



Galiano Island Local Trust Committee

Regular Meeting Agenda

Date: September 12, 2023
Time: 1:00 pm
Location: Galiano South Community Hall
141 Sturdies Bay Road, Galiano Island, BC

	Pages
1. CALL TO ORDER	1:00 PM - 1:20 PM
2. APPROVAL OF AGENDA	
3. TRUSTEE REPORT	
4. CHAIR'S REPORT	
5. ELECTORAL AREA DIRECTOR'S REPORT	
6. TOWN HALL AND QUESTIONS	1:20 PM - 1:50 PM
7. COMMUNITY INFORMATION MEETING - None	
8. PUBLIC HEARING - None	
9. MINUTES	1:50 PM - 2:00 PM
9.1 Local Trust Committee Minutes Dated July 11, 2023 (for Adoption)	3 - 9
9.2 Section 26 Resolutions Without Meeting Report - None	
9.3 Advisory Planning Commission Minutes - None	
10. BUSINESS ARISING FROM MINUTES	
10.1 Follow-up Action List Dated Sept 2023	10 - 13
11. DELEGATIONS	
12. CORRESPONDENCE	2:00 PM - 2:05 PM
<i>Correspondence received concerning current applications or projects is posted to the LTC webpage</i>	
12.1 Jennifer Margison re Galiano and Tofino's Water Crisis	14 - 15

13.	MEETING BREAK - COMMUNITY UPDATE		
14.	APPLICATIONS AND REFERRALS	2:05 PM - 2:30 PM	
14.1	GL-DVP-2022.4 (Carrick) - Staff Report (attached)		16 - 84
15.	LOCAL TRUST COMMITTEE PROJECTS		
16.	REPORTS	2:30 PM - 2:40 PM	
16.1	Work Program Reports (attached)		
16.1.1	<u>Active Projects Report Dated Sept 2023</u>		85 - 85
16.1.2	<u>Future Projects Report Dated Sept 2023</u>		86 - 87
16.2	Applications Report Dated Sept 2023 (attached)		88 - 96
16.3	Trustee and Local Expense Report Dated July 2023 (attached)		97 - 97
16.4	Adopted Policies and Standing Resolutions (attached)		98 - 102
16.5	Local Trust Committee Webpage		
16.6	Islands Trust Conservancy Report - None		
17.	NEW BUSINESS	2:40 PM - 3:10 PM	
17.1	Galiano Island Local Trust Committee Bylaw No. 289 - Bylaw Enforcement Notification Amendment - Consideration for Adoption - Staff Report (attached)		103 - 124
17.2	Census Infographics - Briefing (for information) (attached)		125 - 132
18.	UPCOMING MEETINGS		
18.1	Next Regular Meeting Scheduled for October 10, 2023 at the Galiano South Community Hall, Galiano Island		
19.	TOWN HALL	3:10 PM - 3:30 PM	
20.	CLOSED MEETING - None		
21.	ADJOURNMENT	3:30 PM - 3:30 PM	

Galiano Island Local Trust Committee
Minutes of Regular Meeting

Date: July 11, 2023
Location: Galiano North Community Hall
22790 Porlier Pass Road
Galiano Island BC

Members Present: Timothy Peterson, Chair
Ben Mabberley, Local Trustee
Lisa Gauvreau, Local Trustee

Staff Present: Kim Stockdill, Island Planner
Lisa Millard, Recorder

Others Present: Approximately 36 members of the public were present.

1. CALL TO ORDER

Chair Peterson called the meeting to order at 1:00 p.m. He acknowledged that the meeting was held on the territory of the Coast Salish First Nations.

2. APPROVAL OF AGENDA

By general consent, the agenda was approved as presented.

3. TRUSTEE REPORT

Trustee Gauvreau reported the following:

- She attended the Trust Council meeting held on Gabriola
- At Trust Council she submitted a request for decision to prioritize a review of Islands Trust First Nations Bylaw referral process
- She is maintaining Trustee office hours throughout the summer

Trustee Mabberley reported the following:

- He attended the Trust Council meeting

Trustee Mabberley introduced Ken Thomas, a Penelakut Tribe Council Member, who in turn introduced his staff members in attendance.

4. CHAIR'S REPORT

Chair Peterson reported attendance at the Trust Council meeting.

5. ELECTORAL AREA DIRECTOR'S REPORT - none

6. TOWN HALL AND QUESTIONS

- A Wise Island resident noted that new Bylaws related to access were requested eight months ago and to date there has been no action regarding this request. They asked if they could utilize regional planning department, and not just the local planning department, regarding Wise Island issues
- The Chair replied that the Local Trust Committee (LTC) could access the regional planning team through major projects and further noted that the Wise Island issue was before the LTC for consideration
- A member of the public referred to the recent report regarding water sustainability on Galiano and noted that residents are aware of the vulnerability of water resources and the complication of saltwater intrusion. They requested that the LTC consider producing water conservation signage directed to visitors
- The Chair replied that the ground water sustainability Bylaws address many of the concerns however there continues to be a need for water storage, and they will take the signage request into consideration
- A member of the public asked that the minutes identify which Trustee made specific comments that are noted within the minutes. They also suggested that the LTC refer Passage Island Bylaws to the Advisory Planning Commission (APC) for consideration for applicability to the Wise Island Bylaw issue
- Island Planner Stockdill noted that there are policies that the minute takers follow regarding identifying speakers, and further noted that there have been issues with connectivity and the minute taker can not hear parts of the meeting
- A member of the public agreed with the previous speaker and requested that the LTC refer Wise Island Bylaw issue to the APC
- A member of the public noted concerns about Item 14 on the agenda related to rezoning Lots 86 and 85. They thought the previous LTC should have engaged with the applicants to bring forth an application that would meet rezoning requirements. The speaker indicated that the waterfront portion of the property should be preserved for conservation and public access in exchange for higher density. A model for this would be Lot 79
- A member of the public noted that waterfront is not required as a condition of rezoning
- A member of the public noted that the difference between the application related to Lot 79 and that related to Lots 85 and 86 is that the applicant had no intention of keeping their lots while the applicant for rezoning Lots 85 and 86 intends to reside on the property
- A member of the public noted that the rezoning of the district lots resulted in a community forest and that application also did not include a waterfront exchange.

7. COMMUNITY INFORMATION MEETING - None

8. PUBLIC HEARING - None

9. MINUTES

9.1 Galiano Island Local Trust Committee Minutes Dated June 20, 2023

By general consent the Galiano Island Local Trust Committee meeting minutes of June 20, 2023 were adopted.

9.2 Section 26 Resolutions without Meeting Report - None

9.3 Advisory Planning Commission Minutes - None

10. BUSINESS ARISING FROM MINUTES

10.1 Follow-up Action List Dated July 2023 Received.

11. DELEGATIONS

11.1 Peter Senkpiel re Rezoning Application GL-RZ-2023.1

The electronic meeting lost connectivity at 1:26 pm on resumption Trustee Mabberley noted, in part, that his request that the applicant consider access for four landlocked lots, and amenity zoning, as part of the application was simply a request for staff to look at options and possibilities for consideration.

Mr. Senkpiel made the following comments:

- The LTC must do their job in accordance with policy and legislation and that ensure their actions and decisions are lawful and consistent with the Islands Trust mandate to preserve and protect the Trust area
- That the applicant is not trying to profit, subdivide, or add density and does not seek massive redevelopment, but rather they intend to protect forest land and limit dwelling size
- Reconciliation is essential and needs to be advanced however reconciliation applies to provincial and federal jurisdiction and local governments do not have an obligation to engage with First Nations
- There is not an issue with First Nations engagement however it needs to take place within accordance of the law, and the applicant does not have a duty to consult
- The application for rezoning complies with Official Community Plan (OCP) policies and the LTC does not have jurisdiction to request access for landlocked properties
- He requests that Trustees withdraw the requests to consult with First Nations, provide access to four private properties, and provide affordable housing as part of the application.

The meeting lost connectivity from 1:57 pm to 2:03 pm.

The meeting was recessed for a break at 2:04 pm and reconvened at 2:20 pm.

The electronic meeting was ended at 2:20 pm due to connectivity issues and onsite recording commenced.

12. CORRESPONDENCE

Correspondence received concerning current applications or projects is posted to the LTC webpage

13. MEETING BREAK - COMMUNITY UPDATE

14. APPLICATIONS AND REFERRALS

14.1 GL-RZ-2021.2 (Matheson-Bairstow) – Staff Report

Island Planner Stockdill summarized the staff report and noted the following:

- There is a cover letter from the applicant attached to the staff report outlining two options that the applicant was considering and there is a third option that will be posted to the website
- The proposal includes a nature protection lot that would be approximately 12.35 hectares and staff had engaged with BC Parks regarding a possible land transfer however at that time BC Parks did not want to move forward as local First Nations had expressed interest in receiving the lands
- The applicant has been in discussion with staff to arrange talks with the Penelakut First Nation to discuss the option of a land transfer of a portion of the nature protection area.

Discussion ensued.

GL-2023-48

It was Moved and Seconded,

that Galiano Island Local Trust Committee direct staff to proceed with application GL-RZ-2021.2 (Matheson/Bairstow) including preliminary engagement with First Nations.

CARRIED

14.2 GL-RZ-2023.2 (McElhanney) – Staff Report

Island Planner Stockdill summarized the staff report and discussion ensued.

GL-2023-49

It was Moved and Seconded,

that Galiano Island Local Trust Committee direct staff to proceed with application GL-RZ-2023.2 (McElhanney) including preliminary engagement with First Nations.

CARRIED

14.3 GL-RZ-2022.2 (Hayes) – Staff Report

Island Planner Stockdill summarized the staff report.

GL-2023-50

It was Moved and Seconded,

that Galiano Island Local Trust Committee request staff to schedule a Community Information Meeting and a Public Hearing for Bylaw No. 287, cited as “Galiano Island Official Community Plan Bylaw No. 108, 1995, Amendment No. 2, 2022” and Bylaw No. 288, cited as “Galiano Island Land Use Bylaw No. 127, 1999, Amendment No. 2, 2022”.

CARRIED

15. LOCAL TRUST COMMITTEE PROJECTS

Received

16. REPORTS

16.1 Work Program Reports

16.1.1 Active Projects Report Dated July 2023

Received

16.1.2 Future Projects Report Dated July 2023

Received

16.2 Applications Report Dated July 2023

Received

16.3 Trustee and Local Expense Report Dated May 2023

Received

16.4 Adopted Policies and Standing Resolutions

Received

16.5 Local Trust Committee Webpage

A Trustee noted that there is now a page on the website called Fact Check whereby members of the public can ask a question that will be answered by staff.

16.6 Islands Trust Conservancy Report - None

Received

17. NEW BUSINESS

GL-2023-051

It was Moved and Seconded,

that Galiano Local Trust Committee forward the Passage Island Bylaws in reference to shoreline setbacks for Wise Island to the Advisory Planning Commission for consideration.

CARRIED

18. UPCOMING MEETINGS

18.1 Next Regular Meeting Scheduled for September 12, 2023 at the Galiano North Community Hall, Galiano Island

19. TOWN HALL

- A member of the public raised a concern with a Trustee's potential conflict of interest and to revisit previous decisions made by previous Trustees
- The Chair indicated that it is not the jurisdiction of the LTC to rule on conflict of interest, and that it is the Trustee's responsibility to recuse themselves or not
- A member of the public noted that policy and precedent in regional Bylaws as well as those that previous LTCs have been following in regard to the configuration of Lots 85 and 86 should be taken under consideration
- A member of the public stated that the property owners associated with Lot 85 and 86 applications have taken it upon themselves to transfer land to First Nations, however it has taken 32 years to get this far and the property owners are aging and might not be able to enjoy their properties. They urge the LTC to move this application along in a timely manner
- A member of the public noted that Trustee Gauvreau's wish to slow down when considering the rezoning of Lots 85 and 86 is likely not related to the land transfer to First Nations but rather possible concerns about the rural residential lots and how they fit into the OCP requirements. They further inquired if Option 3 of this application is now the only option being considered and also noted that the lands being transferred are landlocked
- Island Planner Stockdill confirmed that Option 3 is the current option being considered
- A member of the public suggested that Trustees receive additional staff support when considering precedent setting applications so that they can be moved along in a timelier manner
- A member of the public indicated that the road going through the properties is paved and that they are willing to discuss emergency access options and other options as concerns arise
- A member of the public asked if there is any conflict between First Nations regarding the land that is being considered for transfer, and further asked about the mechanism in place to do a land transfer
- The Planner noted that they are receiving a legal opinion regarding land transfer to First Nations. They also stated that other First Nations have not expressed interest in the land as of yet but communications will be sent forward to determine if there are any expressions of interest

- A member of the public thanked the owners for considering donating land back to First Nations, stated they are open to talking about safety and access issue and are willing to work together
- A member of the public asked if the upcoming meeting between the LTC and First Nations will be open or closed
- The Chair replied that they will seek clarity on that.

