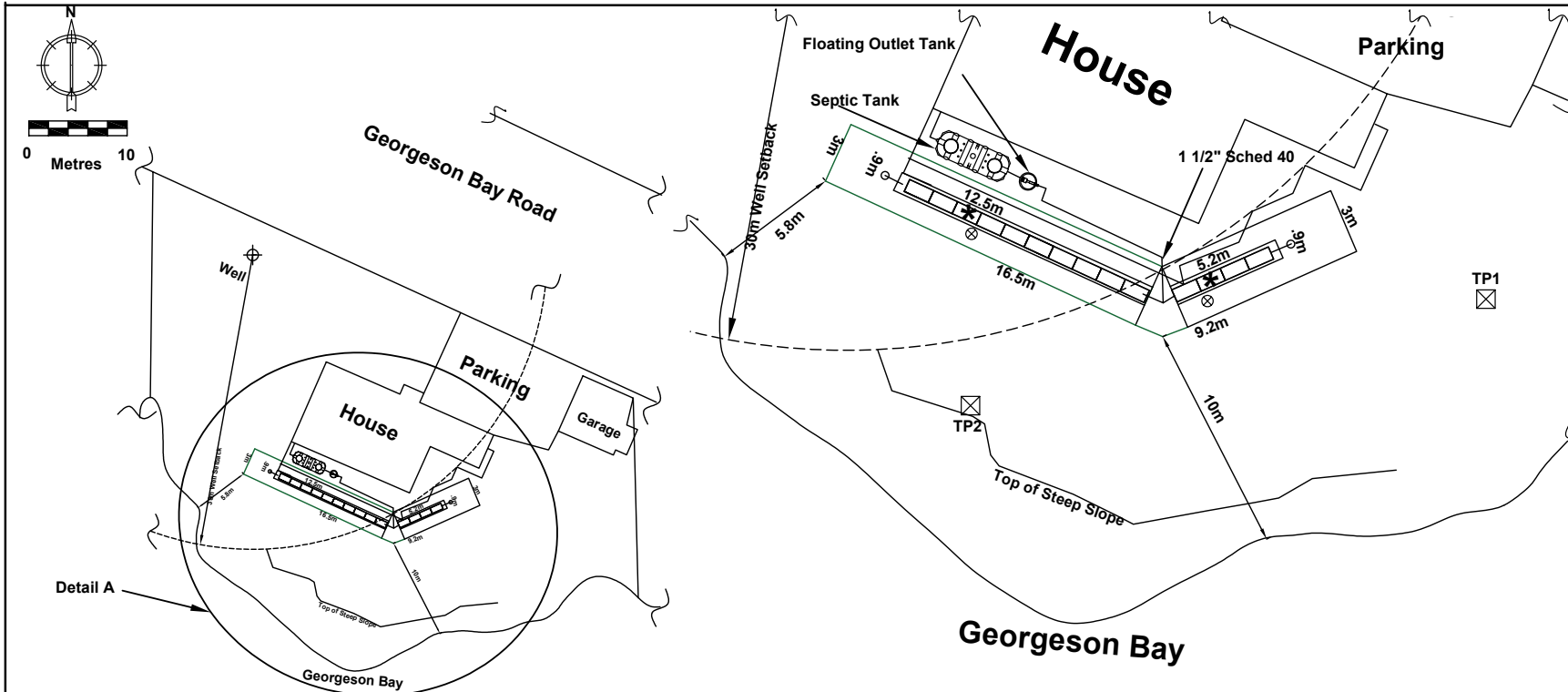
CLIENT:
John Poppleton & April Gilbert

OWNER:
John Poppleton & April Gilbert

PROJECT NAME:
2990 Georgeson Bay Road, Galiano Island

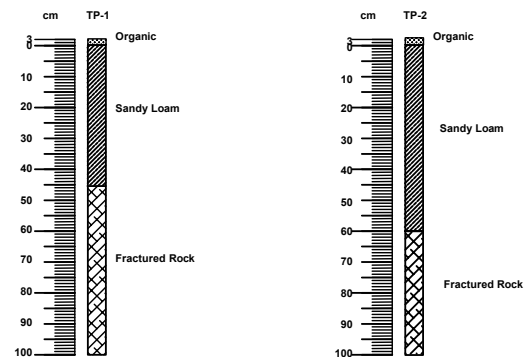
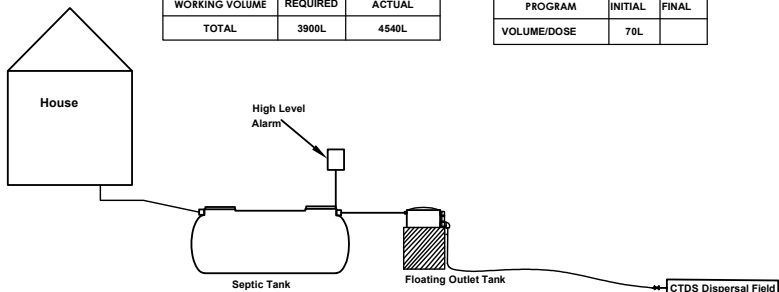
TITLE:
System Description & Construction Notes

DESIGN BY: BWD	DRAWN BY: JD	DATE (DDMMYY): 16/11/23	SHEET #: 2 of 4
PROJECT NO: 23103	DRAWING NO: 23103-001	REVISION: 01	



SEPTIC TANK		
WORKING VOLUME	REQUIRED	ACTUAL
TOTAL	3900L	4540L

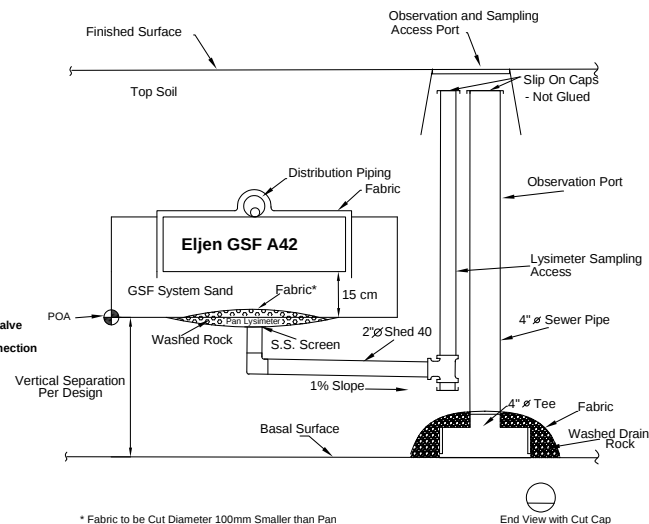
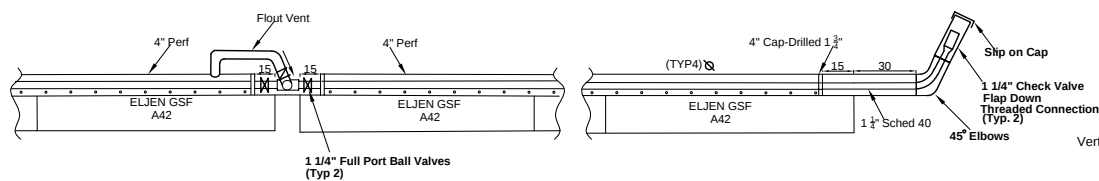
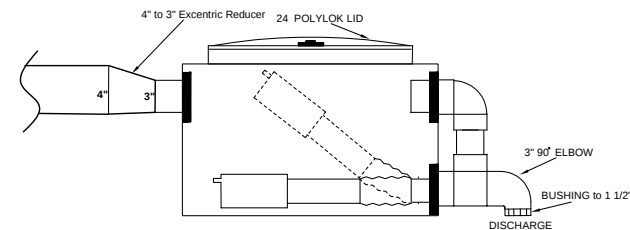
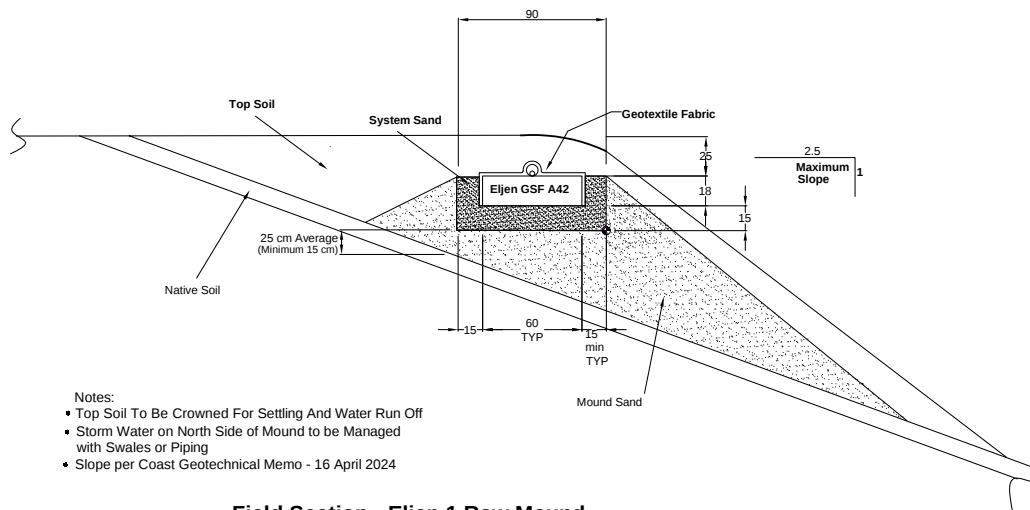
FLOATING OUTLET TANK		
PROGRAM	INITIAL	FINAL
VOLUME/DOSE	70L	



TEST PIT - SOIL LOGS

Average permeameter = 750 (fs) mm/day

Filing #:	
LEGEND	
☒ Test Hole	
☒ Observation Port	
☒ Well	
☒ Pan Lysimeter	
-	DDMMYY
01	Issued for Amendment
0	Issued for RSS Filing
REV:	DESCRIPTION:
	DATE:
BWD ENGINEERING Brent Dennis, P.Eng. brent.dennis@BWDEngineering.com Mobile: 604-789-2204 15822-106A Ave. Surrey BC V4N 1K7 www.BWDEngineering.com	
Permit to Practice: 1002193	
CLIENT: John Poppleton & April Gilbert	
OWNER: John Poppleton & April Gilbert	
PROJECT NAME: 2990 Georgeson Bay Road, Galiano Island	
TITLE: SITE & SYSTEM DESIGN	
DESIGN BY:	DATE (DDMMYY):
BWD	16/11/23
PROJECT NO:	REVISION:
23103	23103-001
	01



Filing #:		
LEGEND		
02	Issued for Amendment	DDMMYY
01	Issued for Amendment	110924
0	Issued for RSS Filing	281123
REV	DESCRIPTION:	DATE:
Permit to Practice: 1002193		
CLIENT: John Poppleton & April Gilbert		
OWNER: John Poppleton & April Gilbert		
PROJECT NAME: 2990 Georgeson Bay Road, Galiano Island		
TITLE: DESIGN DETAILS		
DESIGN BY:	DRAWN BY:	DATE (DDMMYY):
BWD	JD	16/11/23
PROJECT NO:	DRAWING NO:	SHEET #:
23103	23103-001	4 of 4
		REVISION:
		02

John Poppleton

Sent via email

October 3, 2024

Project No. 24-808

Attn: John Poppleton, April Gilbert

**Re: Geotechnical Assessment of Proposed Sewerage System
Located at 2990 Georgeson Bay Road, Galiano Island**

This memo report was revised to reflect design changes made by the septic designer as included in Septic System Drawings by Brent Dennis dated September 11, 2024.

1.0 INTRODUCTION

This report presents a geotechnical assessment for a new septic system located at 2990 Georgeson Bay Rd, Galiano Island. We understand this requirement is with respect to Development Permit Area No. 7 (DPA 7) of the Islands Trust Official Community Plan. In preparing this report were provided the following:

- *Septic System Drawings by Brent Dennis dated September 11, 2024*
- *Site Survey of Lot 4, District Lot 2, Galiano Island, Cowichan District, Plan 16764 by Peter Thomson, BCLS dated February 14, 2024*
- *Onsite Sewerage System at 2990 Georgeson Bay Rd on Galiano Island – Report Approving Setback Distances relative to the BC Regulation and Standards by Payne Engineering Geology dated February 22, 2024*

The proposed septic design comprises a new septic tank, dosing tank, and combined treatment and dispersal field. Our comments herein are limited to the septic field, as the tanks are proposed to be placed at grade and as such will not alter the land. The field is proposed to comprise an “in-mound” combined treatment and dispersal system. The mounds in which the proposed Eljin treatment modules will be placed involves placement of fill.

2.0 SITE OBSERVATIONS

A desktop study was completed to review available contour mapping, geotechnical reports, GIS information, geology mapping, historical aerial photos and water well logs. Coast Geotechnical visited the site on March 21, 2024. We observed the terrain and site features to be consistent with the background information we reviewed during the desktop study and the information included in the documents we were provided by the client. Test pits completed as part of the septic system design revealed 0.45 to 0.6 m of sandy loam underlain by fractured bedrock. The bedrock along the shore was exposed.

3.0 ASSESSMENT AND DISCUSSION

Figure 1 shows a section of the proposed system in the most recent version of the design we were provided.

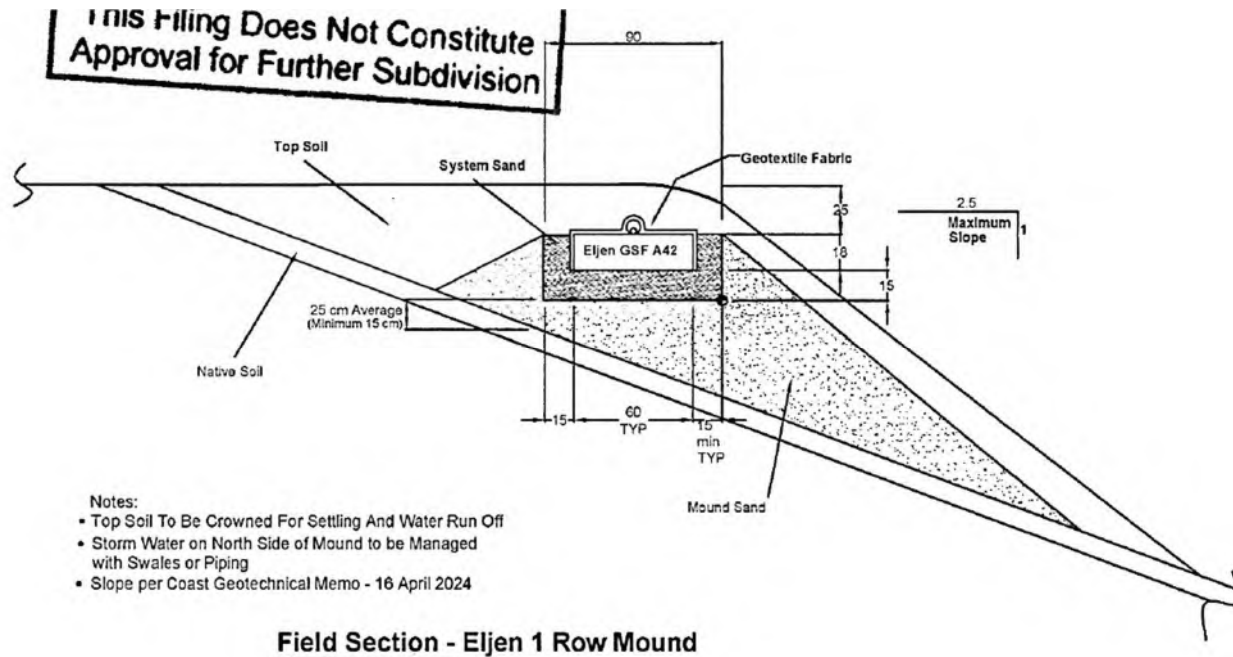


Figure 1. From *Septic System Drawings* (Dennis, 2024).

With reference to DPA7, the Island Trust requirement is that a probability of slope instability or geological failure in excess of 10% in 50 years is unacceptable for this type of hazard. The site location is particularly challenging given its proximity to the existing steep slope and space constraints.

Based on our initial assessment, a 2H:1V sand fill slope did not meet the requirements in terms of slope stability in a 10% in 50-year ground motion (seismic) event. However, the revised septic system design, as shown in 'Septic System Drawings by Brent Dennis, dated September 11, 2024' now incorporates a 2.5H:1V slope. This new configuration has been reassessed, and we confirm that it provides the necessary slope stability for the design seismic event, in compliance with the DPA7 requirements.

4.0 CLOSURE

Coast Geotechnical has completed this report based on our interpretation and evaluation of the findings of the current assessment, review of available information, and recognized engineering principles and practice. The materials in this report reflect Coast Geotechnical's best judgement based on the information that was available at the time of this report. If conditions other than those noted are discovered during subsequent phases of the development, Coast Geotechnical should be given the opportunity to review and revise the recommendations included in this report, as necessary.

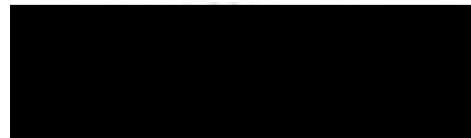
We are pleased to be of assistance to you on this project and we trust that our comments and recommendations are both helpful and sufficient for your current purposes. If you would like further details or require clarification of the above, please do not hesitate to call.

Prepared By:



Alyssa Kohlman, P.Eng.
Senior Geotechnical Engineer

Reviewed by:



Ben Schmidt, P.Eng.
Principal | Senior Geotechnical Engineer

For:

Coast Geotechnical Consulting Ltd.

ATTACHMENTS:

Site Photo – March 21, 2024 (AK)

Photo 1:

Overview of proposed septic area, looking down from existing landscape stairs.



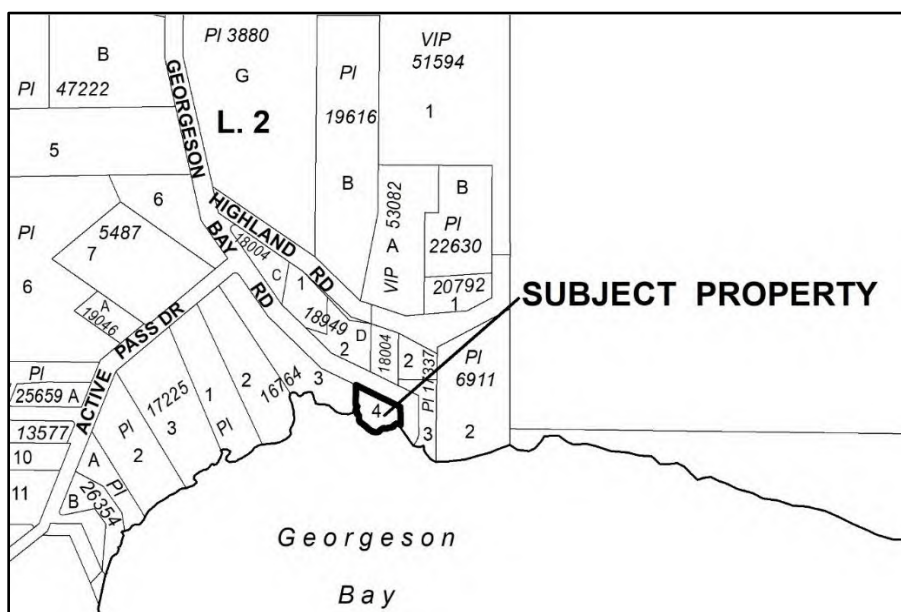


NOTICE
GL-DVP-2023.6
GALIANO ISLAND LOCAL TRUST COMMITTEE

NOTICE is hereby given pursuant to Section 499 of the *Local Government Act* that the Galiano Island Local Trust Committee will be considering a resolution allowing for the issuance of a Development Variance Permit. The proposed permit is attached and would vary the Galiano Island Land Use Bylaw No. 127, 1999 as follows:

- Variances to the setback from the natural boundary of the sea and wells for the construction of an engineered replacement septic absorption field, and for the location of existing parking.

The property is located at **2990 Georgeson Bay Road** and is legally described as Lot 4, District Lot 2, Galiano Island, Cowichan District, Plan 16764 (PID: 004-075-714). The general location of the subject property is shown on the following sketch:



A copy of the proposed permit may be inspected at the Islands Trust Office, 200 - 1627 Fort Street, Victoria, B.C. V8R 1H8 between the hours of 8:30 a.m. to 4:30 p.m. Monday to Friday inclusive, excluding statutory holidays, commencing **November 18, 2024** and continuing up to and including **November 29, 2024**.

For the convenience of the public only, and not to satisfy Section 499 (2) (c) of the *Local Government Act*, additional copies of the Proposed Permit may be inspected at various Notice Boards on Galiano Island, BC, commencing **November 18, 2024**.

Enquiries or comments should be directed to Phil Testemale, Planner 2 at (250) 405-5170, for Toll Free Access, request a transfer via Enquiry BC: In Vancouver 660-2421 and elsewhere in BC 1-800-663-7867; or by fax (250) 405-5155; or by email to: southinfo@islandstrust.bc.ca before 4:30 pm, **November 29, 2024**.

The Galiano Island Local Trust Committee may consider a resolution allowing for the issuance of the permit during the regular business meeting starting at **1:00 p.m., December 10, 2024**, at the **Galiano South Community Hall, 141 Sturdies Bay Road** on Galiano Island.

All applications are available for review by the public. Written comments made in response to this notice will also be available for public review.

Jas Chonk, Deputy Secretary



**GALIANO ISLAND LOCAL TRUST COMMITTEE
DEVELOPMENT VARIANCE PERMIT
GL-DVP-2023.6**

To: John Poppleton and April Gilbert

1. This Development Variance Permit applies to the lands described below:

Lot 4, District Lot 2, Galiano Island, Cowichan District, Plan 16764
(PID: 004-075-714)

2. Galiano Island Land Use Bylaw 127, 1999 is varied as follows:

- a) Section 2.14 which states that buildings and structures must be sited at least 7.5 metres from the natural boundary of the sea is varied to permit the siting of a sewage absorption field within 5.8 metres of the natural boundary of the sea.
- b) Section 2.15 which states that sewage absorption fields must be sited at least 30 metres from the natural boundary of the sea, any lake, swamp, or other natural watercourse and any well is varied to permit the sewage absorption field within 5.8 metres of the natural boundary of the sea and 19.0 metres from a well.
- c) Subsection 14.5 which states that parking spaces may not be located in a setback area required in respect of a front lot line is varied to permit two (2) parking spaces as close as 0.0 metres from the front lot line.

The development shall be consistent with Schedules 'A' and 'B', attached to and forming part of this permit.

3. This permit is not a building permit and does not remove any obligation on the part of the permittee to comply with all other requirements of "Galiano Island Land Use Bylaw 127, 1999" and to obtain other approvals necessary for completion of the proposed development, including approval of the Capital Regional District and Ministry of Transportation and Infrastructure.