20. CLOSED MEETING - None

21. ADJOURNMENT

By general consent the meeting was adjourned at 4:00 pm.

Tim Peterson, Chair

Certified Correct:

Lisa Millard, Recorder

Follow Up Action Report

Galiano Island

14-Mar-2023

Activity	Responsibility	Dates	Status
1 15.1 1. GL LTC gave First Reading to draft Bylaw Nos. 283 and 284. Staff to update bylaw and post to the website. - DONE 2. Staff to send out referrals for proposed Bylaws Nos. 283 and 284. DONE 3. Proposed Bylaw Nos. 283 and 284 are consistent to the Islands Trust Policy Statement. 4. Staff to schedule a CIM and Public Hearing for proposed Bylaw Nos. 283 and 284 after legal opinion is received.	Jas Chonk Kim Stockdill	Target: 28-Apr-2023	In Progress
2 17.1 Staff to request APC to investigate siting and use options in relation to Galiano Island. (ON HOLD)	Kim Stockdill	Target: 07-Apr-2023	In Progress

06-May-2023

Activity	Responsibility	Dates	Status
1 5.1 GL-RZ-2014.1 (Crystal Mountain) - staff to initiate and conduct further consultation with the Penelakut Tribe	Brad Smith Jas Chonk Kim Stockdill	Target: 20-May-2023	In Progress

09-May-2023

Activity	Responsibility	Dates	Status
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Follow Up Action Report

Galiano Island

09-May-2023

Activity	Responsibility	Dates	Status
1 Groundwater Sustainability Project - Staff to further engage with Penelakut FN, Coast Salish Peoples of Galiano Society, and the Georgeson Family. (IN PROGRESS)	Kim Stockdill	Target: 28-Jul-2023	In Progress

20-Jun-2023

Activity	Responsibility	Dates	Status
1 14.2 GL-ALR-2023.1 - Staff to forward the application onto the ALC on the condition that the ALC considers requiring an animal corridor along southern property line of proposed lot 1. Staff to update TAPIS, and update ALC portal.	Charly Caproff	Target: 07-Jul-2023	Completed
2 14.3 GL-RZ-2023.1 1. Direction for staff to prepare bylaws. LC to create bylaw number and bylaw template. Planner to draft bylaw. At this time, only a LUB amendment bylaw is required. OCP amending bylaw *may be* required. 2. Staff to report back with regards to: emergency access, public trails, Groundwater Assessment requirements, access to four properties south of subject property, amenity housing, and consultation options.	Jas Chonk Kim Stockdill	Target: 25-Aug-2023	In Progress
3 15.1 Bylaw Nos. 231 & 232 adopted. Staff to update bylaw adoption dates, post to website, and consolidate with LUB and OCP. Staff to notify GIS that TapisMap must be updated due to bylaw adoption.	Jas Chonk	Target: 14-Jul-2023	Completed

Follow Up Action Report

Galiano Island

20-Jun-2023

Activity	Responsibility	Dates	Status
4 17.2 Bylaw Enforcement Notification Bylaw No. 289 gave First, Second, and Third Reading. Bylaw No. 289 to be sent to EC for approval.	Chloe Cookson Jas Chonk Warren Dingman	Target: 14-Jul-2023	Completed
5 17.3 LTC request the EC considers releasing a summary of the legal opinion in regards to Exemption 'p' for the Groundwater Sustainability Project. Staff to draft RFD and send to EC for consideration.	Kim Stockdill	Target: 28-Jul-2023	Completed

11-Jul-2023

Activity	Responsibility	Dates	Status
1 9.1 GL Minutes from June 20, 2023 adopted as is.	Emily Bryant	Target: 18-Jul-2023	Completed
2 14.1 Staff to proceed with GL-RZ-2021.2 (DL 86). Early engagement letter to be sent to FN and staff to provide further information on road access, beach access, site layout, etc.	Kim Stockdill	Target: 29-Sep-2023	In Progress
3 14.2 Staff to proceed with GL-RZ-2023.2 (DL 85). Early engagement letter to be sent to FN and staff to provide further information on road access, beach access, land transfer (Resource lot?), etc.	Kim Stockdill	Target: 29-Sep-2023	In Progress
4 14.3 Staff to schedule CIM and Public Hearing for GL-RZ-2022.2 (Bylaw Nos. 287 & 288) once Groundwater Assessment is received. CIM & PH tentatively scheduled for October or November 2023.	Jas Chonk Kim Stockdill	Target: 25-Aug-2023	In Progress

Follow Up Action Report

Galiano Island

11-Jul-2023

Activity	Responsibility	Dates	Status
5 16.1 Staff to bring forward staff report for public participation options regarding the work program.	Kim Stockdill	Target: 01-Sep-2023	In Progress
6 Staff to set up meeting with Penelakut FN and the GL LTC to discuss DL 85 and 86, and other rezoning applications.	Kim Stockdill	Target: 22-Sep-2023	In Progress
7 17.1 Staff to refer Passage Island bylaws in reference to shoreline setbacks for Wise Island to Galiano APC for consideration.	Emily Bryant Kim Stockdill	Target: 28-Jul-2023	Completed

02-Aug-2023

Activity	Responsibility	Dates	Status
1 Staff to request legal counsel to summarize legal opinion regarding exemption 'p' in the draft Groundwater DPA.	Kim Stockdill	Target: 01-Sep-2023	Completed

From: Jennifer Margison <[REDACTED]>
Sent: Thursday, July 20, 2023 3:58 PM
To: Ben Mabblerley <bmabblerley@islandstrust.bc.ca>; Lisa Gauvreau <lgauvreau@islandstrust.bc.ca>; Timothy Peterson <tpeterson@islandstrust.bc.ca>; SouthInfo <SouthInfo@islandstrust.bc.ca>; Kim Stockdill <kstockdill@islandstrust.bc.ca>
Subject: Galiano and Tofino's Water Crisis

Dear LTC

Further to my comments at the July LTC meeting, asking what our LTC is - or we will all pay the price doing about conserving and protecting our potable water resources, is this article in the Times-Colonist this morning about Tofino's water crisis.

<https://www.timescolonist.com/local-news/we-are-subsisting-on-fog-and-dew-tofino-faces-a-water-crisis-7301290>

Quoting from the article:

"Tofino is one of the wettest places in Canada, historically receiving more than 3 meters of rain annually..."

*"...Tofino is experiencing the driest months in recorded history**since May 1, Tofino has received 19 millimeters of rain in total. On average, cumulative rainfall for the period is 249 mm.**"*

"We are subsisting on fog and dew and every night it's feeding the creeks and our reservoirs. It's a mature forest over there (Meares Island). Forty years ago they refused to log that watershed, and thank God they did."

*"Boosted by about a million visitors a year, most arriving in the summer months, Tofino's population is also growing rapidly. Census data from 2021 shows the population has increased 28% to 2,217 since 2016 - the second highest rate of growth on the island after Langford. That's put extra pressure on the town's infrastructure, including water use." **Galiano's population increase was almost 34%.***

"Law said Tofino is planning for 2% growth in developments, barring a severe drought, and water "is part of the conservation for every applicant."

"....the district has been in discussion with water haulers for two months about potentially supplying the reservoirs, noting it could take about 170 truckloads to meet the current demand."

"There are no silver bullets. All users must find ways to reduce water usage."

One of the things Galiano urgently needs is a build-out map like Gabriola has, that tells us the number of people who may be living on Galiano if potential densities under current regulatory bylaws are reached. If we don't know this, how can we continue adding density in any informed way? We need to know what our carrying capacity is in terms of water for humans and for the natural environment, the amount of septic waste that can be absorbed without polluting the marine environment, other ecosystems and domestic wells and the population size that can be supported by island resources, current infrastructure and services - roads, ferries, health care, etc. And we need to know the current state of our ecosystems. Unlike Tofino, we cannot measure what is in a reservoir but we can try and pay attention when we hear about water problems in various island locations - wells that are low or dry or have salt water intrusion. And

we can do everything possible to protect our forest cover that in turn protects recharge areas and the aquifer - forest cover being something for which Tofino is clearly thankful.

It simply cannot be business as usual or we will all pay the price nature will exact.

Sincerely,

Jennifer Margison

[REDACTED]

Galiano island

DATE OF MEETING: September 12, 2023
TO: Galiano Island Local Trust Committee
FROM: Kim Stockdill
Southern Team
COPY: Robert Kojima, Regional Planning Manager
SUBJECT: Development Variance Permit Application
Applicant: Ian Carrick
Location: Lot 44, Wise Island

RECOMMENDATION

1. That the Galiano Island Local Trust Committee amend GL-DVP-2022.4 by:
 - a. Deleting Section 2(c)vi. *[Information Note: Variance for existing outhouse]*
2. That the Galiano Island Local Trust Committee approve issuance of Development Variance Permit application GL-DVP-2022.4 (Carrick) as amended.

REPORT SUMMARY

The purpose of this staff report is to consider a Development Variance Permit (DVP) to legalize the siting of existing structures.

BACKGROUND

This DVP application is a result of a bylaw enforcement complaint (GL-BE-2021.18) for structures located within the setback from the natural boundary of the sea. The Galiano Island Local Trust Committee (LTC) Land Use Bylaw (LUB) No. 127 requires that no building or structure may be located within 7.5 metres of the natural boundary of the sea.

In order to achieve compliance, the property owner has applied for a DVP to legalize the siting of the following structures by varying the setback to the natural boundary (NB) of the sea from 7.5 metres and the interior lot line setback of 6.0 metres to:

- 0.0 metres from the NB of the sea and 5.69 metres from the interior side lot line for the existing landing and stairs that access the foreshore
- 1.8 metres from the NB of the sea for the existing western solar panel
- 1.2 metres from the NB of the sea and 1.5 metres from the interior side lot line for the existing eastern solar panel

1. Workshop and attached deck (below in red) – The workshop is used as a work area and to store tools. A variance to the front lot line (reduce to 1.55 metres) and interior lot line (reduce to 2.25 metres) is requested.
2. Water tank (below in yellow) – An existing water tank is located within the front lot line setback. A variance is requested to reduce the front lot line setback from 7.5 metres to 4.36 metres.
3. Outhouse (below in blue) – The outhouse was constructed by previous property owners. A variance is requested to reduce the interior lot line from 6.0 metres to 2.51 metres.
4. Power shed and attached deck (below in green) – The power shed was originally constructed by the previous owners as a place to sleep with constructing the dwelling in 1997. The current property owners now use the shed to house the solar battery bank and inverter. A portion of the power shed originally was constructed on the neighbouring yard and was recently moved so it is located entirely on the subject property. The property owner has indicated that moving it further west on the property would require the removal of trees. A variance to the interior lot line from 6.0 metres to 0.5 metres is requested.

The draft notice and permit are attached (Attachments 6 and 7). Staff conducted a site visit on August 31st, 2023.

A map of Wise Island, Sri Lanka, showing various numbered plots. The island is elongated and has a central waterway. Plots are numbered 1 through 50, with some plots labeled 'A', 'B', 'C', 'D', 'E', 'F', 'G', 'H', 'I', 'J', 'K', 'L', 'M', 'N', 'O', 'P', 'Q', 'R', 'S', 'T', 'U', 'V', 'W', 'X', 'Y', 'Z'. A specific plot, numbered 41, is highlighted with a black border and a black arrow pointing to it from the text 'SUBJECT PROPERTY' at the bottom. The 'Trincomali Channel' is labeled on the left side of the map. The island is surrounded by water, and a small inset map of Sri Lanka is visible in the bottom right corner.

The property is designated Small Lot Residential (SLR) in the Galiano Island OCP. **DPA 2 – Marine and Shoreline**, is designated on the property and adjacent water area (Attachment 1). The siting of the existing structures will require a Development Permit (GL-DP-2023.1). As part of this DP application an Environmental Assessment Report prepared by RP Bio Keith Erickson dated February 23, 2023 was received. Further information from this report is discussed below. This DP application is delegated to staff.

Land Use Bylaw (LUB)

The property is zoned as **Small Lot Residential (SLR)** and the adjacent water area **Marine (M)** in the Galiano Island LUB. The residential dwelling on the subject property conforms to zoning. The Galiano Island LUB prohibits the use of an accessory building or structure to be used for human habitation.