AUTHORIZING RESOLUTION PASSED BY THE GALIANO ISLAND LOCAL TRUST COMMITTEE THIS ___TH DAY OF _____, 2024

Deputy Secretary, Islands Trust

Date of Issuance

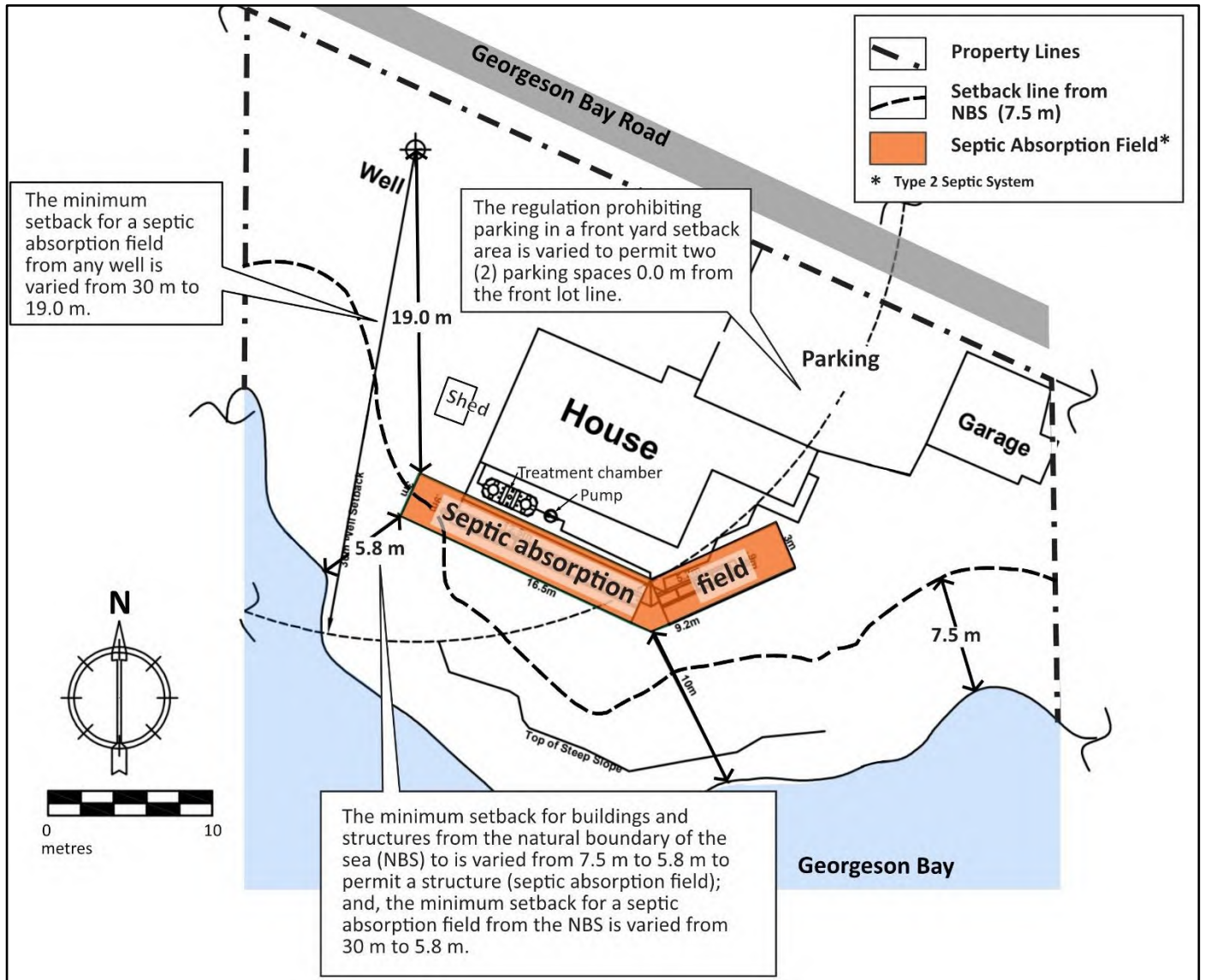
IF THE DEVELOPMENT DESCRIBED HEREIN IS NOT COMMENCED BY THE ___TH DAY OF _____, 2026 THIS PERMIT AUTOMATICALLY LAPSES.

GALIANO ISLAND LOCAL TRUST COMMITTEE

GL-DVP-2023.6

SCHEDULE 'A'

Site Plan

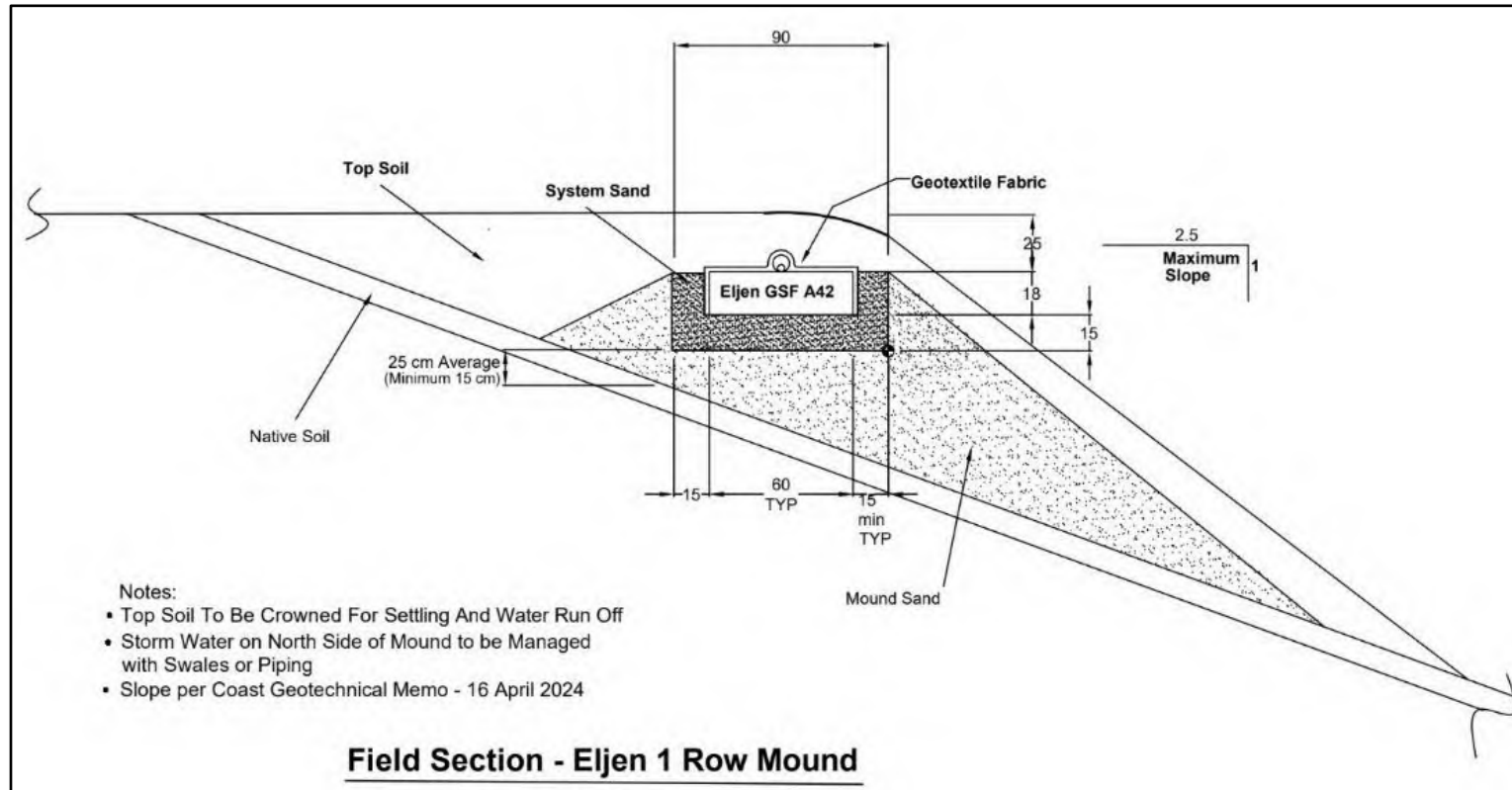


GALIANO ISLAND LOCAL TRUST COMMITTEE

GL-DVP-2023.6

SCHEDULE 'B'

Section Plan



File No.: GL-RZ-2023.1 (Rockafella)
Draft Bylaw No. 291

DATE OF MEETING: June 3, 2025

TO: Galiano Island Local Trust Committee

FROM: Kim Stockdill, Island Planner
Southern Team

COPY: Robert Kojima, Regional Planning Manager

SUBJECT: District Lot 14 Rezoning Application – Staff Report

Applicant: Tahirih Rockafella

Location: STRATA LOTS 1, 2, 3, 4, and 5, DISTRICT LOT 14 GALIANO ISLAND COWICHAN DISTRICT STRATA PLAN VIS4887 TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM 1

RECOMMENDATIONS

1. That the Galiano Island Local Trust Committee Bylaw No. 291, cited as “Galiano Island Land Use Bylaw No. 127, 1999, Amendment No. 1, 2023” be read a first time.
2. That the Galiano Island Local Trust Committee Bylaw No. 291, cited as “Galiano Island Land Use Bylaw No. 127, 1999, Amendment No. 1, 2023” be read a second time.
3. That the Galiano Island Local Trust Committee Bylaw No. 291, cited as “Galiano Island Land Use Bylaw No. 127, 1999, Amendment No. 1, 2023” be read a third time.
4. That the Galiano Island Local Trust Committee has reviewed the Islands Trust Policy Statement Directives Only Checklist and determined that Bylaw No. 291, cited as “Galiano Island Land Use Bylaw No. 127, 1999, Amendment No. 1, 2023” is not contrary to or at variance with the Islands Trust Policy Statement.
5. That the Galiano Island Local Trust Committee proposed Bylaw No. 291 be forwarded to the Secretary of the Islands Trust for Executive Committee for approval.
6. That the Galiano Island Local Trust Committee request staff to work with the Capital Regional District on drafting a Statutory Right of Way for emergency access.
7. That the Galiano Island Local Trust Committee accept a covenant under section 219 of the Land Title Act from the registered owner of Strata Lots 1, 2, 3, 4, and 5, District Lot 14, and designate the Chair of the Local Trust Committee to sign the covenant for the rezoning application GL-RZ-2023.1 prior to final adoption consideration.

REPORT SUMMARY

The purpose of this staff report is to present a draft Land Use Bylaw (LUB) amendment (draft Bylaw No. 291) to the Galiano Island Local Trust Committee (LTC) and to recommend that the bylaw be given first, second, and third readings.

BACKGROUND

The application as proposed would amend the Galiano Island Land Use Bylaw No. 127, 1999 (LUB) by rezoning the 85-hectare subject property from Forest 1 (F1) to two split-zones: 82.5 hectare to be a site-specific Forest 3 a (F3(a)) zone and 2.7 hectares to a site-specific Forest Industrial b (FI(b)) zone.

At the February 11, 2025 staff presented a preliminary staff report to the Galiano LTC. The LTC at the meeting passed the following resolution:

GL-2025-002

that, pursuant to Local Government Act s. 464(2), Galiano Island Local Trust Committee resolves to not hold a public hearing for Bylaw No. 291, cited as “Galiano Island Land Use Bylaw No. 127, 1999, Amendment No. 1, 2023” and that staff give notice of First Reading in accordance with s.467 of the *Local Government Act* after the receipt of a draft sustainable forestry covenant and a groundwater assessment covenant.

CARRIED

GL-2025-003

that Galiano Local Trust Committee request staff to schedule a Community Information Meeting for draft Bylaw No. 291 prior to First Reading.

CARRIED

ANALYSIS

Islands Trust Policy Statement

The proposal appears consistent with the following Islands Trust Policy Statement (ITPS) policies:

NO.	DIRECTIVE POLICY
3.1	Ecosystems
3.1.3	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the identification and protection of the environmentally sensitive areas and significant natural sites, features and landforms in their planning area.
3.2	Forest Ecosystems
3.2.2	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the protection of unfragmented forest ecosystems within their local planning areas from potentially adverse impacts of growth, development, and land-use.
4.2	Forests
4.2.6	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the need to protect the ecological integrity on a scale of forest stands and landscapes.
4.2.7	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the retention of large land holdings and parcel sizes for sustainable forestry use, and the location and construction of roads, and utility and communication corridors to minimize the fragmentation of forests.
4.4	Freshwater Resources
4.4.2	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address measures that ensure neither the density nor intensity of land use is increased in areas which are known to have a problem with the quality or quantity of the supply of freshwater, water quality is maintained, and existing, anticipated and seasonal demands for water are considered and allowed for.
5.2	Growth and Development

5.2.5	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address means for achieving efficient use of the land base without exceeding any density limits defined in their official community plans.
5.6	Cultural and Natural Heritage
5.6.3	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the preservation and protection of the heritage value and character of historic coastal settlement patterns and remains.
5.7	Economic Opportunities
5.7.2	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address economic opportunities that are compatible with conservation of resources and protection of community character.

The LTC should review, and if in agreement, endorse the checklist (Recommendation No. 4).

Draft Land Use Bylaw

To legalize the siting of the four existing dwellings, the majority of the property (82.5 hectares) will be rezoned to a site-specific Forest 3(a) zone (see attached draft Bylaw No. 291). The site-specific regulations for Forest 3(a) are as follows:

- Permitting four dwellings on the subject property
- Limiting the floor area of each dwelling to 93 m² (1000 ft²)
- Permitting one non-residential accessory building/structure per one dwelling

The 2.7 ha area portion of the property, currently used as a sawmill, will be rezoned to a site-specific Forest Industrial (b) zone. The FI(b) zone principal use will be forestry with all other ‘forest industrial’ uses to be accessory. The FI(b) zone will not permit an accessory dwelling unit.

An amendment to the Galiano Official Community Plan (OCP) is not required as the LUB amendments comply with the OCP.

Terms of Reference

The [terms of reference](#) (attached to the staff report dated October 10, 2023) includes specific guidance on application requirements that are consistent with the Galiano Island Development Approval Information Bylaw No. 148 (DAI Bylaw). The terms of reference requests the following information from the applicant:

- Developable areas site plan – completed
- Hydrogeologist Groundwater Assessment - completed
- Septic servicing information - completed
- [Sustainable forestry management covenant](#) – completed
- Statutory Right of Way (SRoW) for emergency access– in process
- Development Control covenant (includes recommendations from groundwater assessment) – in process

Groundwater Assessment

The applicant provided a [Groundwater Assessment](#) prepared by Hy-Geo Consulting. As part of the assessment a pumping test was conducted on well (WTN10347), which is connected to the existing well. Additionally, water was also tested from the well to ensure compliance with the Galiano Island Land Use Bylaw and the Guidelines for Canadian Drinking Water (Health Canada).

The assessment concludes that:

“Results of the recent pump testing carried out on Well WTN 103407 indicates that the well has a minimum potential long-term yield of potential yield 1.73 L/min (2491 L/day) or 0.45 USgpm while not drawing

groundwater levels below sea level. This yield exceeds the bylaw requirements of 2275 L/day. Well WTN 103407 therefore, is more than capable of meeting the minimum standards of 0.42 USgpm (1.58 L/min) or 2275 L/day for potable water supply under Galiano Island Land Use Bylaw No. 127, 1999.

Under normal domestic use of the well up to 2275 L/day the well would not have any detrimental effect on neighbouring wells or nearby surface water sources.

Laboratory results of the August 13, 2024 sampling, indicate the water quality of the subject well met or exceeded the Guidelines for Canadian Drinking Water-Summary Tables (Health Canada, 2022) for all parameters analyzed except for elevated levels of: Turbidity at 3.5 NTU, Total Aluminium at 104 µg/L, and Total Manganese at 30.2 µg/L. The elevated levels of these constituents do not pose a health hazard and are only of aesthetic concern. They may be present in particulate form and may be reduced by filtering.

No Total coliforms or E.Coli bacteria were detected in the recent sampling. These results indicate that the water meets the prescribed standards for potable water as set out in Schedule A of the Drinking Water Protection Regulation (Province of British Columbia, 2024d)."

As a condition of this rezoning application, the applicant is required to register a Section 219 covenant, which would restrict the connection of the two existing wells to any dwellings until a new Groundwater Assessment is completed. This assessment must:

- Confirm each well has sufficient available groundwater to provide the daily required volume of potable water to supply 2275 litres for each dwelling the well is servicing
- Confirm the quality of groundwater from each well meets or exceeds the Guidelines for Canadian Drinking Water Quality
- Include recommendations for mitigation measures, if applicable, to ensure long-term sustainable yield of the drilled wells and to reduce the risk of saltwater intrusion

Additionally, the Section 219 covenant will require a Groundwater Assessment for any future wells on the property and ensure the property owner complies with the *Water Sustainability Act* (e.g., licensing for non-domestic groundwater use).

Staff are continuing to work on the draft Section 219 covenant. A copy of the draft covenant will be provided to the LTC once the applicant has reviewed it and submitted comments. Registration of this covenant will be a condition that must be fulfilled prior to the LTC considering adoption of the bylaw.

Septic Servicing Information (provided by applicant)

The applicant provided the following statement regarding septic servicing:

"All potential residential sites were determined to have access to large areas suitable for standard gravity fed septic fields. Specific sites that could efficiently service the existing shed structures were identified and located by a certified septic installer after ground-based examination of soils and topography. Approved locations are shown on the [Site Plan](#)."

Sustainable forestry management covenant

The applicant has hired a R.P.Bio to complete a [baseline report](#) that identifies significant sensitive terrestrial and aquatic ecosystem features and provides a biological inventory. The baseline report is included as an appendix in the sustainable forestry covenant and serves as an objective information baseline for monitoring compliance.

The baseline report and draft covenant are available for public viewing on the Galiano Applications webpage. The Galiano Conservancy Association has agreed to act as the third-party covenant holder.

Staff will send the draft sustainable forestry management covenant to the Local Trust Committee's legal counsel for review.

Emergency Access SRow

Islands Trust staff discussed details of the potential emergency access with the South Galiano Fire Department Chief. The Chief stated support for the emergency access to connect the Sticks Allison neighbourhood to the Ellis Road neighbourhood. The exact route for the emergency access still needs to be determined based on recommendations from the applicant, BC Hydro, CRD and the fire department.

CONSULTATION

Statutory Requirements

In this case, consistent with *Local Government Act* s. 464 (2), the LTC has decided not to hold a public hearing. Notice to consider First Reading of draft Bylaw No. 291 was completed in accordance with statutory requirements (Notice included as Attachment 3).

Agencies

Staff referred Bylaw No. 291 to relevant agencies for comment. The following is a summary of responses received to date:

- Ministry of Forests – interests unaffected
- Ministry of Transportation & Transit – no objections
- Ministry of Municipal Affairs & Housing – interests unaffected
- BC Archaeology Branch – interests unaffected
- BC Hydro - BC Hydro holds a registered right-of-way (RoW) on the property. The applicant/property owner must comply with the terms of the RoW agreement. Staff will request a copy of the RoW from the applicant. BC Hydro will follow up with Islands Trust staff regarding the request for emergency access.
- Capital Regional District – The Galiano Fire Department has indicated support for the opportunity to recommend that the Galiano LTC require a statutory right-of-way (SRow) for emergency access through District Lot 14 as a condition for considering adoption of the bylaw.
- Mayne LTC – interests unaffected
- Salt Spring LTC – interests unaffected

Staff will continue to collaborate with the CRD, Fire Department, BC Hydro, and the applicant to determine the feasibility and location of the emergency access (see recommendation No. 6).

First Nations

Staff referred Bylaw No. 291 to First Nations for comment. The following is a summary of responses received to date:

- Ts'uubaa-asatx Nation - defers to any Nation(s) whose title and governing authorities are directly affected
- Tsawout Nation - Due to the nature and location of your project we will defer our comments to the local Nation, Penelekut Tribe
- Pauquachin First Nation - defers to the First Nation(s) whose traditional territory this project lies within or is affected by the project

Rationale for Recommendation

Based on the foregoing, the recommendations on page 1 is supported as:

- The proposal is reasonable and consistent with policies of the Galiano OCP and the Islands Trust Policy Statement

- No significant concerns have been raised through the bylaw referral process
- A public hearing is not required as the proposed bylaw amendment is consistent with the OCP
- The applicant has provided a draft copy of the sustainable forestry management covenant and baseline report
- Staff will continue to work on the Section 219 covenant and the emergency access route
- Consideration for bylaw adoption will proceed once the bylaw receives Executive Committee (EC) approval and both covenants are registered on the property title

ALTERNATIVES

The LTC may consider the following alternatives to the staff recommendation:

1. Request further information

The LTC may request further information prior to making a decision. If selecting this alternative, the LTC should describe the specific information needed and the rationale for this request.

Resolution:

That the Galiano Island Local Trust Committee request that the applicant for GL-RZ-2023.1 submit to the Islands Trust _____.

2. Deny the application

The LTC may deny the application.

Resolution:

That the Galiano Island Local Trust Committee proceed no further with application GL-RZ-2023.1 (Rockafella).

NEXT STEPS

- Staff to work with applicant to draft section 219 covenant
- Continue discussion with CRD and BC Hydro regarding an emergency access

Submitted By:	Kim Stockdill, Island Planner	May 26, 2025
Concurrence:	Robert Kojima, Regional Planning Manager	May 27, 2025

ATTACHMENTS

1. Draft LUB Bylaw No. 291
2. ITPS – Bylaw No. 291
3. Notice of First Reading

DRAFT

GALIANO ISLAND LOCAL TRUST COMMITTEE BYLAW NO. 291

A BYLAW TO AMEND GALIANO ISLAND LAND USE BYLAW NO. 127, 1999

The Galiano Island Local Trust Committee, being the Local Trust Committee having jurisdiction in respect of the Galiano Island Local Trust Area under the *Islands Trust Act*, enacts as follows:

1. Citation

This bylaw may be cited for all purposes as “Galiano Island Land Use Bylaw No. 127, 1999, Amendment No. 1, 2023”.

2. Galiano Island Local Trust Committee Bylaw No. 127, cited as “Galiano Island Land Use Bylaw No. 127, 1999,” is amended as follows:

2.1 By adding the following new Subsection under Section 7.3 ‘Forest 3 Zone’:

“Site-Specific Regulations

7.3.8 The following table denotes locations where, despite or in addition to the regulations in this Section, specific regulations apply. In the first column, the zone abbreviation and the lower-case letter refer to the notation on the zoning map. The second column describes the location where the specific regulations cited in column three apply:

Table 7.3			
	1	2	3
	Site-Specific Zone	Location Description	Site Specific Regulations
1	F3(a)	A Portion of District Lot 14, Galiano Island, Cowichan District	1) Despite Subsection 7.3.2, one single non-residential building or structure for timber production and harvesting uses with a floor area not exceeding 93 square metres is permitted per dwelling, and every such buildings or structure must be screened by a landscape screen not less than 9 metres in height and complying with Subsection 15.1.1 of this bylaw. 2) Despite Subsection 7.3.3, four dwellings accessory to timber production and harvesting uses with a maximum floor area of 93 square metres per dwelling.

”

2.2 By adding the following new Section 9.6(C):

“9.6(C) Forest Industrial Zone B – FI(B)

The intent of the FI(B) zone is to permit limited industrial uses within a prescribed area of a forest lot.

Permitted Uses

- 9.6(C).1 In the Forest Industrial FI(B) zone the following uses are permitted, subject to the regulations set out in this section and the general regulations set out in Parts 2 and 3, and all other uses are prohibited.
- 9.6(C).1.1 timber production and harvesting
 - 9.6(C).1.2 aggregate processing and storage
 - 9.6(C).1.3 storage and repair of forestry equipment and vehicles
 - 9.6(C).1.4 accessory sawmilling and planing of timber and the growing of seedlings in nurseries
 - 9.6(C).1.5 accessory contractors' workshops and yards
 - 9.6(C).1.6 accessory sale of building materials and supplies manufactured on the lot

Permitted Density

- 9.6(C).2 Lot coverage must not exceed 20% of any lot.

Permitted Height

- 9.6(C).3 No building or structure for a use permitted by this section may exceed 9 metres in height. Accessory buildings and structures must not exceed one storey and a height of 5 metres.

Minimum Setbacks

- 9.6(C).4 Buildings and structures must be sited
- 9.6(C).4.1 at least 7.5 metres from a front or rear lot line;
 - 9.6(C).4.2 at least 6 metres from each interior side lot line, except where the lot line is common to a lot in a commercial or industrial zone, in which case the required distance is 3 metres; and
 - 9.6(C).4.3 at least 4.5 metres from any exterior side lot line.

Minimum Lot Size

- 9.6(C).5 No lot having an area less than 2.7 hectares may be created by subdivision.