Development Variance Permit

Rationale for variance

The applicant has provided a three-page document outlining the rationale for the requested variances (see Attachment No. 3). Below summarizes the rationale:

1. Stairs – The stairs provide access to this boat-only access property. The community dock is located 0.5 kilometres away which makes transportation of supplies difficult. The stairs also provide access to the water during medical or fire emergencies.
2. Solar Panels – Wise Island is not connected to a power grid therefore solar power is a necessity. The panels are located in a spot which maximizes the available sunlight. Moving the panels away from the shoreline while ensuring proper solar exposure is received would require the removal of trees and other vegetation.
3. Decks - The original owners installed a deck with railings to provide security from the cliff and to prevent cliff erosion. Given the very steep cliff, the applicant believes the deck serves an important safety function, and secure railings would be necessary even if the deck was not present.

The other structures on the property (power shed, work shop, water tank, and outhouse) has been on the property for many years and most of which were constructed by the previous property owner. The applicant is requesting to legalize the siting of the existing structures.

Impact of Variance on Neighbouring Properties and Ecosystems

The properties facing west on Wise Island have solar panels located on top of the shoreline cliff to enhance the collection of solar energy. In addition, some of these properties also have stairs accessing the shoreline. This pattern of development is similar with other Wise Island properties.

The structures located within the natural boundary of the sea have a visual impact for not only the neighbouring properties, but also when viewed by boat. The visual impact of the solar panels would still be apparent even when complying with the setback requirements. These are inherent impacts of those islands communities with no electrical power.

The siting of the workshop would have minimal impact on the neighbours as the surrounding area is forested. Although the existing power shed has the most visual impact to the neighbouring property, moving the shed would require tree and stump removal.

Intent of the Regulations being Varied

The overall purpose of the setback to the natural boundary of the sea regulation is to minimize impacts on adjacent properties and the public realm related to:

- Protection of the natural shoreline environment and sensitive ecosystems.

- Protection of development from natural hazards, particularly with sea level rise and increased storm surges.
- Limiting the visual impact of development on adjacent properties.
- Protection of views, scenic areas and distinctive features contributing to the overall visual quality and scenic value of the Trust Area.
- Maintaining privacy.
- Establishing a consistent development pattern within a local area.
- Public Access.
- Maintaining a rural character.
- Establishing certainty with respect to residential development by maintaining consistent siting regulations.Potential impacts of granting a variance

Granting a variance can potentially create an expectation in the community with regard to future applications. As variances consider the unique circumstances pertaining to a particular situation that may warrant the relaxation of a specific zoning regulation, each application should be evaluated on its own merits.

Environmental Assessment

The applicant provided an Environmental Assessment Report as part of the DP application. This assessment report provides comments and recommendations on the impact of either keeping the structures in place or removing them. These are summarized below:

1. Stairs – The report states that “the ecological impact of the existing marine access stairs is minimal. If removal is required, the large diameter cedar log could be retained on site to provide natural coarse woody debris habitat.”
2. Solar Panels – The report states that “the existing panels are established on a previously cleared and heavily disturbed site (1995) that has been, and will continue to be, maintained to provide views and light for the house. [The panels] maximize the use of naturally open shoreline / cliff areas and they can coexist with modest natural herbaceous vegetation growth within and around their footprint. It is therefore recommended that PV panels remain in their current location.”
3. Decks – The report states that “the lower deck has a direct impact to approximately 10m² of sensitive habitat along the top of the shoreline bank. In consideration of the potential requirement to remove the lower deck, and keeping DPA2 exemptions in mind, achieving the successful restoration/enhancement of the natural ecological community through its removal, is uncertain at best.”

Circulation

DVP Notices were circulated to surrounding property owners and residents on August 21, 2023. The notification period will end on September 1, 2023.

Nine submissions in support of the application has been received to date (Attachment 4). One submission has been received objecting to the variances expressing concerns with lack of privacy, retention of native vegetation and green space. Any submissions received after the agenda deadline but prior to the LTC meeting will be forwarded to Trustees and the applicant and will be reported at the meeting.

First Nations

The Islands Trust reviews all applications to ensure the preservation and protection of cultural heritage, archaeological sites, and ancestral places. As reviewed, the application is consistent with respect to LTC Standing Resolutions on reconciliation. Notwithstanding, to provide applicants with awareness regarding unknown archaeological areas, staff forwarded the Islands Trust Chance Find Protocol and the provincial Archaeological Branch guidelines on Heritage Act directly to the applicants with the initial application.

Rationale for Recommendation

Staff is recommending that the proposed variance permit be approved with amendments in order to bring the existing decks, solar panels, stairs above the natural boundary of the sea and landing into compliance. Staff is of the opinion that the following should be considered by the LTC:

1. Removal of outhouse - Outhouses, also known as a 'privy', are regulated by the Island Health *Sewerage System Regulation*. The Sewerage Disposal Regulation prior to 2004 did allow a privy to be a sewerage system. However the current Sewerage System Regulation, adopted in 2004, does not consider a privy to be a 'sewerage system'. The Regulation defines a sewerage system as "a system for treating domestic sewage that uses one or more treatment methods and a discharge area, but does not include a holding tank or a privy"; therefore, a privy is not a permitted use for a sewerage system.

LTC Option: Staff recommends the LTC amends GL-DVP-2022.4 by deleting Section 2(c)vi. If the variance for the outhouse is not approved, the property owner is required to move the outhouse so it complies with setbacks or remove the outhouse.

2. Removal of a portion of Lower Deck – The lower deck was originally constructed in 1996 by the previous property owner. The siting of the deck complied with the Galiano Island LUB at that time. When the Galiano Island LUB No. 127 was adopted in 1999, the setback to the natural boundary of the sea was amended to include 'structures'. Therefore due to the adoption of Bylaw No. 127 the siting of the lower deck was legal non-conforming.

The current property owner then rebuilt the lower deck in 2015 due to decomposing structural posts. As a survey site plan was not prepared after the original lower deck was constructed, it is unknown if the reconstructed deck is within the original footprint. If the lower deck is in fact larger than the original deck constructed in 1996, the siting of the deck would no longer retain the legal non-conforming status and a variance is required.

LTC Option: Although legal non-conforming status cannot be determined, by comparing the size of the lower deck from pictures taken at construction in 1996 to pictures taken from a recent site visit, the difference is negligible. The LTC may want to consider amending the draft permit by changing the setback from the Natural Boundary of the Sea for the lower deck from 0.3 to 3.0 metres. This would require the property owner to remove the cantilevered portion of the deck to be removed. Due to safety issues along the top of slope, staff support retaining a portion of the lower deck with a railing.

Rationale to amend and for approval are as follows:

- Most Wise Island property owners in this area have located solar panels and stairs to access the foreshore within the setback to the natural boundary of the sea. With this development pattern, the issue of some accessory structures should be reviewed for all properties on Wise Island rather than just one property.
- Wise Island is an off-grid, boat access only island. Locating solar panels to optimize sunlight is reasonable, and stairs to the foreshore for access for general use or emergency use is reasonable.

- Staff would typically not support a variance for new decks within the setback to the natural boundary of the sea. However, as the lower deck has been in place for over 25 years, and the Environmental Assessment report states that removing the deck could have more of an impact on the shoreline rather than leaving it in place, and safety concerns with the steel slope, staff support the variance for the lower deck as sited.
- Balancing the basic needs of Wise Island residents (lack of electrical power) with the visual impact of solar panel.

ALTERNATIVES

The LTC may consider the following alternatives to the staff recommendation:

1. Further amend the permit and approve the permit as amended

The LTC may opt to make amendments to the permit as circulated provided the amendments *do not* allow further encroachments. Recommended wording for the resolution is as follows:

That the Galiano Island Local Trust Committee amend GL-DVP-2022.4 by____; and,

That the Galiano Island Local Trust Committee approve issuance of GL-DVP-2022.4 (Carrick) as amended.

2. Request further information

The LTC may request further information prior to making a decision. If selecting this alternative, the LTC should describe the specific information needed and the rationale for this request. Recommended wording for the resolution is as follows:

That the Galiano Island Local Trust Committee request that the applicant submit to the Islands Trust

3. Deny the application

The LTC may deny the application. Recommended wording for the resolution is as follows:

That the Galiano Island Local Trust Committee refuse application GL-DVP-2022.4 (Carrick).

Submitted By:	Kim Stockdill, Island Planner	September 5, 2023
Concurrence:	Robert Kojima, Regional Planning Manager	September 5, 2023

ATTACHMENTS

1. Site Context
2. Photos and Plan
3. Applicant Cover Letter
4. Correspondence
5. DPA Assessment Report by Keith Erickson (RP Bio) dated February 23, 2023
6. Notice
7. Draft Development Variance Permit

ATTACHMENT 1 – SITE CONTEXT

LOCATION

Legal Description	Lot 44, District Lot 6, Wise Island, Cowichan District, Plan 19676
PID	003-610-527
Civic Address	N/A
Lot Size	0.15 ha (0.37 ac)

LAND USE

Current Land Use	Residential
Surrounding Land Use	Residential and marine.

HISTORICAL ACTIVITY

File No.	Purpose
GL-DP-2023.1	Development Permit – in progress

POLICY/REGULATORY

Official Community Plan Designations	Galiano Island OCP No. 108, 1995 – Small Lot Residential (SLR) Development Permit Area 2 – Shoreline and Marine
Land Use Bylaw	Galiano Island LUB No. 127, 1999: The subject property is zoned Small Lot Residential (SLR)
Other Regulations	N/A
Covenants	There is no covenant registered on the property
Bylaw Enforcement	GL-BE-2021.18 – active file regarding structures within the setback from the natural boundary of the sea.

SITE INFLUENCES

Islands Trust Conservancy	There are no Conservancy covenants or properties in the direct area; therefore no referral has been made to the Board.
Regional Conservation Strategy	The subject property appears to be within the MEDIUM relative value area for important natural areas in the Galiano Island Local Trust Area.
Species at Risk	N/A
Sensitive Ecosystems	N/A
Hazard Areas	N/A
Archaeological Sites	Mapping indicates archaeological potential on the property. Notwithstanding the foregoing, and by copy of this report, the owners and

	applicant should be aware that there is still a chance that the lot may contain previously unrecorded archaeological material that is protected under the <i>Heritage Conservation Act</i> . If such material is encountered during development, all work should cease and Archaeology Branch should be contacted immediately as a <i>Heritage Conservation Act</i> permit may be needed before further development is undertaken. This may involve the need to hire a qualified archaeologist to monitor the work.
Climate Change Adaptation and Mitigation	No additional impacts to GHG emissions anticipated as a result of this application.
Shoreline Classification	Rock Shoreline - Low Rock/Boulder
Shoreline Data in TAPIS	N/A