Screening

9.6(C).6 Lots on which light industrial uses are carried on must be screened by a landscape screen not less than 2 metres in height and complying with the requirements of Part 15 of this bylaw.”

2.3 Schedule “B” – Zoning Map, is amended by changing the zoning classification of a portion of District Lot 14, Galiano Island, Cowichan District from Forest 1 to Forest 3(a) and from Forest 1 to Forest Industrial (B), as shown on Plan No. 1 attached to and forming part of this bylaw, and by making such alterations to Schedule “B” to Bylaw No. 127 as are required to effect this change.

2.4 Schedule “D” is amended by inserting ‘Plan No. 2’ attached to and forming part of this bylaw as Schedule D as a new “Plan 6”.

3. SEVERABILITY

If any provision of this Bylaw is for any reason held to be invalid by a decision of any Court of competent jurisdiction, the invalid provision must be severed from the Bylaw and the decision that such provision is invalid must not affect the validity of the remaining provisions of the Bylaw.

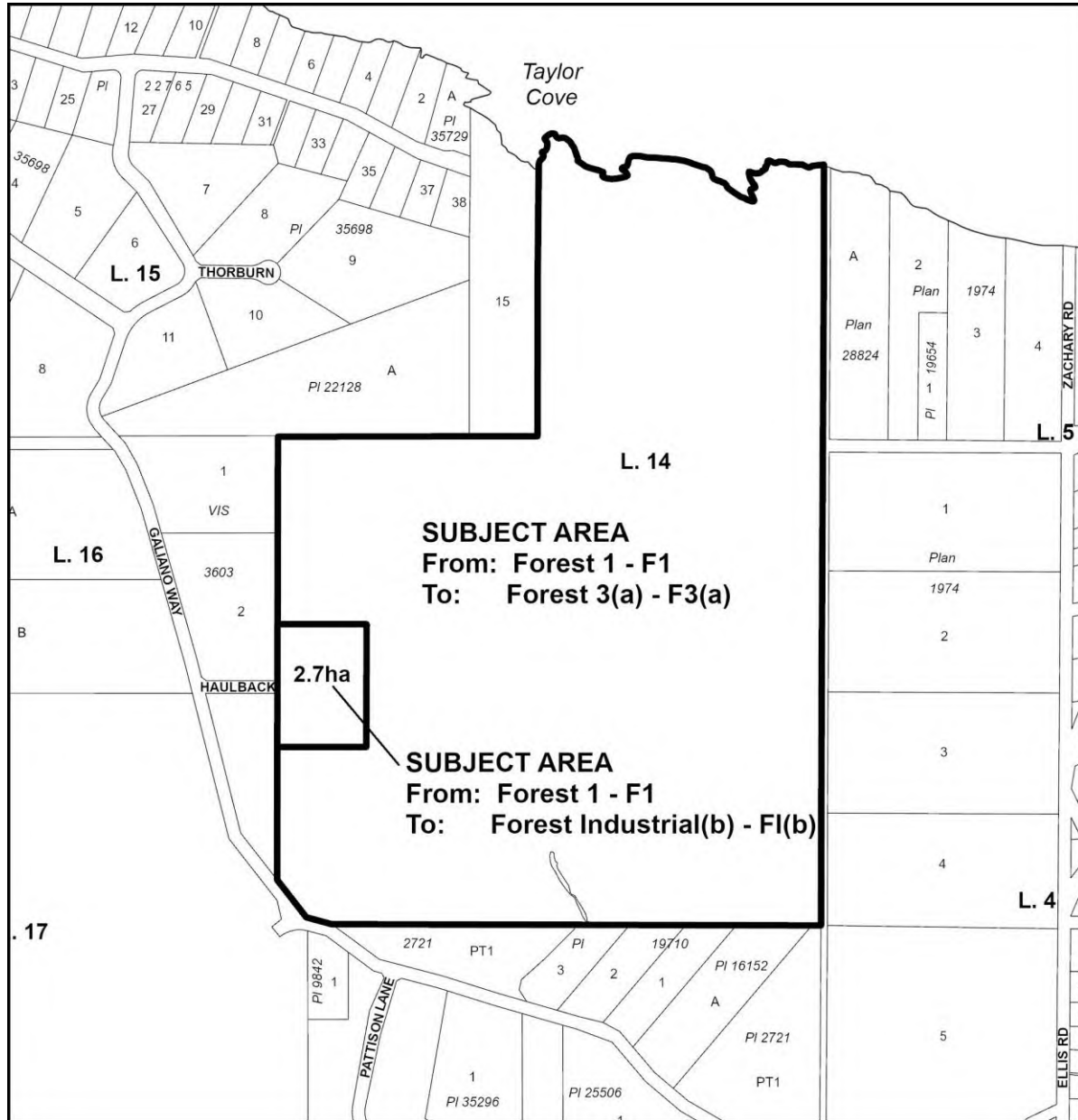
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APPROVED BY THE EXECUTIVE COMMITTEE OF THE ISLANDS TRUST THIS	_____	DAY OF	_____	20____
ADOPTED THIS	_____	DAY OF	_____	20____

CHAIR

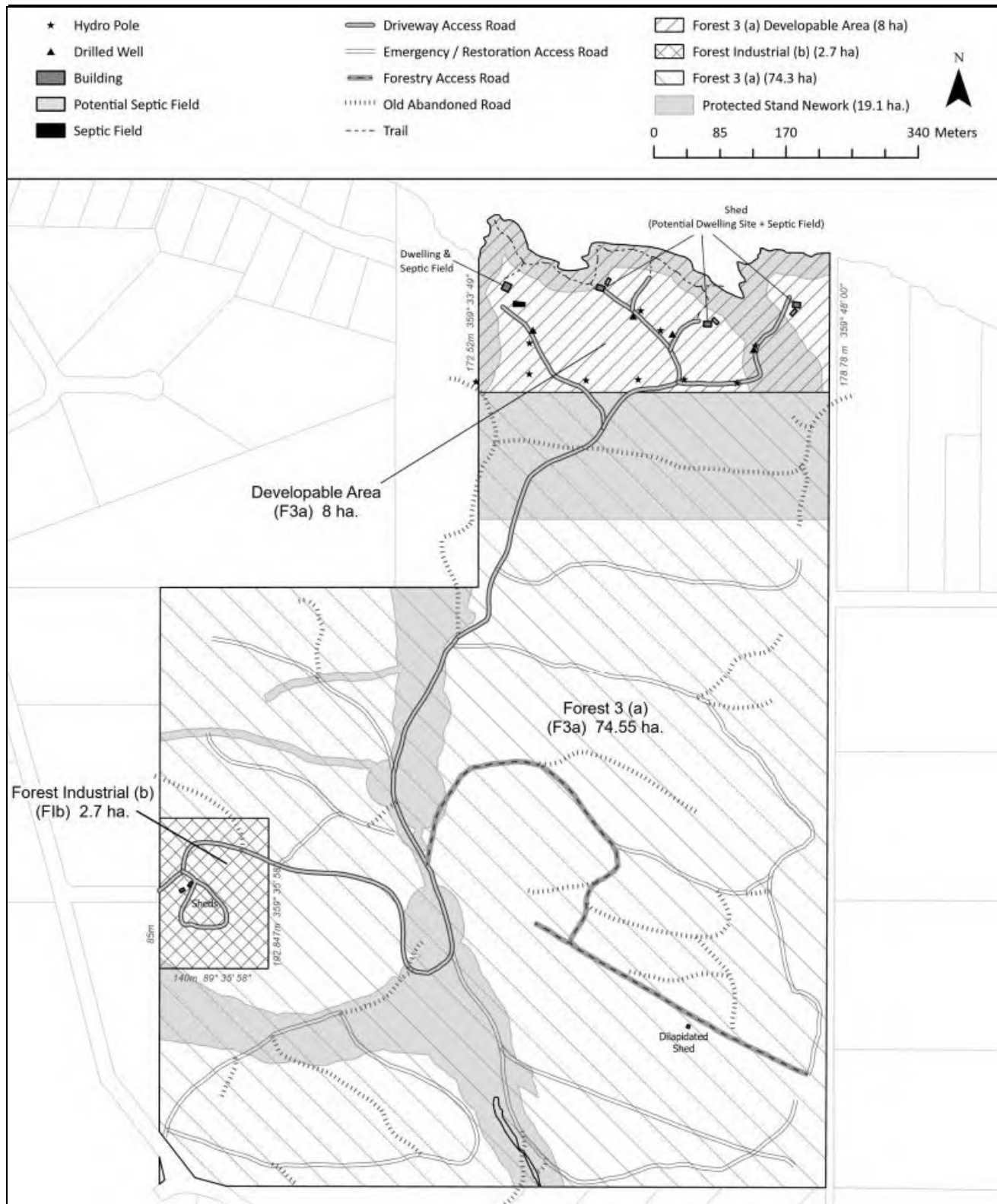
SECRETARY

**GALIANO ISLAND LOCAL TRUST COMMITTEE
BYLAW NO. 291**

Plan No. 1



GALIANO ISLAND LOCAL TRUST COMMITTEE
BYLAW NO. 291
Plan No. 2





ISLANDS TRUST POLICY STATEMENT DIRECTIVES ONLY CHECKLIST

Bylaw No.: 291

File Name: GL-RZ-2023.1

PURPOSE

To provide staff with the Directives Only Checklist to highlight issues addressed in staff reports and as a means to ensure Local Trust Committees address certain matters in their official community plans and regulatory bylaws, Island Municipalities address certain matters in their official community plans, and to reference any relevant sections of the Policy Statement.

POLICY STATEMENT

The Policy Statement is comprised of several parts. Parts I and II outline the purpose, the Islands Trust object, and Council's guiding principles. Parts III, IV and V contain the goals and policies relevant to ecosystem preservation and protection, stewardship of resources and sustainable communities.

There are three different kinds of policies within the Policy Statement as follows:

- Commitments of Trust Council which are statements about Council's position or philosophy on various matters;
- Recommendations of Council to other government agencies, non-government organizations, property owners, residents and visitors; and
- Directive Policies which direct Local Trust Committees and Island Municipalities to address certain matters.

DIRECTIVES ONLY CHECKLIST

The Policy Statement Directives Only Checklist is based on the directive policies from the Policy Statement (Consolidated April 2003) which require Local Trust Committees to address certain matters in their official community plans and regulatory bylaws and Island Municipalities to address certain matters in their official community plans in a way that implements the policy of Trust Council.

Staff will use the Policy Statement Checklist (Directives Only) to review Local Trust Committee and Island Municipality bylaw amendment applications and proposals to ensure consistency with the Policy Statement. Staff will add the appropriate symbol to the table as follows:

- ✓ if the bylaw is consistent with the policy from the Policy Statement, or
- ✗ if the bylaw is inconsistent (contrary or at variance) with a policy from the Policy Statement, or
- N/A if the policy is not applicable.

PART III: POLICIES FOR ECOSYSTEM PRESERVATION AND PROTECTION

CONSISTENT	No.	DIRECTIVE POLICY
	3.1	Ecosystems
✓	3.1.3	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the identification and protection of the environmentally sensitive areas and significant natural sites, features and landforms in their planning area.
N/A	3.1.4	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the planning, establishment, and maintenance of a network of protected areas that preserve the representative ecosystems of their planning area and maintain their ecological integrity.
N/A	3.1.5	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the regulation of land use and development to restrict emissions to land, air and water to levels not harmful to humans or other species.
	3.2	Forest Ecosystems
✓	3.2.2	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the protection of unfragmented forest ecosystems within their local planning areas from potentially adverse impacts of growth, development, and land-use.
	3.3	Freshwater and Wetland Ecosystems and Riparian Zones
N/A	3.3.2	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address means to prevent further loss or degradation of freshwater bodies or watercourses, wetlands and riparian zones and to protect aquatic wildlife.
	3.4	Coastal and Marine Ecosystems
N/A	3.4.4	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the protection of sensitive coastal areas.
N/A	3.4.5	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the planning for and regulation of development in coastal regions to protect natural coastal processes.

PART IV: POLICIES FOR THE STEWARDSHIP OF RESOURCES

CONSISTENT	No.	DIRECTIVE POLICY
	4.1	Agricultural Land
N/A	4.1.4	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the identification and preservation of agricultural land for current and future use.
N/A	4.1.5	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the preservation, protection, and encouragement of farming, the sustainability of farming, and the relationship of farming to other land uses.
N/A	4.1.6	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the use of adjacent properties to minimize any adverse affects on agricultural land.
	4.2	Forests
N/A	4.1.7	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the design of road systems and servicing corridors to avoid agricultural lands unless the need for roads outweighs agricultural considerations, in which case appropriate mitigation measures shall be required to derive a net benefit to agriculture.
N/A	4.1.8	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address land uses and activities that support the economic viability of farms without compromising the agriculture capability of agricultural land.
N/A	4.1.9	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the use of Crown lands for agricultural leases.
✓	4.2.6	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the need to protect the ecological integrity on a scale of forest stands and landscapes.
✓	4.2.7	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the retention of large land holdings and parcel sizes for sustainable forestry use, and the location and construction of roads, and utility and communication corridors to minimize the fragmentation of forests.
N/A	4.2.8	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the designation of forest ecosystem reserves where no extraction will take place to ensure the preservation of native biological diversity.
	4.3	Wildlife
	4.4	Heritage Resources
	4.5	Geological Resources
	4.6	Marine Resources
	4.7	Mineral Resources
	4.8	Other Resources
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	4.3	Wildlife and Vegetation
	4.4	Freshwater Resources
✓	4.4.2	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address measures that ensure neither the density nor intensity of land use is increased in areas which are known to have a problem with the quality or quantity of the supply of freshwater, water quality is maintained, and existing, anticipated and seasonal demands for water are considered and allowed for.
N/A	4.4.3	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address measures that ensure water use is not to the detriment of in-stream uses
	4.5	Coastal Areas and Marine Shorelands
N/A	4.5.8	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the needs and locations for marine dependent land uses.
N/A	4.5.9	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the compatibility of the location, size and nature of marinas with the ecosystems and character of their local planning areas.
N/A	4.5.10	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the location of buildings and structures so as to protect public access to, from and along the marine shoreline and minimize impacts on sensitive coastal environments.
N/A	4.5.11	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address opportunities for the sharing of facilities such as docks, wharves, floats, jetties, boat houses, board walks and causeways.
	4.6	Soils and Other Resources
N/A	4.6.3	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the protection of productive soils.

PART V: POLICIES FOR SUSTAINABLE COMMUNITIES

CONSISTENT	No.	DIRECTIVE POLICY
	5.1	Aesthetic Qualities
N/A	5.1.3	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the protection of views, scenic areas and distinctive features contributing to the overall visual quality and scenic value of the Trust Area.
	5.2	Growth and Development
N/A	5.2.3	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address policies related to the aesthetic, environmental and social impacts of development.
N/A	5.2.4	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address any potential growth rate and strategies for growth management that ensure that land use is compatible with preservation and protection of the environment, natural amenities, resources and community character.
✓	5.2.5	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address means for achieving efficient use of the land base without exceeding any density limits defined in their official community plans.
N/A	5.2.6	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the identification of areas hazardous to development, including areas subject to flooding, erosion or slope instability, and strategies to direct development away from such hazards.
	5.3	Transportation and Utilities
N/A	5.3.4	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the development of a classification system of rural roadways, including scenic or heritage road designations, in recognition of the object of the Islands Trust.
N/A	5.3.5	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the impacts of road location, design, construction and systems.
N/A	5.3.6	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the designation of areas for the landing of emergency helicopters.
N/A	5.3.7	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the development of land use patterns that encourage establishment of bicycle paths and other local and inter-community transportation systems that reduce dependency on private automobile use.
	5.4	Disposal of Waste
N/A	5.4.4	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the identification of acceptable locations for the disposal of solid waste.
CONSISTENT	No.	DIRECTIVE POLICY

	5.5	Recreation
N/A	5.5.3	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the prohibition of destination gaming facilities such as casinos and commercial bingo halls.
N/A	5.5.4	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the location and type of recreational facilities so as not to degrade environmentally sensitive areas, and the designation of locations for marinas, boat launches, docks and anchorages so as not to degrade sensitive marine or coastal areas.
N/A	5.5.5	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the identification of sites providing safe public access to beaches, the identification and designation of areas of recreational significance, and the designation of locations for community and public boat launches, docks and anchorages.
N/A	5.5.6	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the identification and designation of areas for low impact recreational activities and discourage facilities and opportunities for high impact recreational activities.
N/A	5.5.7	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the planning for bicycle, pedestrian and equestrian trail systems.
	5.6	Cultural and Natural Heritage
N/A	5.6.2	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the identification, protection, preservation and enhancement of local heritage.
✓	5.6.3	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address the preservation and protection of the heritage value and character of historic coastal settlement patterns and remains.
	5.7	Economic Opportunities
✓	5.7.2	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address economic opportunities that are compatible with conservation of resources and protection of community character.
	5.8	Health and Well-being
N/A	5.8.6	Local Trust Committees and Island Municipalities shall, in their official community plans and regulatory bylaws, address their community's current and projected housing requirements and the long-term needs for educational, institutional, community and health-related facilities and services, as well as the cultural and recreational facilities and services.

	POLICY STATEMENT COMPLIANCE
	<i>In compliance with Trust Policy</i>
	<i>Not in compliance with Trust Policy for the following reasons:</i>



Galiano Island Local Trust Committee

NOTICE OF FIRST READING

Draft Bylaw No. 291

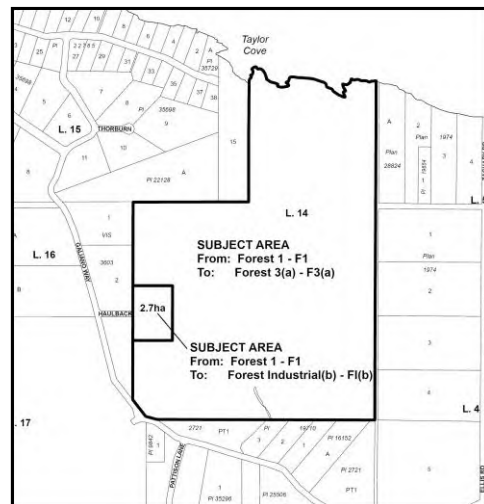
Land Use Bylaw Amendment to re-zone 85 hectare subject property to two split zones (GL-RZ-2023.1)

NOTICE is hereby given pursuant to s.467 of the *Local Government Act* that the Galiano Island Local Trust Committee will consider first reading of Draft Bylaw No. 291, cited as “Galiano Island Land Use Bylaw No. 127, 1999, Amendment No. 1, 2023” at its Regular Business Meeting scheduled at 1:00 p.m., Tuesday, June 3, 2025, to be held at the Galiano North Community Hall, 22790 Porlier Pass Road, Galiano Island.

Draft Bylaw No. 291 will, if adopted, amend the Galiano Island Land Use Bylaw No. 127 (LUB) to re-zone the 85 hectare subject property (District Lot 14, Galiano Island) from **Forest 1 (F1)** to two split-zones: 82.5 hectare to be a site-specific **Forest 3 a (F3(a)) zone** and 2.7 hectares to a site-specific **Forest Industrial b (FI(b)) zone**. The F3(a) zone will legalize the siting of four existing dwellings. The FI(b) zone will permit all uses in the Forest Industrial zone, but would not permit an accessory dwelling unit. As a condition of bylaw adoption, the applicant must register on property title a sustainable forestry management covenant and a s.219 covenant that restricts subdivision into lots less than 20 hectares, identifies developable areas, and requires a secondary groundwater assessment.

The property is legally described as LOT 14, GALIANO ISLAND, COWICHAN DISTRICT. The general location of the subject property is shown on the following map:

The Local Trust Committee is not holding a public hearing for this bylaw under the authority granted in Section 464(2) of the *Local Government Act* that states that a local government may decide not to hold a public hearing on a draft bylaw if an Official Community Plan is in effect for the area that is subject to a draft zoning bylaw, and the draft bylaw is consistent with the plan. Draft Bylaw No. 291 is consistent with the Galiano Island Official Community Plan Bylaw No. 108.



A copy of the draft bylaw may be inspected at the Islands Trust Office, 200 - 1627 Fort Street, Victoria, B.C. between the hours of 8:30 a.m. to 4:30 p.m. Monday to Friday, excluding statutory holidays, and on the Islands Trust website <https://islandstrust.bc.ca/island-planning/galiano/current-applications/> commencing May 22, 2025 and continuing up to and including June 2, 2025.

Enquiries or Written Comments may be directed to **Kim Stockdill**, Island Planner by email kstockdill@islandstrust.bc.ca, or phone at 250-405-5157. For toll-free access, request a transfer to the above telephone number via Service BC: in Vancouver at 604-660-2421 and elsewhere in BC at 1-800-663-7867. Written submissions must be received at the Islands Trust Victoria Office via email to vicphsub@islandstrust.bc.ca or Mail or Drop Off: Islands Trust, 200-1627 Fort Street, Victoria, BC, V8R 1H8, no later than 4:30 p.m., June 2, 2025.

Jas Chonk, Deputy Secretary

DATE OF MEETING: June 3, 2025
TO: Galiano Island Local Trust Committee
FROM: Robert Kojima, Regional Planning Manager
Southern Team
COPY: Kim Stockdill, Island Planner
SUBJECT: Proposed OCP Review Project

RECOMMENDATION

1. That staff report back at a future LTC meeting with a draft Business Case.

REPORT SUMMARY

The purpose of the report is to provide the LTC with further options for the proposed Official Community Plan (OCP) Review commencing in fiscal year 2026-27.

BACKGROUND

At the meeting of February 11, 2025, the LTC requested staff prepare options for an OCP review. At the April 8th meeting the LTC received a staff report and adopted the following resolution:

GL-2025-021

It was MOVED and SECONDED,

that Galiano Island Local Trust Committee request staff to report back with a draft Business Case and Work Plan for a targeted OCP review.

In deliberations on the scope of the project, the LTC agreed that the review should be targeted, that community engagement would inform what OCP areas would be addressed, and that capacity funding for First Nations engagement be included in the budget request.

As an OCP Review would be a Major Project, the first step is for the LTC to endorse a business case for approval by Trust Council. If approved, the project would commence at the start of the next fiscal year – April 2026.

In order to have the business case considered by Trust Council, the LTC should have an endorsed business case ready by September. The business case would be forwarded to the Financial Planning Committee and the Regional Planning Committee for review in the fall.

Based on direction received at the last meeting, staff have prepared a more detailed Work Plan (attached) with preliminary costing for LTC review.

DISCUSSION

Topics

The LTC has identified that it wishes to undertake a targeted update of specific sections of the document and to address particular issues. While the topic areas would be determined at the launch of the project early next year, staff have identified the following as potential or recommended options:

- First Nations: incorporating reconciliation throughout the OCP, this would be based on consultation, but examples may include archaeological and cultural heritage protection, shoreline and marine protection, land transfer options, and acknowledging history and place names.
- Islands Trust Policy Statement implementation: an updated Policy Statement is anticipated to be adopted this term and all subsequently adopted bylaws, including a new or amended OCP, must not be contrary or at variance with the Policy Statement.
- Housing: reviewing and updating policies to support housing diversity, based on options in the Islands Trust Housing Toolkit.
- Review and update development permit areas: review effectiveness, particularly DPA for protection of the natural environment, and consider amendments based on model DPAs.
- Forest Policies: review, specifically based on recent applications for F1 rezonings involving land transfers.
- Transportation: review policies generally and road network plan policies specifically.
- Other areas, generally of a technical nature, include:
 - Harmonizing Land Use Designations and Policy sections
 - Reviewing out-dated and unimplemented policies and wording
 - Reviewing advocacy policies
 - Incorporating associated island policies
 - Updating map schedules
 - Reviewing build-out potential to consider growth limits and constraints

While freshwater policies, regulations, and DPA have recently been reviewed and updated (pending bylaw adoption), further minor updates could be incorporated as part of the project.