ATTACHMENT 2 – MAPS, PLANS, DRAWINGS, PHOTOGRAPHS

2.1 ORTHOZONING



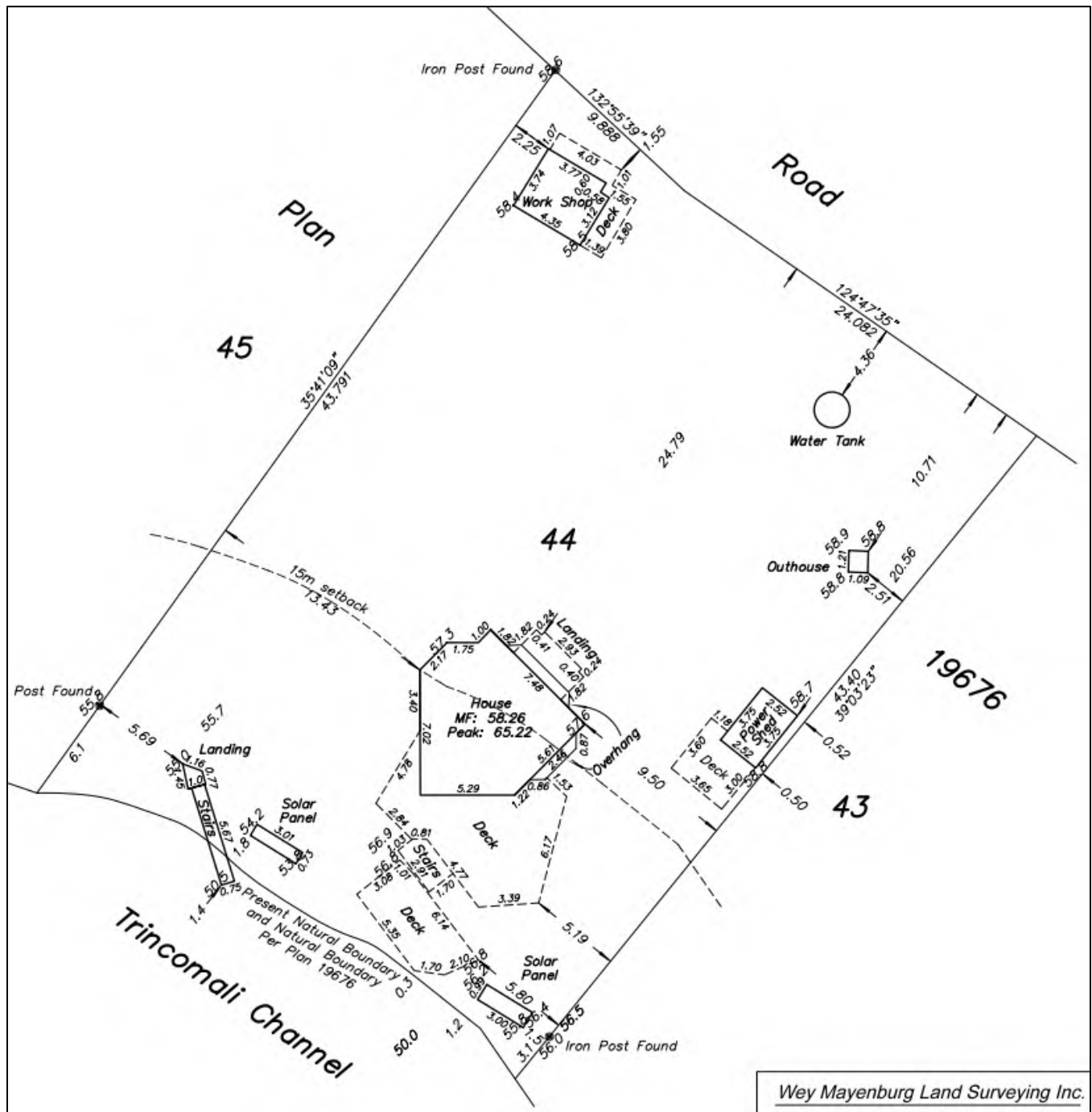
2.2 DPAs



2.3 TWO METRE CONTOURS



2.4 SURVEY PLAN



2.5 PHOTOGRAPHS



LOOKING EAST TOWARDS PROPERTY



LOOKING NORTHEAST (MULTIPLE WISE ISLAND PROPERTIES WITH STAIRS AND SOLAR PANELS)

2.5 PHOTOGRAPHS (CONT'D)



Picture of Existing Lower Deck
(Photo from Environmental Assessment prepared Keith Erickson)



Picture of Lower Deck when constructed (1995)
(Photo from applicant)

2.5 PHOTOGRAPHS (CONT'D)



Picture 1

Pictures of stairs that access foreshore and landing (on top of stairs). Applicant has now removed lower portion of stairs that extend beyond the natural boundary of the sea (see picture no. 3).

(Photos from Environmental Assessment prepared Keith Erickson)

Picture 2



Picture 3

2.5 PHOTOGRAPHS (CONT'D)

Pictures of Solar Panels
(Photos from Environmental Assessment prepared Keith Erickson)



2.5 PHOTOGRAPHS (CONT'D)

Work shed
(taken Aug 31, 2023)



Outhouse



2.5 PHOTOGRAPHS (CONT'D)

Backside of Power Shed
(taken Aug 31, 2023)



Cantilevered Lower Deck



Purpose of Application

The purpose of the attached development variance permit application is to address the specific concerns that were mentioned in an Islands Trust email sent to the lot owner dated November 21, 2021. A surveyor's assessment of the areas of concern is attached to this application for variance.

The various by-laws set in place by the Islands Trust makes clear that the key principles of conservation and environmental protection are foremost in the mandate of Island's Trust. The diversity of the southern Gulf Islands in both flora and fauna requires this framework to provide guiding principles in development. I acknowledge that each island presents its own unique challenges and the Islands Trust is to be commended with its work in ensuring that the principles and philosophies outlined in the bylaws are observed.

Background on Wise Island

Wise Island is a relatively small, off-grid water access island in Trincomali Channel. I understand Wise Island was subdivided into 50 lots in or about 1963. Wise Island is not a serviced island and has only a central footpath. As an off-grid island, the community depends mainly on solar energy. This is evidenced by many properties having solar panels situated to maximize available sunlight. Properties on Wise Island are accessed by two community docks at either end of the island or by stairs installed on individual properties.

Lot 44

Lot 44 measures 15,324 square feet, equivalent to 0.142 hectares. The lot is angular in shape with the west-facing boundary being Trincomali Channel. The property is situated on a high bank in the middle of the island and the ocean is reached by the use of the existing stairs. We have owned Lot 44 since 2007.

Correspondence with Islands Trust

I received a letter from the Bylaw Officer dated 05 October 2021, indicating that there are "concerns about structures located within the required setback from the natural boundary of the sea". I called the Bylaw Officer immediately and he explained that he would look into it and get back to me. I received an email at a later date indicating that the access stairs, the deck and the solar panels are within the natural setback boundary. That discussion has led to the current variance application.

Background on the Existing Structures

I would like to note at the outset that the previous owner put the mentioned structures in place many years ago. My understanding is that the previous owner made every attempt possible to minimize the impact associated with those structures, while recognizing that they were, and are, necessary for the use of the property, particularly being positioned on a high bank with no utilities or emergency access by road.

The structures in question predated our ownership as they were built in 1997. As I understand it, that means they should be protected under Section 529 of the Local Government Act and Section 2.26 of the Galiano Land Use By-Law, but I have prepared this variance permit application in case that understanding is not correct.

Overview of the Variance Permit Application

Our goals for this application are threefold: first, to maintain safe access to the property for practical use from the ocean, as well as for fire and personal emergencies. Second, to continue to primarily use clean solar energy and avoid unnecessary generator use. Third, to preserve and encourage the natural flora of the site and maintain its stability.

Stairs

The foreshore of Lot 44 has a high bank that extends along the entire property. The stairs were installed on top of a fallen log and have been in place for more than a quarter century. They are now inherent to the landscape. I believe that these stairs serve three vital practical purposes:

- **Access:** Other than the stairs, the only access to the property for heavy goods is via one of the island's community docks on the narrow and hilly island pathway. The closest dock is half a kilometre away on that path. Transportation of supplies for repairs and maintenance could become impractical or even impossible in some cases without the stairs.
- **Emergencies:** In the event of a medical emergency, the stairs provide water access to get to a clinic at Salt Spring or Galiano as quickly as possible. That situation has of course arisen many times at Wise Island over the years.
- **Fire safety and protection:** Wise Island's fire protection system involves volunteers taking one of the island's fire pumps down to the ocean, starting it, and using that pump from the ocean in front of the property to limit or put out the fire. Despite the challenges involved, the system has been used successfully to put out Wise Island fires in the past in exactly that manner. Without the stairs it would not be possible to use that system on Lot 44 in the event of a fire. And without any other fire service on the island, the consequences of not being able to launch the fire pump could be disastrous for more than just one property.

I would note that the stairs are well integrated in the site after such a long period in place, and again they were built on the structure of a fallen yellow cedar log already in place. I would be very concerned about what could happen to the stability of the soils on the bank now if the stairs were to be extracted and removed.

Solar panels

Wise Island is not connected to the power grid, and as an off-grid island solar power is therefore a necessity. The main alternative is reliance upon a generator, which we would like to avoid so as to minimize unnecessary carbon emissions. The west-southwest orientation of the property enabled the installation of solar panels by the original owners to occur without the removal of many trees, and we have kept it that way to minimize the environmental impact of the panels. Moving the solar panels away from the cliff face while ensuring they still receive enough solar exposure to function properly would require the removal of considerable trees and vegetation from the foreshore to the panels. If we moved the solar panels back to the front wall of the cabin, the decreased ability to utilize the solar energy would likely require increased generator usage to offset power loss, especially in the darker seasons.

Deck

The original owners also installed a deck with railings to provide security from the cliff and to prevent cliff erosion. The design uses vertical loading beams to minimize the impact on the property.

Given the very steep cliff, we believe the deck serves an important safety function, and secure railings would be necessary even if the deck was not present.

As the current owners of the property, we have observed an increase in plant life due to the environmental protection in the area of the deck compared with non-protected areas of the cliff face. The vegetation now on this bank has flourished from the protection of the hot drying sun and rain erosion by both the deck and solar panels. I would be concerned about the impact on this growth from the removal of the deck, as well as the potential impact on the slope from the removal of the deck footings.

Conclusion

There are important practical differences on Wise Island compared to a serviced island like Galiano, with a road network – in particular around water access, emergencies and fire protection. I believe a balanced approach is needed to ensure safety and accessibility while protecting the natural landscape.

We strongly believe the existing structures are consistent with the objectives of ensuring safe access, minimizing unnecessary carbon emissions and preserving the integrity of the local environment, and we request that a variance be granted for these structures.

June 2, 2023

Kim Stockdill, Island Planner
Galiano Island Local Trust Committee

Dear Kim,

Thank you for sending us notice of the resolution to allow a Development Variance Permit for Lot 44, District Lot 6, Wise Island, Cowichan District, Plan 19676 (PID: 003-610-527).

We are the owners of [REDACTED] Wise Island, the property adjacent to the lot in question on its west side. We have been the owners of [REDACTED] since 1994 and now are both BC Seniors.

We support the request for the Development Variance Permit for the existing structures on Lot 44 identified on Schedule A of the notice sent to us.

In fact, we have concerns should the Development Variance Permit not be granted. The "natural boundary of the sea" on our side of Wise Island is cliff. Access to and egress from our properties are safety issues in, for example, a medical emergency. Direct access to the sea is essential to launch floating pumps in the case of a serious fire. Without the existing structures on Lot 44, accessibility and emergency response in our immediate vicinity are compromised.

Life on Wise Island requires a degree of self-sufficiency. At the same time, overall safety and community well-being necessitate a degree of inter-dependence. We have a locally governed water system and a separate Wise Island Community Association. (The latter, among other things, deals with community docks, fire fighting equipment, and a communal first aid station). In our opinion, local governance has functioned well in the almost 30 years we have been Wise Island property owners. We also understand the conflicting requirements among the various governance bodies and stakeholders involved. This does need to be sorted out. We hope that common sense prevails.

[REDACTED]

Nancy J. Woodham

[REDACTED]

[REDACTED]

Robert J. Woodham

[REDACTED]

From: David Thomas <[REDACTED]>
Sent: Saturday, June 10, 2023 6:38 AM
To: SouthInfo <SouthInfo@islandstrust.bc.ca>
Subject: Variance Permit GL-DVP 2022.4

To Kim Stockdill,

We would like to support the request for a variance by Lot 44, District 6, Wise Island.

Best Regards

Dave Thomas & Malin Persson
[REDACTED]

--

Persson-Thomas Family
[REDACTED]

From: Allison Evans <[REDACTED]>
Sent: Wednesday, June 14, 2023 3:47 PM
To: Allison Evans <[REDACTED]>; Brad Smith <bsmith@islandstrust.bc.ca>;
lgauvreau@islandstrust.bc.ca; Kim Stockdill <kstockdill@islandstrust.bc.ca>; Ben Mabberley
<bmabberley@islandstrust.bc.ca>; SouthInfo <SouthInfo@islandstrust.bc.ca>; Timothy Peterson
<tpeterson@islandstrust.bc.ca>
Subject: Wise Island proposed bylaw amendments June meeting

Good Afternoon,

I am writing to you regarding the proposed Wise Island bylaw amendments. I am a property owner on Wise Island and do not support all of the proposed bylaw changes that have been presented to you by the Wise Island Community Association.

Specifically, the proposed amendment to the side setback from 6m to 3m. I realize that our lots are small compared to Galiano and Parker Island, but I feel that to maintain privacy, native vegetation and green space - Wise Island needs to maintain its current front (7.5m), side (6m), and rear (7.5m) lot setbacks.

In regard to owners who have installed or built structures (solar panels, propane tanks, stairs, utility sheds) on the side setbacks, we need to recognize this as an issue that needs to be upheld in accordance to the current Island Trust bylaws. While I understand that they may have had reasons, such as not wanting to obstruct views or smell the odor from their compost piles or outhouses, having structures on the side setbacks presents a clear issue of not only violating existing bylaws but also creating issues between neighbours- which I am confident are things everyone in the Wise Island community would hope to avoid. It is my view that in the best interest of everyone on Wise Island, we address these structures and acknowledge that they need to be removed from the 6m side setback.

Last year at the Wise Island AGM I supported the notion of addressing bylaw amendments. I am in support of stairs and solar panels on the front setback only as they are necessary for access and clean energy.

Unfortunately, I am not able to attend the June meeting, but please email me at your convenience with any questions or comments.

Thank you,
Allison Evans
[REDACTED]

Attached 3 photo of solar panels, utility shed, and outhouse [REDACTED]
[REDACTED] - this is not acceptable in the Gulf Islands.