The LTC should consider if any other topic areas should be identified over the next few months. Also, the LTC could consider requesting that the advisory planning commission recommend topics or sections of the OCP for updates.

Budget

Based on LTC direction on the project scope, staff have incorporated potential costing into the work plan. For year 1 (April 2026 to March 2027), a budget of \$15,000 is proposed, consisting of:

1. First Nations capacity funding support: \$5,000
2. Legal advice: \$5,000
3. Community consultation: \$5,000

This is a fairly typical budget request for one year of a two-year OCP review project, with staff time providing the bulk of project support. The business case will include a generalized estimate of staff hours for the project.

The LTC should consider if the business case should include additional items or different budget requests.

Draft Work Plan

Staff have updated the draft work plan (attachment 1), based on a targeted OCP Review process. It proposes the review to be substantially complete in two years.

Rationale for Recommendation

The recommendation is for the LTC to provide direction to staff to draft a business case. Staff would bring the draft business case to a future LTC meeting for endorsement and forwarding to Trust Council and committees.

ALTERNATIVES

The LTC may consider the following alternatives to the staff recommendation:

1. Request further information

The LTC may request further information prior to making a decision.

That the Galiano Island Local Trust Committee request that staff report back to a future meeting with...

2. Refer to Advisory Planning Commission

The LTC could make a referral to the APC, requesting recommendations on topics for inclusion in the OCP Review.

That the Galiano Island Local Trust Committee refer the OCP Project staff reports to the Advisory Planning Commission and request that the APC provide the LTC with recommendations on topic areas for inclusion in an OCP Review.

3. Proceed No Further

The LTC may choose to not proceed with the project

That the Galiano Island Local Trust Committee proceed no further with an OCP Review project.

4. Receive for information

The LTC may receive the report for information.

NEXT STEPS

If the LTC provides direction, staff will prepare a draft Business Case for LTC review and endorsement.

Submitted By:	Robert Kojima, Regional Planning Manager	May 22, 2025
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ATTACHMENTS

- 1. OCP Review Project Draft Work Plan

OCP Review Project Draft Work Plan Outline

	PROJECT WORK PLAN			
Meeting	Milestone	Target Dates	Comments	Cost
	Phase 0: Pre-Project	2025		
April, June, July	LTC considers process options, topic areas, and issues; direction to staff to draft Business Case	April to August		
September	LTC endorsement of Business Case, forwarded to RPC and FPC	Sept - Oct		
	Early engagement with First Nations	Sept - Mar		
Year 1	Phase 1: Project Initiation	2026		\$15,000
	Issues and process confirmed by LTC	March - April		
	Project launch: communications to First Nations, landowners, stakeholders, agencies, and community meetings.	April - May	Cost for meetings, including with FNs	\$1,000
	Drafting of Terms of Reference for APC or working groups	April - May		
	Preliminary research & data gathering	April to June		
	Endorsement of Project Charter, work plan, and engagement plan	June	Potential for early legal advice	\$5,000
	Phase 2: Analysis	2026		
	Research, drafting of discussion paper(s), mapping	May - Oct		
	Mapping updates prepared	May - Oct		
	Technical review of bylaw	May - Oct		
	LTC review of discussion papers, mapping updates	Sept - Dec		
	Phase 3: Consultation	2026-27		
	APC(s) Terms of reference, and referrals	July - Sept		
	First Nations consultation	July - Mar	FN capacity funding	\$5,000
	Stakeholder, agency, and public engagement	July - Mar	Community meetings	\$2,000
	APC(s) reviews and reports	Sept - Mar	Costs for APC meetings	\$2,000
Year 2	Phase 4: Drafting	2027		\$10,000
	LTC Review of consultation results and policy options	Apr- June		
	Direction to prepare bylaw(s)	June		
	LTC Review of draft bylaw language	Sept - Dec	Special meetings	\$1,000
	Legal review (if required)	Sept - Oct	Legal Review	\$5,000
	Phase 5: Legislative	2027-28		
	LTC Review of draft bylaws, early referrals, on-going First Nations consultation	Oct- Dec		
	Community Information Meetings	Nov - Dec	Meeting costs	\$2,000
	Consideration of revisions and 1 st reading - formal referrals to FN; agencies, APC, other LTCs etc	Jan - Mar		
	Consideration of amendments and 2 nd reading	March		
	Community Information Meeting/Public Hearing	March	Meeting and advertising	\$2,000

OCP Review Project Draft Work Plan Outline

	PROJECT WORK PLAN			
Meeting	Milestone	Target Dates	Comments	Cost
	3 rd reading, Executive Committee, Minister	March		
Year 3	Phase 6: Implementation	2028		
	Final Adoption	May - June		
	Pre-project planning for LUB Review Project	Apr - June		
	Procedural bylaw updates	May - June		
	Public communication(s)	May - June		

DRAFT

Active Projects Report

Galiano Island

1. *Minor Project - Groundwater Sustainability*

Responsible

Dates

Activity:

Kim Stockdill

Rec'd: 02-Apr-2019

*Proposed Bylaw No. 283 with Minister for approval

Target: 30-Sep-2023

Phase 1 and 2: mapping and data analysis - Completed

Phase 3: Implementation of mapping and data analysis - Completed

Final approval pending

1. *Associated Islands Regulations Review*

Responsible

Dates

Activity:

Kim Stockdill

Rec'd: 11-Feb-2025

Project Description and Target Date to be determined.

Future Projects Report

Galiano Island

1. *Coastal Douglas-Fir Protection*

Responsible

Date Received

Review 'Protection of the Coastal Douglas-fir and Associated Ecosystems: An Islands Trust Tool Kit (2018)' and provide recommendations from toolkit.
- LPC is intending to develop a model bylaw in 2021-22.
Include review the Contiguous Forest Mapping in the Islands Trust Area Report.

04-Feb-2019

2. *Emergency Access Planning*

Responsible

Date Received

Follow-up from CRD emergency planning process - include consideration of developing driveway guidelines for emergency access within land use bylaw

02-Apr-2019

3. *Review of Road Network Plan*

Responsible

Date Received

Review of Road Network Plan - include December 11th APC memo in review process - meet with MOTI

02-Mar-2020

4. *Review of LUB tiny home/trailer regulations, maximum house sizes and lot coverage*

Responsible

Date Received

01-Jun-2021

5. *Shoreline model protection bylaw*

Responsible

Date Received

Review APC report in consideration of development of shoreline model protection bylaw

06-Sep-2022



Galiano Local Trust Committee

Open Applications

Report

Print Date: May 27, 2025

Agricultural Land Reserve

Application Number	Applicant Name	Date Received	Address	Purpose
GL-ALR-2023.2	Samuel Mabberley	10/19/2023	1008 MONTAGUE RD	Application to include land in the Agricultural Land Reserve.
Planner		Status	Most Recent Completed Activity	
Kim Stockdill		In Abeyance	Planning Review	

Board of Variance

Application Number	Applicant Name	Date Received	Address	Purpose
PLBOV20250162	Michael Elsinga and	4/12/2025	0 WISE ISLAND	A variance for a deck attached to cabin located on Lot 2, Wise Island, that is within the setbacks from the Natural boundary of the sea and the front lot line.
Planner		Status	Most Recent Completed Activity	
Kim Stockdill		Under Review	Add Optional Referrals	

Galiano

Development Permit

Application Number	Applicant Name	Date Received	Address	Purpose
GL-DP-2023.6	Brian Gaudet	9/14/2023	1656 STICKS ALLISON RD, GALIAN	1656 sticks Allison Rd- Application for a tree cutting DP for restoration
Planner		Status	Most Recent Completed Activity	
Bruce Belcher		Waiting for Submittals	Verify Submittal / Fees	

Application Number	Applicant Name	Date Received	Address	Purpose
PLDP20250174	Justine Starke	4/28/2025	280 GEORGESON BAY RD, GALIA	Development Permit application under DPA # 3 Tree Cutting and Removal for the tree removal/site preparation required at 280 Georgeson Bay Road, Galiano Island (Thuthiqut Hulelum' Affordable Housing Project).
Planner		Status	Most Recent Completed Activity	
Bruce Belcher		Under Review	Generate Complete Application Letter	

Application Number	Applicant Name	Date Received	Address	Purpose
GL-DP-2024.2	John Poppleton	3/6/2024	2990 GEORGESON BAY RD, GALIA	POPPLETON - 2990 GEORGESON BAY RD: An application in combination with GL-DVP-2023.6 for a DP for development in a sensitive ecosystem DPA.
Planner		Status	Most Recent Completed Activity	
Kim Stockdill		Under Review	Planning Review	

Galiano

Development Variance Permit

Application Number	Applicant Name	Date Received	Address	Purpose
GL-DVP-2023.6	John Poppleton	12/22/2023	2990 GEORGESON BAY RD, GALIA	POPPLETON - 2990 Georgeson Bay Rd: Siting of a septic system in a setback.
Planner		Status	Most Recent Completed Activity	
Kim Stockdill		Local Trust Committee	Email Applicant of LTC Meeting	

Galiano

Rezoning

Application Number	Applicant Name	Date Received	Address	Purpose
GL-RZ-2021.2	CORINNE A MATHE	8/16/2021	0 COOK RD, GALIANO, BC V0N 1P	DL 86 - COOK RD - application for rezoning to emend the OCP and LUB to permit a rezoning from F1 to create an F3 zoned parcel, two 2.0 hectare Rural Residential-zoned parcels, and 12+ ha of parkland and road dedication.
Planner		Status	Most Recent Completed Activity	
Kim Stockdill		Local Trust Committee	External Agency Review	

Application Number	Applicant Name	Date Received	Address	Purpose
GL-RZ-2023.2	Flemming Larsen	4/26/2023	5500 BODEGA BEACH DR, GALIAN	DL 85 - 5500 BODEGA BEACH DR: Application for rezoning from F1
Planner		Status	Most Recent Completed Activity	
Kim Stockdill		Local Trust Committee	External Agency Review	

Application Number	Applicant Name	Date Received	Address	Purpose
GL-RZ-2023.1	Tahirih Rockafella	3/28/2023	0 HAULBACK RD, GALIANO, BC V0	Application for rezoning to amend the zoning from F1 to F3 and Forest Industrial. Bylaw 291
Planner		Status	Most Recent Completed Activity	
Kim Stockdill		Local Trust Committee	Email Applicant of LTC Meeting	

Galiano

Application Number	Applicant Name	Date Received	Address	Purpose
PLRZ20240003	LEIF C PALMBERG	5/15/2024	0 GALIANO WAY, GALIANO, BC V0	To amend zoning from R2 to Site Specific R2 Zoning

Planner	Status	Most Recent Completed Activity
Kim Stockdill	Local Trust Committee	Generate & Send Notice of LTC Decision

Application Number	Applicant Name	Date Received	Address	Purpose
GL-RZ-2014.1	CRYSTAL MOUNTA	10/28/2014	0 PORLIER PASS RD, GALIANO, B	20300 PORLIER PASS RD: Application for rezoning to amend the OCP and LUB to allow for a Forest Retreat Centre - Bylaws 256 (OCP) and 257 (LUB)

Planner	Status	Most Recent Completed Activity
Brad Smith	Local Trust Committee	Record LTC Decision/Update FUAL

Application Number	Applicant Name	Date Received	Address	Purpose
GL-RZ-2020.1	Fred King	10/27/2020	0 PORLIER PASS RD, GALIANO, B	51 Galiano Way - Application for rezoning from F1 to F3 - Bylaw 279 (LUB)

Planner	Status	Most Recent Completed Activity
Kim Stockdill	Local Trust Committee	Verify Final Review Status

Galiano

Subdivision

Application Number	Applicant Name	Date Received	Address	Purpose
GL-SUB-2024.1	Danica Berginc	4/4/2024	771 GEORGESON BAY RD, GALIA	BERGNIC - 771 GEORGESON BAY RD/1153 GEORGESON BAY RD: Referral of a boundary adjustment subdivision application.
Planner		Status	Most Recent Completed Activity	
Bruce Belcher		In Abeyance	Record and File PLR	