Attachments:



3:33



October 19, 2021
11:45 AM

Edit



📷 LIVE ▾





From: [REDACTED] <[REDACTED]>
Sent: Sunday, August 13, 2023 3:59 PM
To: SouthInfo <SouthInfo@islandstrust.bc.ca>
Subject: Letter of Support re: GL - DVP-2022.4 - Lot 44 Wise Island

Via Email southinfo@islandstrust.bc.ca

Islands Trust

Attention: Kim Stockdill

Re: GL - DVP-2022.4 - Lot 44 Wise Island (the "Application")

We are the owners of lot [REDACTED] on Wise Island.

We write in support of GL - DVP-2022.4 - Lot 44 Wise Island for the Development Variance Permit.

Thank you for your attention to this matter.

Best regards,

Todd Rogers

Lot [REDACTED] Wise Island

From: Gerri York <[REDACTED]>
Sent: Monday, August 21, 2023 11:11 AM
To: SouthInfo <SouthInfo@islandstrust.bc.ca>
Subject: Attention:- Kim Stockdill, Planner. Re: GL-DVP-2022.4-Lot44 Wise Island

August 21, 2023

To:- The Islands Trust by [email.....southinfo@islandstrust.bc.ca](mailto:southinfo@islandstrust.bc.ca)

Attn:- Kim Stockdill, Planner

Re: GL-DVP-2022.4-Lot 44 Wise Island (the “Application.”)

To Whom it May Concern

We are the owners of [REDACTED]

We write in support of GL-DVP-2022.4-Lot 44 Wise Island for the development Variance Permit to allow the existing structures mentioned in the application to be within the 6 metre setback on each side, 7.5 metres from the posterior lot boundary, and 7.5 metres from the natural boundary of the sea.

Thank you for your attention to this matter.

Kind regards,

Gerri & John York

[REDACTED]

From: june macnab <[REDACTED]>
Sent: Wednesday, August 23, 2023 4:50 PM
To: SouthInfo <SouthInfo@islandstrust.bc.ca>
Subject:

M.stockdill planner

Re Gl - Dvf 2022-4 lot 44 wise island

I am the owner of lot [REDACTED] wise island and received a copy of an application for various variances for rhonda and ian carricks lot 44. I have no objection as they are responsible and respect-ful owners.

June macnab
[REDACTED]
[REDACTED]
[REDACTED]

From: David Maglio <[REDACTED]>
Sent: Saturday, August 26, 2023 10:04 AM
To: SouthInfo <SouthInfo@islandstrust.bc.ca>
Cc: Ian Carrick <[REDACTED]>; David Maglio <[REDACTED]>
Subject: Re: GL - DVP - 2022.4 - Lot 44 Wise Island (the "Application")

Attention: Kim Stockdill, Planner

I am the owner of Lot [REDACTED] on Wise Island and regularly frequent the island since acquiring the property in 2011.

As I am not an adjacent neighbour to Lot 44 I make no comment regarding the Application as it applies to structures in relation to side lot boundary issues.

However, I do support the Application as it applies to structures in relation to the posterior lot boundary (i.e. adjacent to the common path/right-of-way) and as it relates to structures in relation to the natural boundary of the sea, as those are both issues that impact the Wise Island community at large.

I would be pleased to elaborate further on my support and can be reached by email or telephone ([REDACTED]).

Regards,

David Maglio

Ann and Gord Baird
[REDACTED]
[REDACTED]

July 24, 2023

To Kim Stockdill, Islands Trust planner

Re: file number GL-DVP-2022.4 (Carrick)

As the prior owners of lot 44 on Wise Island, I (Ann) built the cabin/upper deck, lower deck, stairs/landing, power shed, and installed a small solar system. I thought it may be useful to share my knowledge of prior site conditions and a timeline for the development variance permit.

When the lot was purchased in 1995, a cabin site had already been cleared about 2+ years prior as was evidenced by the small diameter logs of mostly Douglas fir, Willow, and Red cedar that were present. At this time there was also a well-established cliff side trail on some s/w facing lots around the bay that community members enjoyed.

As a Biologist my goal was to minimize the impact on the land. All foundations, buildings, and trenching were done by hand to reduce environmental impact. As well all improvements were located to fit the natural landscape and only occur on previously impacted sites.

In 2000 I moved to Wise Island and finished the cabin and restored the impacted sites through planting of native species including cedar, fir, Oregon grape, flowering red currant, honeysuckle, broadleaf stonecrop, salal, and even a few wildflowers like white fawn lily, coral root, blue eyed Mary, broom rape, monkey flower, and others; all of which were rescued from trails where they would not survive or seeds.

Fast forward to today and my husband of 18 years and I are both 3rd term elected officials in the small rural community of Highlands. We understand the difficult role of decision makers in such situations.

Here is a brief timeline:

- Nov 1995: Purchased Lot 44, Wise Island
- April 1996: Built an 8x12 shed and deck (now called power shed)
 - Location chosen with careful measurement from 3 property pins (couldn't find the fourth) and to give space for the yew tree.
- May 1996: Built a deck on the SW side (now called the lower deck).
 - Used a small tree (Douglas fir) as one of the posts.
 - **Note:** I understand that the deck had to be partly rebuilt by current owners as the tree support eventually decayed. The cliff

below was quite unstable so to repair the deck another post had to be installed further to the west to a stable spot therefore enlarging the deck.

March 1997: Pulled a large yellow cedar log up the bank to make stairs and a small landing.

- Location chosen to fit into the topography of the cliff.

May 1997: Pier foundation for the house

- Cabin designed to fit into the previously cleared site.
- Home designed by my dad, a structural steel draftsman, and plans checked by an engineer he worked with.
- 100 bags of ready mix, spread footings dug down to hard pan, rebar, and all done by hand to minimize site damage.

Aug 1997: Barge with all the house materials arrived.

Sept 1997: Framing and lock up.

1998: One solar panel installed on lower deck

- Best location in sun with no tree damage

March 2000: I moved to Wise Island full time and did all the inside finishing with my dad.

2001: Installed second solar panel beside lower deck

- Location chosen for sun and no tree removal.

May 2005: Moved to Victoria and married Gord Baird

May 2007: We sold to Ian and Rhonda Carrick

Wise Island is a difficult subdivision since the waterfront lots are small and the ecosystems sensitive. With respect to the variances being requested by the Carricks, we are concerned that not granting this DVP and requiring structures to be removed/relocated, that more damage will occur and undue some of my own careful planning and restoration of this lot. We offer that sometimes, following exact rules rather than the intention of rules, causes more harm. This is especially true for some pre-existing homes, decks, solar installations, and stairs. We hope that the trustees will consider the unique situation on Wise Island lot 44 and grant the requested variances.

We hope this history will help the trustees with their decision making on this item.

Perhaps in the future, Wise Island will even have their own building bylaws.

Sincerely,
Ann and Gord Baird

[REDACTED]

Councillors, District of Highlands

From: [REDACTED]
Sent: Tuesday, August 29, 2023 9:49 AM
To: SouthInfo <SouthInfo@islandstrust.bc.ca>
Subject: Letter of SUPPORT re: GL - DVP-2022.4 - Lot 44 Wise Island

Via Email southinfo@islandstrust.bc.ca

Islands Trust

Attention: Kim Stockdill

Re: GL - DVP-2022.4 - Lot 44 Wise Island (the "Application")

Good day;

I am aware of Ian and Rhonda Carrick's property. I do not have any concerns or worries that they are harming the island's natural habitat or ecosystem with their structures or plans. Therefore, **I support** the Carrick's variance applications. GL - DVP-2022.4 - Lot 44 Wise Island.

Thank you for your attention in assisting in this matter being closed.

Sincerely,
Catherine MacPherson
[REDACTED]

August 29, 2023

Kim Stockdill, Island Planner
Galiano Island Local Trust Committee

Dear Kim,

Thank you for sending us notice, GL-DVP-2022.4, of the resolution to allow a Development Variance Permit for Lot 44, District Lot 6, Wise Island, Cowichan District, Plan 19676 (PID: 003-610-527).

We are the owners of [REDACTED]
[REDACTED] are both BC Seniors.

We support the request for the Development Variance Permit for all the existing structures on Lot 44 identified on Schedules A and B of the notice sent to us.

In fact, we have concerns should the Development Variance Permit not be granted. The "natural boundary of the sea" on our side of Wise Island is cliff. Access to and egress from our properties are safety issues in, for example, a medical emergency. Direct access to the sea is essential to launch floating pumps in the case of a serious fire. Without the existing structures on Lot 44, accessibility and emergency response in our immediate vicinity are compromised.

Life on Wise Island requires a degree of self-sufficiency. At the same time, overall safety and community well-being necessitate a degree of inter-dependence. We have a locally governed water system and a separate Wise Island Community Association. (The latter, among other things, deals with community docks, fire fighting equipment, and a communal first aid station). In our opinion, local governance has functioned well in the almost 30 years we have been Wise Island property owners. We also understand the conflicting requirements among the various governance bodies and stakeholders involved. This does need to be sorted out. We hope that common sense prevails.

[REDACTED]
Nancy J. Woodham
[REDACTED]

[REDACTED]
Robert J. Woodham
[REDACTED]

From: Tammy Hudgeon <[REDACTED]>
Sent: Thursday, August 31, 2023 1:53 PM
To: SouthInfo <SouthInfo@islandstrust.bc.ca>
Subject: Attention: Kim Stockdill , Planner

Islands Trust

Attention: Kim Stockdill , Planner

Re: GL - DVP-2022.4- Lot 44 Wise Island(the “Application”)

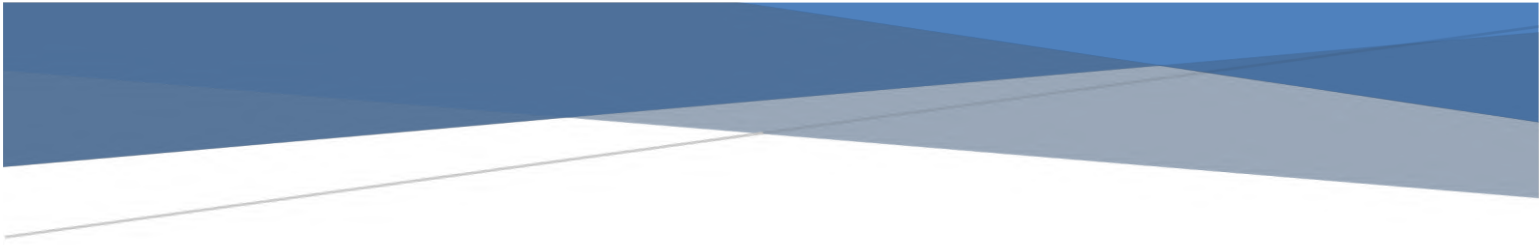
We are the owners of [REDACTED] Wise Island.

We write in support of GL - DVP-2022- Lot 44 Wise Island for the Development Variance Permit to allow the existing structures mentioned in the application to be within the 6 metre setback on each side, 7.5 metres from the posterior lot boundary, and 7.5 metres from the natural boundary of the sea.

Thank you for your attention to this matter.

Best regards,

Tammy Hudgeon
Ode Howard



DEVELOPMENT PERMIT AREA ASSESSMENT REPORT

Lot 44, DL 6, Wise Island, Plan 19676

PID 003-610-527

February 23rd, 2023

Prepared For

Ian Carrick
14528 101 Avenue
Edmonton, AB, T5N 3Z2
imcarrick@gmail.com

Keith Erickson R.P.Bio (#2132)

355 Melissa Road, Galiano Island, BC, V0N 1P0, kericksongaliano@gmail.com

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Introduction and Summary

This report has been prepared for Lot 44, DL 6, Plan 19676 Wise Island (Map 1) to provide an impact assessment and related mitigation recommendations for specific existing structures including the shoreline stairs, the 'lower deck' extension, and the solar panels, located within 15m of the natural boundary of the sea, and with respect to Development Permit Area 2 (DPA2), Marine and Shoreline Areas (Galiano Island Official Community Plan Bylaw No. 108, 1995). The report focuses on the identified specific existing structures in accordance with discussion and direction from Islands Trust Planners.

The report describes existing development on the property in relation to the natural boundary to the sea, includes a basic ecological summary of the area affected by the development, summarizes impacts to the marine and terrestrial areas, and makes recommendations for mitigating impacts of the structures to the DPA.

Development within 15m from the natural boundary of the sea, falling within the Marine and Shoreline DPA 2, includes a portion of the house, the main deck, a secondary "lower deck", a log staircase used to access the shore and two small ground mount solar panels. All structures are existing and well established at the time of this report. Historical use of the property includes the clearing of the site, including the shoreline cliff and top-of-bank, in 1995 (or before), the construction of the original lower deck, and then the construction of the house soon after.

Given the location of the existing house and ensuing residential use (views, outdoor living, gardens etc) along with the established foot trails and landscaping that are exempted within DPA2, the cumulative impacts of the shoreline stairs, the solar panels, and the lower deck to the ecological health of marine and terrestrial habitats is small. There is no impact to public access or to the transport of marine sediments.