Application Number	Applicant Name	Date Received	Address	Purpose
PLSUB20250115	Glen Mitchell	3/12/2025	0 STICKS ALLISON RD, GALIANO,	Referral of a boundary adjustment subdivision application
Planner		Status	Most Recent Completed Activity	
Bruce Belcher		Administrative Review	Generate and Send Referral Response Form	

Application Number	Applicant Name	Date Received	Address	Purpose
GL-SUB-2023.1	Jared Taylor	3/31/2023		TAYLOR - 172 BURRILL RD: Referral of a subdivision application for 1 new lot.
Planner		Status	Most Recent Completed Activity	
Bruce Belcher		Administrative Review	Record and File PLR	

Galiano

Temporary Use Permit

Application Number	Applicant Name	Date Received	Address	Purpose
PLTUP20250108	George Harris	3/6/2025	9980 PORLIER PASS RD, GALIANO	To permit affordable housing
Planner		Status	Most Recent Completed Activity	
Kim Stockdill		Local Trust Committee	Generate Staff Report	

Application Number	Applicant Name	Date Received	Address	Purpose
PLTUP20250206	Brad Walker; Danic	5/21/2025	1904 GEORGESON BAY RD, GALIA	Application for a renewal of Temporary Use Permit originally issued on September 6, 2022, which allows a contractor's yard, storage of aggregates, and the processing of aggregates as a use at 1904 Georgeson Bay Rd.
Planner		Status	Most Recent Completed Activity	
Bruce Belcher		Application Received	Assign Planner	

Islands Trust
LTC EXP SUMMARY REPORT F2025
Invoices posted to Month ending February 2025

625 Galiano	Invoices posted to Month ending February 2025	<u>Budget</u>	<u>Spent</u>	<u>Balance</u>
65000-625	LTC "Trustee Expenses"	280.00	518.28	-238.28
LTC Local				
65200-625	LTC - Local Exp - LTC Meeting Expenses	2,230.00	3,610.21	-1,380.21
65210-625	LTC - Local Exp - APC Meeting Expenses	300.00	90.01	209.99
65220-625	LTC - Local Exp - Communications	3,000.00	2,446.63	553.37
TOTAL LTC Local Expense		<u>5,530.00</u>	<u>6,146.85</u>	<u>-616.85</u>
Projects				
73001-625-4114	Galiano Groundwater Strategy Implementation	1,500.00	1,241.18	258.82
TOTAL Project Expenses		<u>1,500.00</u>	<u>1,241.18</u>	<u>258.82</u>

Standing Resolutions Log

Galiano Island

Resolution Number	Action	Date
2023-015 (Standing) First Nations Reconciliation That the Galiano Island Local Trust Committee seek to engage in reconciliation with local First Nations, governments and island community by honouring the Truth and Reconciliation Commission (TRC) Calls to Action, the United Nations Declaration on Rights of Indigenous Peoples, draft principles that guide the Province of British Columbia's relationship with Indigenous Peoples and Islands Trust First Nations engagement principles. The Galiano Island Local Trust Committee endeavour to: a. Annually write a letter to all First Nations knowledge holders introducing Trustees and staff and provide a schedule of known Local Trust Committee meetings for the upcoming year, as well as provide an update of current projects and advocacy activities; b. For various Local Trust Committee meetings, invite local First Nations and knowledge holders to attend meetings, as well as provide a traditional welcome to the Territory if they would like; c. Work with Local First Nations Governments and knowledge holders on cooperative initiatives, including but not limited to, language, place names, territorial acknowledgements and community education on Coast Salish and local First Nations cultural heritage and history; d. Work with Local First Nation Governments and knowledge holders on engagement principles for inclusive land use, marine use and climate change planning advocacy, protection and stewardship and knowledge and information sharing protocols; and e. Establish and maintain government to government dialogue with Local First Nations and knowledge holders now and into the future based on respect and recognition of Aboriginal Rights and Titles, Treaty Rights, and First Nations Traditional Territories within the Islands Trust Area.	Carried	14-Mar-2023
2020-042 (Standing) Use of Development Permits for Variances That the Galiano Island Local Trust Committee request that development permit applications where a variance is requested be processed as a combined application with both a development permit and a development variance permit.	Carried	08-Sep-2020

Standing Resolutions Log

Galiano Island

Resolution Number	Action	Date
2020-041 (Standing) Unlawful Land Uses and Planning Applications that the Galiano Island Local Trust Committee adopt the following policy on unlawful land uses and planning applications: a. Where an application is received and a use is continuing in contravention of a land use bylaw, staff are directed to request that the applicant cease the use prior to processing the application, and that staff are directed to continue with enforcement until the use is ceased. b. The applicant may request that the Local Trust Committee proceed with consideration of the application while the use is continuing; and, where the Local Trust Committee considers there is a community need to process the application while the prohibited use is continuing, the Local Trust Committee may direct that bylaw enforcement actions, including the issuing of notices, cease. c. Where the Local Trust Committee does not consider that there is a community need, or the applicant has not made such a request of the Local Trust Committee; bylaw enforcement actions, including the issuing of notices, will continue. d. In deciding whether to grant land use approval for a use that was commenced in contravention of a land use bylaw, the Local Trust Committee may consider whether the applicant has suspended the prohibited land use pending a decision on the application.	Carried	06-Jul-2020
2020-013 (Standing) Advisory Planning Commission that the Galiano Island Local Trust Committee request that prior to expiration of Advisory Planning Commission members terms of office, staff write to commissioners asking if they wish to be reappointed and also advertise for expressions of interest for new commissioners.	Carried	03-Feb-2020

Standing Resolutions Log

Galiano Island

Resolution Number	Action	Date
2019-014 (Standing)	Carried	04-Mar-2019
13.1 Cannabis Retail - Staff Report that the Galiano Local Trust Committee adopt the following standing resolution with respect to the processing of non-medicinal cannabis retail license applications: - Proposed or amended licenses for non-medicinal cannabis retail establishments require an application to the local trust committee. - The application process shall comprise a public consultation component, which includes at least one notification to neighbours, one public meeting, posting of public notices and one advertisement in a local periodical. - The public consultation process shall be determined by the local trust committee after initial review of the proposal. - However, as a minimum, the local trust committee will mail or otherwise deliver a notice to all owners and residents of properties within a 500 metre radius of the subject property where the establishment is proposed at least 10 days before adoption of a resolution providing comment on the application. The required notice shall include the following information: - o Name of the applicant and a description of the proposal in general terms - o The location of the proposed establishment and the subject site - o The place where, and date and time when, both a public meeting will be held and a resolution of the local trust committee considered. - o The name and contact information of the Islands Trust planning staff member who can provide copies of the proposed or amended license application - o How public comments may be submitted to the local trust committee.		
2018-064 (Standing)	Carried	04-Jun-2018
11.1 Telecommunication Strategy Project - Staff Report that the Galiano Island Local Trust Committee endorses the Telecommunication strategy Project Charter dated June 22, 2016		
2014-029 (Standing)	Carried	07-Apr-2014
Community Wells as a Community Benefit That the Galiano Island Local Trust Committee will consider as a community benefit for all rezoning applications where there is an increase in density, the establishment of an instrumented observation well.		

Standing Resolutions Log

Galiano Island

Resolution Number	Action	Date
2014-000 (Standing)	Carried	03-Feb-2014

On properties where there is an open bylaw enforcement file, planning staff should refer planning applications to the Bylaw Enforcement Manager for comment where one or more of the following circumstances exist:

1. There have been significant delays or longer than typical timelines in the enforcement process
2. The LTC is considering on-going, relevant policy or regulatory changes that could impact enforcement
3. Litigation has been recommended
4. Legal counsel has been involved (beyond providing a basic interpretation)
5. There has been enforcement action beyond seeking voluntary compliance (e.g. a BEN warning or ticket, adjudication, a compliance agreement negotiated, etc.)
6. There has been, or is an expectation of, joint enforcement with other jurisdictions
7. There is potential for impact on other related enforcement files.

2011-205 (Standing)	Carried	17-Oct-2011
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Special Occasion Liquor Licenses

That where a Liquor Control and Licensing Branch Special Occasion License referral relates to a property on which Galiano Island Land Use Bylaw No. 127, 1999 permits public assembly uses, such as restaurants or community halls, and where there have been no issues related to parking or past complaints for the preceding three years, staff may approve the Special Occasion License without referral to the Local Trust Committee. All other Special Occasion License referrals are to be referred to the Local Trust Committee for consideration.

2010-115 (Standing)	Carried	18-Oct-2010
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Publishing Notices beyond legal requirements

That the Galiano Island Local Trust Committee will advertise Public Hearing Notices in the Active Page Magazine in addition to the legally required advertising in the Driftwood Newspaper.



Standing Resolutions Log

Galiano Island

Resolution Number	Action	Date
2009-085 (Standing)	Carried	11-May-2009
Parks Commission Referral		
That staff refer all applications adjacent to a park or ocean access to the Galiano Island Parks and Recreation Commission for comment		



ISLANDS TRUST CONSERVANCY REPORT TO LOCAL TRUST COMMITTEES AND BOWEN ISLAND MUNICIPALITY

HIGHLIGHTS OF ISLANDS TRUST CONSERVANCY March 18th, 2025 BOARD MEETING

NOTE: For more detail on Islands Trust Conservancy meetings, including meeting minutes, please visit <https://islandstrust.bc.ca/whats-happening/meetings-and-events/>

1. STRATEGIC PLANNING/ADMINISTRATION

- The ITC Board rose and reported that a meeting was held between ITC staff and the Ministry of Housing and Municipal Affairs concerning land disposition, including transfer of land to Indigenous Governing Bodies. The Ministry staff's recommendation was for the ITC Board to develop a policy and include it in ITC's Five-Year Plan (2028-2032) for the Minister's consideration.
- The ITC Board directed staff to notify the Salt Spring Island Local Trust Committee that Islands Trust Conservancy's interests are unaffected by Bylaw No. 541 Referral.
- Chair Gauvreau presented the briefing on an invitation to join the Centre for Land Conservation's Land Trust Certification Pilot Program. The ITC Board requested Chair Gauvreau to write a letter declining the invitation to join pilot program.
- Species at Risk Program Coordinator Wheeler presented a briefing on the North Pender Island Bylaw 235 Referral regarding updating Raptor and Heron Nest Development Permit Area (DPA) mapping and associated provisions from 2008 and provided additional Species at Risk information to consider to the Islands Trust planning team.
- Trustee Patrick joined the ITC Board Meeting to discuss the April 23rd, 2025 EC-ITC Joint Meeting agenda topics. Discussion ensued and agenda topics were identified.
- Trustee Elliott provided a Trust Council update to the ITC Board reporting on a number of items, including Trustee Patrick's election as Chair of Trust Council.
- Chair Gauvreau advised that the ITC budget for 2025/26 was approved by Trust Council.
- Chair Gauvreau reported that she gave a synopsis of the ITC 4th Quarter 2024/25 report at Trust Council.
- There was no Governance Committee Update. Chair Gauvreau reported she did not attend the last meeting.
- The ITC Board agreed to write a letter to the organizers of the Funding our Future: Financing Conservation on Private lands thanking them for the excellent workshop and expressing the interest of the ITC Board in participating in future discussions as the concept of a Regional Conservation Fund progresses.



ISLANDS TRUST CONSERVANCY REPORT TO LOCAL TRUST COMMITTEES AND BOWEN ISLAND MUNICIPALITY

- The ITC Board approved additional allocation to Trustee Smith to cover the full cost of attendance at the “Funding our Future: Financing Conservation on Private Lands” conference on February 27th, 2025 in Esquimalt.

2. COMMUNICATIONS AND OUTREACH

- Trust Council’s introduction letter to Minister Kahlon was received for information. Discussion ensued on the possibility of securing additional funding from the Province for First Nations engagement and consultation.

Learn more about Islands Trust Conservancy: <https://islandstrust.bc.ca/conservancy/>

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