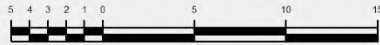
Direct impact to the ecological health of the site from the shoreline stairs is minimal. Photovoltaic (PV) panels are situated so that impacts to the ecology of the site from solar collection is minimized.

The lower deck has a direct impact to approximately 10m² of sensitive habitat along the top of the shoreline bank. In consideration of the potential requirement to remove the lower deck, and keeping DPA2 exemptions in mind, achieving the successful restoration/enhancement of the natural ecological community through its removal, is uncertain at best.

Recommendations to minimize the ongoing ecological impacts of existing structures have been made along with recommendations to minimize the impacts of their removal, should this be required.

Site Plan Of:
Lot 44, District Lot 6, Wise Island,
Cowichan District, Plan 19676
P.I.D.003-610-527

Map 2: Ecological Communities



Scale = 1:250

Dated this 18th day of January, 2022.

Distances and elevations shown are in metres.

Elevations are based on an assumed datum.

This site plan is for building and design purposes and is for the exclusive use of our client.

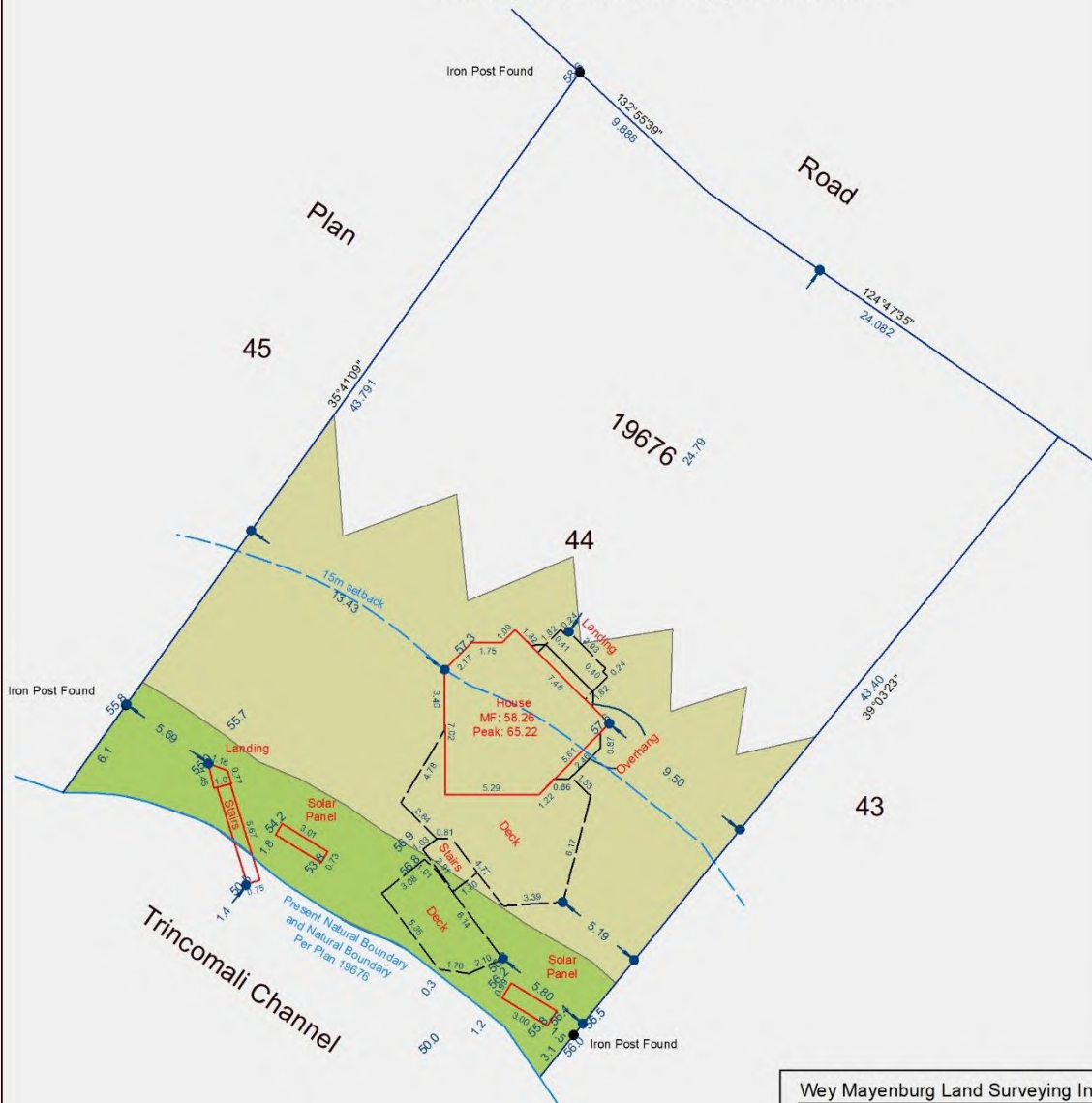
This document shows the relative location of the surveyed structures and features with respect to the boundaries of the parcel described above. This document shall not be used to define property lines or property corners.

Legend

Ecological Communities

- EC01
- EC02 (NE extent not determined)

Ecological Communities extents are interpreted by Keith Erickson, based on ground observations April 21st, 2022. They have been added as a layer to the Wey Mayenburg survey plan information.



Wey Mayenburg Land Surveying Inc.

www.weysurveys.com

#4-2227 James White Boulevard

Sidney, BC V8L 1Z5

File: 220016

Telephone (250) 656-5155

LE

Site Inventory

Terrestrial Ecosystem Description

For the purposes of this report, the assessment area was divided into 2 primary ecological communities according to slope position, soils, and observed vegetation. The descriptions for each community below are based on observations from a site visit conducted on April 21st, 2022. The locations of the ecological communities are shown in relation to land alteration, development and DPA boundaries on Map 2. The site visit focused on the areas directly surrounding the structures of concern, it did not include a formal species inventory nor was it a comprehensive assessment of the entire property.

Rare Ecosystems: The Douglas-fir – arbutus association found in ‘Ecological Community 01’ is an ‘Ecosystems-at-risk’ and is Red listed and ranked as imperilled by the Provincial Conservation Data Centre. The primary threat to these ecosystems within the Southern Gulf Islands is from residential development.

Species-at-risk: No Species-at-risk were directly observed during the site visit. A comprehensive survey was not conducted.

Western Screech-Owl (*Megascops kennicottii kennicottii*): Identified to occur with the general area on Galiano Island – last observed in 1993. Blue listed Provincially. (B.C. Conservation Data Centre. 2014. Occurrence Report Summary, Shape ID: 16165, Western Screech-Owl, kennicottii subspecies. B.C. Ministry of Environment. Available: <http://maps.gov.bc.ca/ess/hm/cdc>, (accessed Sep 28, 2021)). This species is likely not present on this site due to age of observations and due to general habitat association with stream, wetland, and riparian habitat.

Topography: The site includes a flat to gentle slope with a consistent grade of 5 to 10 percent leading down to the ‘Top of Bank’ (TOB) along the shoreline where there is a sharp transition to a small bedrock bluff with a slope more than 100%.

Hydrology: There was no surface flow or seepage, or evidence of such hydrological occurrences observed in or around the primary residence or within DPA2.

Slope Stability and Erosion: (based on field observations and subject to Geotechnical Assessment by a qualified professional)

- No evidence of soil erosion or instability was observed above the ‘Top of Bank’.
- Below the TOB, exposed bedrock and boulders appear stable, there was no evidence observed of recent failure, soil slumping or rock fall.

Ecological Community 01 (EC01)

This is a narrow band of vegetation along the crest of a roughly 6 to 8m high, southwest facing, sandstone cliff that emerges from the Trincomali Channel. Soils along the crest and on small shelves and nooks in the bedrock are very shallow, very dry, very well-drained, and poor in nutrients. The community includes a sparse cover of mature Douglas-fir (*Pseudotsuga menziesii*) and arbutus (*Arbutus menziesii*) mainly along the crest of the slope, along with scattered arbutus seedlings on the cliff, particularly under the overhanging portion of the deck. The odd Scouler's willow (*Salix scouleriana*) was also observed. The crest of the slope is dominated by a mix of native shrubs hairy honeysuckle (*Lonicera hispidula*), snowberry (*Symphoricarpos alba*), baldhip rose (*Rosa gymnocarpa*), falsebox (*Pachistima myrsinites*), dull Oregon grape (*Mahonia nervosa*), oceanspray (*Holodiscus discolor*), and kinnikinnick (*Arctostaphylos uva-ursi*), herbs such as broadleaved stonecrop (*Sedum spathulifolium*) and paintbrush (*Castilleja hispida*), and a variety of native and non-native grasses.

Current development in this community includes the lower deck, upper landing for the beach access stairs, and the solar panels. There is also a foot path that extends along the crest from the lower deck to the access stairs and roughly to the property boundary to the southeast. A variety of cultivated herbs and landscaping species have been planted in the space between the lower deck and the main house deck. This community was cleared to bare rock/soil in the mid 1990's and has been recovering since, with the exception of selected natural vegetation removed or pruned to accommodate the footprint of the structures, a view corridor from the cabin, and the foot path along the top of bank.

The ecosystem along the top of bank and on the upper portions of the cliff is characteristic of a CDFmm 02 Douglas-fir – arbutus site. The association is classified as an ecosystem at-risk by the BC Conservation Data Centre.

Slope: >100% to 15% (crest) Aspect: Southwest Site Series: CDFmm/02 (30%)/ CDFmm/00 (70%)
Tree: 5% Shrub: 10% Herb: 20% Moss: 5% Exposed Rock: 65% Organic: 5%



Photo 1: EC01 from the shoreline looking northeast. The existing dwelling and deck are on the top-left.



Photo 2: Looking from west to east across the crest of the slope. The footpath from the lower deck to the upper landing of the marine access stairs (photo taken from landing) is seen on the left of the photo.



Photo 3: Looking at the cliff and the lower deck from the shore.

Ecological Community 02 (EC02)

This community transitions from the Douglas-fir – arbutus (CDFmm02) community in EC01 along the crest of the shoreline cliff to a moister and deeper soiled Douglas-fir – salal (*Gaultheria shallon*) (CDFmm/01) forest community, extending to the back (northeast) of the property.

The canopy includes a mix of young and maturing trees and is comprised of Douglas-fir (*Pseudotsuga menziesii*), Western redcedar (*Thuja plicata*), arbutus (*Arbutus menziesii*), and the odd Scouler’s willow (*Salix scouleriana*). The understory is dominated by salal (*Gaultheria shallon*), with patches of hairy honeysuckle (*Lonicera hispidula*), baldhip rose (*Rosa gymnocarpa*) and dull-Oregon grape (*Mahonia nervosa*) becoming more common towards the crest of the shoreline cliff.

The house, the main deck and several outbuildings are located within this community. Modest foot paths are also present, but clearing is limited and the area retains much of its natural character and ecological integrity.

Slope: variable 15-20%

Aspect: South

Site Series: CDFmm/01

Tree: 10%

Shrub: 10%

Herb: 30%

Moss: 1%

Exposed Soil: 20%



Photo 4: Shows the transition from EC02 to EC01 (left to right) as it approaches the crest of the shoreline cliff with the house and decks in the background.



Photo 5: Shows the largely intact EC02 forest just behind the house.

Marine Ecosystem Description

The shoreline of the property is a narrow, sandstone bedrock platform in the intertidal leading up to a short, fractured sandstone cliff (5 – 7m high) with boulders at the base. There was little to no marine life observed on the exposed rock in the upper inter-tidal area.

According to the BC ShoreZone Assessment, the shoreline is classified as a “narrow (<30m), rock platform”.

The shoreline has also been ranked for sensitivity to sea level rise (BC Parks Shoreline Sensitivity to Sea Level Rise Model - Bifford, Stevens). The foreshore sensitivity ranking is ‘moderate’, the backshore sensitivity ranking is ‘Low’ and the overall sensitivity to sea level rise ranking is ‘Moderate’.

No eelgrass or kelp was observed in areas directly in front or immediately adjacent to the property. There are eelgrass beds mapped on Wise Island (Islands Trust Eelgrass Mapping).

Adjacent Land Uses

The property is part of a dense, marine access only, off-grid, residential subdivision on Wise Island. It is flanked by similar, roughly half acre properties to the west and east, with dwellings, a mix of landscaped and natural areas that extend to the shoreline top of bank, stairs to access the shore, and solar panels to provide power.

Description of Land Alteration / Development

The property is developed with a house, a multi-level deck, marine access stairs, and a variety of accessory buildings. The property is accessed via a central public foot path running the length of the island from the community dock roughly 400m to the northwest. The property is serviced by a community water system and two, ground-mounted, solar panels located at the top of the small marine cliff to maximise sun exposure.

In general, maintaining natural vegetation and minimizing impacts to the ecology has figured highly in the development of the property. Clearing has occurred for the footprint of structures and a modest footpath network for access. The remainder is in a mostly natural, forested condition.

Marine Access Stairs:

The shoreline access stairs are constructed using a notched, yellow cedar log as a single-span beam secured by a concrete footing tied into exposed bedrock along the shoreline at its base, and at the top of bank. The cedar stair treads are secured to the notches and tied together with stringers, to which a basic handrail is attached. There is a small roughly 1m by 1m cedar decked, landing at the top of bank.



Photo 6: Shows the cedar log beam along with the constructed treads, stringers and railing (left). The upper landing (top right) and the portion of the steps that have been removed by the owner in 2022 (right).



The lower portion of the stairs extends off the property, below the natural boundary of the sea, with the lower landing located within the Marine Zone. The property owners have removed the treads and stringers from the portion of the log that is within the Marine Zone.

Solar Panels:

Two banks of solar panels have been installed along the shoreline top-of-bank. Each of the panels are secured by a pair of roughly 8" x 16" concrete footings and two 'arms' bolted to the rock.



Lower deck:

The lower deck is roughly 6m by 3m in dimension and 20 square meters in area. It is accessed from the top-of-bank on either end as well as from the main house deck via a set of stairs roughly 3m x 2m in area. The stairs are flanked by a small, raised bed and partially landscaped garden area situated between the two decks. Roughly half of the lower deck structure is cantilevered out over the sandstone cliff, supported by a single post and beam structure with two, roughly 16" diameter concrete footings that are tied into the bedrock 'cliff'.

According to Ian Carrick (owner) through personal communication, the current lower deck was constructed to replace the original deck structure that had been built by the previous owners in 1995 (est.). The original deck used an arbutus stump as one of its footings which had subsequently rotted and was no longer safe. The original deck was also used as a landing to aid in the delivery and storage of materials for the house construction in 1997. A series of old photos (below) show the original deck and the associated vegetation clearing and soil removal from the surrounding cliff and crest ecosystem (described as Ecological Community 01 in this report).



Photo 7: Shows the lower deck from below, cantilevered out over the shoreline cliff.



Photo 8: Shows the lower deck from the south side. Note the stairs leading down from the main house deck and the flanking partially landscaped 'garden' on the right of the photo.



Photo 9: Shows the original deck and surrounding top-of-bank and cliff areas prior to house construction in 1995.

Impact Assessment

Marine Access Stairs:

These access stairs have been constructed with the absolute minimum disturbance to the ecosystem. The large diameter, yellow cedar log mimics a large natural tree that has fallen from the top of bank to the rock shelf below. The stairs are constructed over naturally occurring exposed bedrock, with little natural vegetation evident. No soil erosion or slope stability issues associated with the stairs were observed. Where soil is present, as the stairs approach the top-of-bank, natural vegetation is growing right up to the edges of the log structure. The 1m² cedar decked landing at the top of the stairs does prevent the establishment of natural vegetation.



Photo 10: shows the marine access stairs.

Solar Panels:

Solar panels have been positioned to minimize impact to the ecology. While roof mounted panels would be ideal, unfortunately, the roof aspect is not conducive for solar collection. The current location of the panels at the top of the shoreline cliff requires minimal clearing of natural vegetation. Moving the panels inland from the cliff would require additional tree cutting along the top of bank and surrounding forest and/or additional panels and related footprint to achieve a similar output of power.

The footprint of the panels is minimal, including a couple of 8" x 16" concrete footings for each panel and a small partially shaded area directly under / behind the panel, where vegetation is still able to establish and grow. Maintenance of the panels will require vegetation control and removal over time, though less than if they were anywhere else on the property.



Photo 11: Shows the footprint of the solar panels and the vegetation growth behind them.

Lower Deck:

No growth of vegetation is possible within the footprint of the lower deck where it rests along the top of bank, a roughly 10 square meter area.

Natural vegetation grows right up to the sides of the deck and is beginning to establish under the portion of the deck cantilevered out over the cliff, where partial shading from the deck has created slightly more favourable conditions for growth of shrubs and herbaceous vegetation. Several young arbutus seedlings were observed growing in soil pockets and crevices in the cliff directly below the overhanging structure.



Photo 12: Shows the arbutus seedlings and vegetation growing under the cantilevered structure.

The lower deck was constructed, generally within the footprint of an existing deteriorated structure (though looks through interpretation of photos to be slightly larger). The footprint and the broader area surrounding the lower deck had been landscaped resulting in the removal of native vegetation and much of the soil layer (naturally thin) in 1995 or earlier.

General Comments:

No evidence of erosion or slope instability associated with the structures was observed. No evidence of hydrological impact on this extremely dry and well drained site were observed.

The structures do not impact or impede public access along the shoreline.

The current ecological state of the DPA2 area is clearly improved from the state of the same area in 1995 (as interpreted from provided photos), despite ongoing use of the area by the new owners and the slight increase in size of the lower deck and the addition of the solar panels. Along with planted/cultivated vegetation in the landscaped garden area, natural vegetation has established in areas that previously appear devoid on the top-of-bank and on the cliff.

Demolition and removal of Structures:

If the removal of the lower deck was to be required, ecological improvements similar to those noted above would be expected over the ensuing decades for the roughly 10m² top-of-bank area that is directly impacted by the structure.

Potential impacts to shoreline and marine areas from demolition and removal of structures, should this be required, include:

- Damage to the sandstone substrate, erosion of surrounding soils, and loss of related vegetated microsites caused by the removal of concrete footings. Access to these fragile and difficult sites with the heavy equipment required for their removal, and the work itself are likely have impacts to the site.
- Introduction of construction waste into the shoreline and marine environment.
- Damage to trees and existing natural vegetation within the shoreline DPA from de-construction activity or temporary storage of materials.

Recommended Mitigation Measures

The following measures are recommended in consideration of the anticipated impacts to the site from the proposed development:

Marine Access Stairs:

The ecological impact of the existing marine access stairs is minimal. If removal is required, the large diameter cedar log could be retained on site to provide natural coarse woody debris habitat.

Solar Panels:

Given that forest clearing and vegetation management is a requirement of solar collection, from an ecological perspective it is best:

1. To locate PV panels and related clearings in a manner that dovetails with other values such as clearings for gardens, for structures, or for viewsapes commonly associated with residential use.
2. To utilize previously cleared or disturbed sites, rather than established forest.
3. To locate PV panels on roof tops, at the top of steep slopes, or on the north edge of unforested areas (south facing cliffs, shorelines etc)
4. To avoid clearing and disturbance to rare ecosystems or high value habitat (eg. riparian areas)

In this case, the location and construction of the house has already heavily impacted the sensitive shoreline ecological community (EC01). PV panel location on the house is not ideal as it is set back roughly 10m from the naturally open shoreline, the roof is oriented SE/NW, and it is mostly surrounded by established forest on three sides and several trees along the shoreline top-of-bank.

The existing panels are established on a previously cleared and heavily disturbed site (1995) that has been, and will continue to be, maintained to provide views and light for the house. They maximize the use of naturally open shoreline / cliff areas and they can coexist with modest natural herbaceous vegetation growth within and around their footprint.

It is therefore recommended that PV panels remain in their current location.

Should an alternate location for the panels be required, it is recommended that they be mounted on the lower deck, main deck, or house (in order of least to highest impact) in a manner that minimizes the requirement for additional vegetation removal and minimizes the area where ongoing vegetation management (pruning, cutting etc.) is required.

Lower deck:

The primary ecological consideration in justifying the removal of the structure revolves around the eventual restoration of a natural habitat along the top-of-bank between the house/main deck and the crest of the shoreline cliff. Currently, approximately 10m² of this habitat is occupied by the lower deck.

The area surrounding the structures is partially landscaped and includes a foot path. The landscaping and clearing of the area can be dated back to 1995 or earlier.

DPA2 Shoreline and Marine includes the following exemptions in section 2.6:

d) Repair and maintenance of existing roads, driveways, paths and trails, provided there is no expansion of the width or length of the road, driveway, path or trail, and no creation of additional impervious surfacing, including paving asphaltting or similar surfacing.

e) The removal of trees that have been examined by an arborist and certified to pose an immediate threat to life or property.

j) Gardening and yard maintenance activities within an existing landscaped area, such as lawn mowing, tree and shrub pruning, vegetation planting and minor soil disturbance that do not alter the general contours of the land.

k) The pruning or limbing of trees provided it cannot reasonably be expected to result in the death or removal of the tree.

Based on these exemptions, achieving the successful restoration of a natural ecological community along the shoreline top-of-bank through the removal of the lower deck is uncertain at best.

If this structure is permitted to remain within the DPA2, it is recommended:

1. That natural vegetation in EC01 under and around the lower deck, including trees, be left to grow, with the following exemptions, in accordance with Galiano Island OCP DPA2:
 - a. Repair and maintenance of the existing foot path, provided there is no expansion of the width or length of the path and that it remains as a pervious surface.
 - b. The removal of trees that have been examined by an arborist and certified to pose an immediate threat to life or property.
 - c. Gardening and yard maintenance activities within the existing landscaped area between the main deck and lower deck.
 - d. The pruning or limbing of trees for view and solar collection purposes, provided it cannot reasonably be expected to result in the death or removal of the tree.

Should the removal of this structure be required:

1. Minimize disturbance to soils and vegetation in EC01, along the top-of-bank and the shoreline cliff.
 - a) Utilize main deck to temporarily store tools, equipment, and demolition materials.
 - b) Avoid trampling vegetation on the cliff that has established around the footings when removing the post and beam support structure.

- c) Leave concrete footings in place. Damage to the surrounding soils and vegetation from the removal of these structures will exceed the minimal ecological benefit of removing them.
2. Ensure any areas where soils are exposed are seeded with native grass mix and/or wildflower mix to help minimize surface erosion and to enhance habitat.
3. Plant and fence 6 to 10 native shrubs along the 'top-of-bank' section in the footprint of the removed lower deck. Due to the historical disturbance to the soil, it is recommended that sterile, organic compost, sea soil, mushroom manure (or equivalent) be added to the planting microsites, and that the plantings are mulched with forest duff and/or rotting wood debris or bark. Potential species include *Lonicera hispidula* (hairy honeysuckle), *Holodiscus discolor* (oceanspray), *Rosa gymnocarpa* (baldhip rose), *Symphoricarpos alba* (snowberry), *Salix scouleriana* (Scouler's willow).

Monitoring

The authoring QEP will be retained as project environmental monitor by Ian Carrick. The environmental monitor will be available to provide guidance in fulfilling the requirements of this report. Monitoring will ensure:

- Impacts to DPA2 are minimized as recommended in this report.
- Restoration, if required, is complete.

If required, the authoring QEP will verify the points above through a site visit or through photos provided by the landowner. They may provide a signed letter of confirmation, or a letter outlining further mitigation measures that must be taken to address any insufficiencies.

File No:

SHORELINE AND MARINE AREAS DEVELOPMENT PERMIT AREA (DPA 2)			Office Use only
	Information and Documentation Required	✓	
Site Plan	Professionally prepared plan at an appropriate scale and based on a legal survey, containing the following:	✓	
	▪ The proposed development and associated features	✓	
	▪ The natural boundary of the sea	✓	
	▪ The development permit area boundary	✓	
	▪ Existing buildings and structures	✓	
	▪ Roads and driveways	✓	
	▪ Significant features identified in the site inventory	✓	
	Where development would occur on slopes exceeding 20% grade: site profiles and cross sections demonstrating terrain conditions prior to disturbance	N/A	
Site Inventory	A site inventory providing information on existing plant communities, marine and terrestrial habitats, current on-site and adjacent land uses, slope stability, erosional processes, hydrology, topography and marine sediment transport.	✓	
Development Proposal	A description of the proposed development detailing construction, cut and fill, blasting, road or driveway construction, vegetation clearing, alteration to hydrological systems, alterations affecting the marine foreshore, septic field installation, landscaping, or other land alteration during or after the development phase. Alternative development options.	✓	
Impact Assessment	An assessment of the nature and extent of the impact of the proposed development consisting of anticipated impacts on the following:	✓	
	▪ Marine and terrestrial habitat	✓	
	▪ Site hydrology	✓	
	▪ Marine sediment transport	✓	
	▪ Public access to and along the foreshore	✓	
	The assessment should identify impacts stemming from the construction phase, the intended long-term use of the site, and any cumulative impacts of development in the area, including on adjacent and proximate sites	✓	
Measures	A description of all measures to limit, mitigate and manage the impacts of the development on:	✓	
	▪ terrestrial and marine habitat	✓	
	▪ geomorphic, hydrological and coastal processes	✓	
	A description of mitigation measures and their anticipated effectiveness in maintaining the health, form and function of environmentally valuable features.	✓	
Monitoring	Recommended monitoring requirements, identifying actions that will be taken to ensure all proposed activities are completed as described, including a monitoring schedule and process for resolving any non-compliance	✓	

SHORELINE AND MARINE AREAS DEVELOPMENT PERMIT AREA (DPA 2)			Office Use only
	Information and Documentation Required	✓	
Restoration	Recommended actions to restore or enhance ecosystem functions or habitat that have been degraded prior to development or that would be impacted by the proposed development	✓	



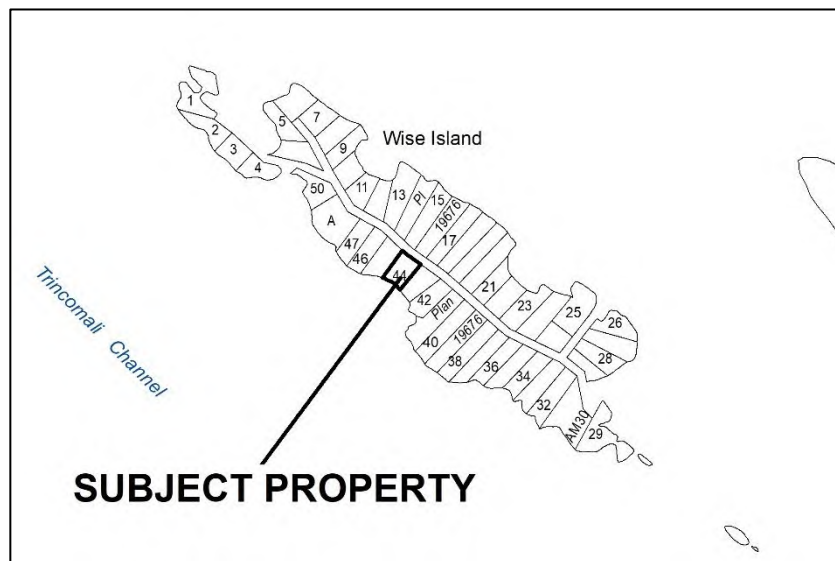
NOTICE
GL-DVP-2022.4
GALIANO ISLAND LOCAL TRUST COMMITTEE

NOTICE is hereby given pursuant to Section 499 of the *Local Government Act* that the Galiano Island Local Trust Committee will be considering a resolution allowing for the issuance of a Development Variance Permit. The proposed permit is attached and would vary the Galiano Island Land Use Bylaw No. 127, 1999 as follows:

- A variance to the setback from the natural boundary of the sea to legalize the siting of existing stairs and landing, solar panels, and two decks (with attached stairs).
- A variance to the setback to the interior side lot line to legalize the siting of existing stairs and landing, a solar panel, two decks, power shed with a deck, outhouse, and a workshop with a deck.
- A variance to the setback to the front lot line to legalize the siting of a workshop with a deck and a water tank.

The property is legally described as Lot 44, District Lot 6, Wise Island, Cowichan District, Plan 19676 (PID: 003-610-527).

The general location of the subject property is shown on the following sketch.



A copy of the proposed permit may be inspected at the Islands Trust Office, 200 - 1627 Fort Street, Victoria, B.C. V8R 1H8 between the hours of 8:30 a.m. to 4:30 p.m. Monday to Friday inclusive, excluding statutory holidays, commencing **August 21, 2023** and continuing up to and including **September 1, 2023**.

For the convenience of the public only, and not to satisfy Section 499 (2) (c) of the *Local Government Act*, additional copies of the Proposed Permit may be inspected at various Notice Boards on Galiano Island, BC, commencing **August 21, 2023**.

Enquiries or comments should be directed to Kim Stockdill, Island Planner at (250) 405-5157, for Toll Free Access, request a transfer via Enquiry BC: In Vancouver 660-2421 and elsewhere in BC 1-800-663-7867; or by fax (250) 405-5155; or by email to: southinfo@islandstrust.bc.ca before 4:30 p.m., **September 1, 2023**.

The Galiano Island Local Trust Committee may consider a resolution allowing for the issuance of the permit during the regular business meeting starting at **1:00 p.m., September 12, 2023** at **South Community Hall, 141 Sturdies Bay Road, Galiano Island**.

All applications are available for review by the public. Written comments made in response to this notice will also be available for public review.

Jas Chonk, Deputy Secretary

**GALIANO ISLAND LOCAL TRUST COMMITTEE
DEVELOPMENT VARIANCE PERMIT
GL-DVP-2022.4**

To: Ian Carrick and Rhonda Carrick

1. This Development Variance Permit applies to the land described below:

Lot 44, District Lot 6, Wise Island, Cowichan District, Plan 19676
(PID: 003-610-527)

2. Galiano Island Land Use Bylaw No. 127, 1999 is varied as follows:

- a) Section 2.14 which states that buildings and structures must be sited at least 7.5 metres from the natural boundary of the sea is varied to permit the siting of:
 - i. The existing landing and stairs within 0.0 metres from the natural boundary of the sea;
 - ii. The existing western solar panel within 1.8 metres from the natural boundary of the sea;
 - iii. The existing eastern solar panel within 1.2 metres from the natural boundary of the sea;
 - iv. The existing upper deck and stairs within 5.0 metres from the natural boundary of the sea; and,
 - v. The existing lower deck within 0.3 metres from the natural boundary of the sea.
- b) Clause 5.3.8.1 which states that buildings and structures must be sited at least 7.5 metres from the front lot line is varied to permit the siting of:
 - i. The existing workshop and attached deck within 1.55 from the front lot line; and,
 - ii. The existing water tank within 4.36 from the front lot line.
- c) Clause 5.3.8.2 which states that buildings and structures must be sited at least 6.0 metres from the interior side lot line is varied to permit the siting of:
 - i. The existing landing and stairs within 5.69 metres from the interior side lot line;
 - ii. The existing upper deck and stairs within 5.19 metres from the interior side lot line;
 - iii. The existing lower deck within 5.8 metres from the interior side lot line;
 - iv. The existing eastern solar panel within 1.5 metres from the interior side lot line;
 - v. The existing power shed and attached deck within 0.5 metres from the interior side lot line;
 - vi. The existing outhouse within 2.51 metres from the interior side lot line; and,
 - vii. The workshop and attached deck within 2.25 metres from the interior side lot line.

The development shall be consistent with Schedules 'A', 'B', and 'C' which are attached to and form part of this permit.

3. This permit is not a building permit and does not remove any obligation on the part of the permittee to comply with all other requirements of "Galiano Island Land Use Bylaw No. 127, 1999" and to obtain other approvals necessary for completion of the proposed development, including approval of the Capital Regional District and Ministry of Transportation and Infrastructure.

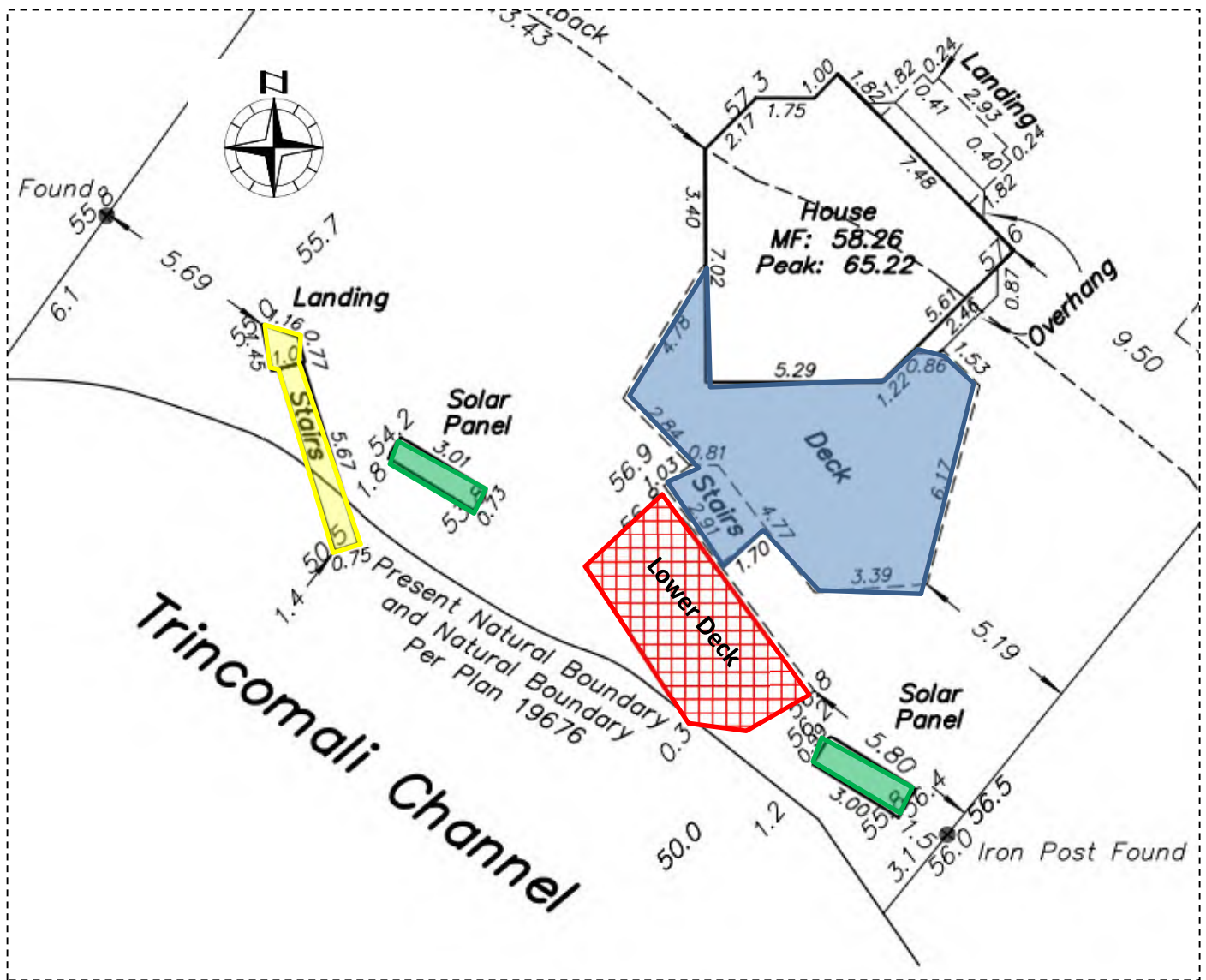
AUTHORIZING RESOLUTION PASSED BY THE GALIANO ISLAND LOCAL TRUST COMMITTEE THIS ##TH DAY OF [MONTH], [YEAR].

Deputy Secretary, Islands Trust

Date of Issuance

IF THE DEVELOPMENT DESCRIBED HEREIN IS NOT COMMENCED BY THE ##TH DAY OF [MONTH], [YEAR (2 YEARS FROM DATE OF ISSUANCE)] THIS PERMIT AUTOMATICALLY LAPSES.

SCHEDULE 'A' - EXCERPT OF SURVEY SITE PLAN



Variances to Natural Boundary of the Sea:

Stairs & Landing (in yellow) – setback reduced to 0.0 metres.
 Western Solar Panel (in green) – setback reduced to 1.8 metres.
 Easter Solar Panel (in green) – setback reduced to 1.2 metres.
 Upper deck and stairs (in blue) – setback reduced to 5.0 metres.
 Lower deck (red hatch) – setback to 0.3 metres.

Variances to Interior Side Lot Line:

Stairs & Landing (in yellow) – setback reduced to 5.69 metres.
 Easter Solar Panel (in green) – setback reduced to 1.5 metres.
 Upper deck and stairs (in blue) – setback reduced to 5.19 metres.
 Lower deck (red hatch) – setback to 5.8 metres.

GL-DVP-2022.4

SCHEDULE 'B' – EXCERPT OF SURVEY SITE PLAN



Variances to Front Lot Line:

Workshop and attached deck (in red) – setback reduced to 1.55 metres.

Water tank (in yellow) – setback reduced to 4.36 metres.

Variances to Interior Side Lot Line:

Workshop and attached deck (in red) – setback reduced to 2.25 metres.

Outhouse (in blue) – setback reduced to 2.51 metres.

Power shed and attached deck (in green) – setback reduced to 0.50 metres.

GALIANO ISLAND LOCAL TRUST COMMITTEE

GL-DVP-2022.4

SCHEDULE 'C' – FULL SURVEY SITE PLAN

Site Plan Of:
Lot 44, District Lot 6, Wise Island,
Cowichan District, Plan 19676
P.I.D.003-610-527



Scale = 1:250

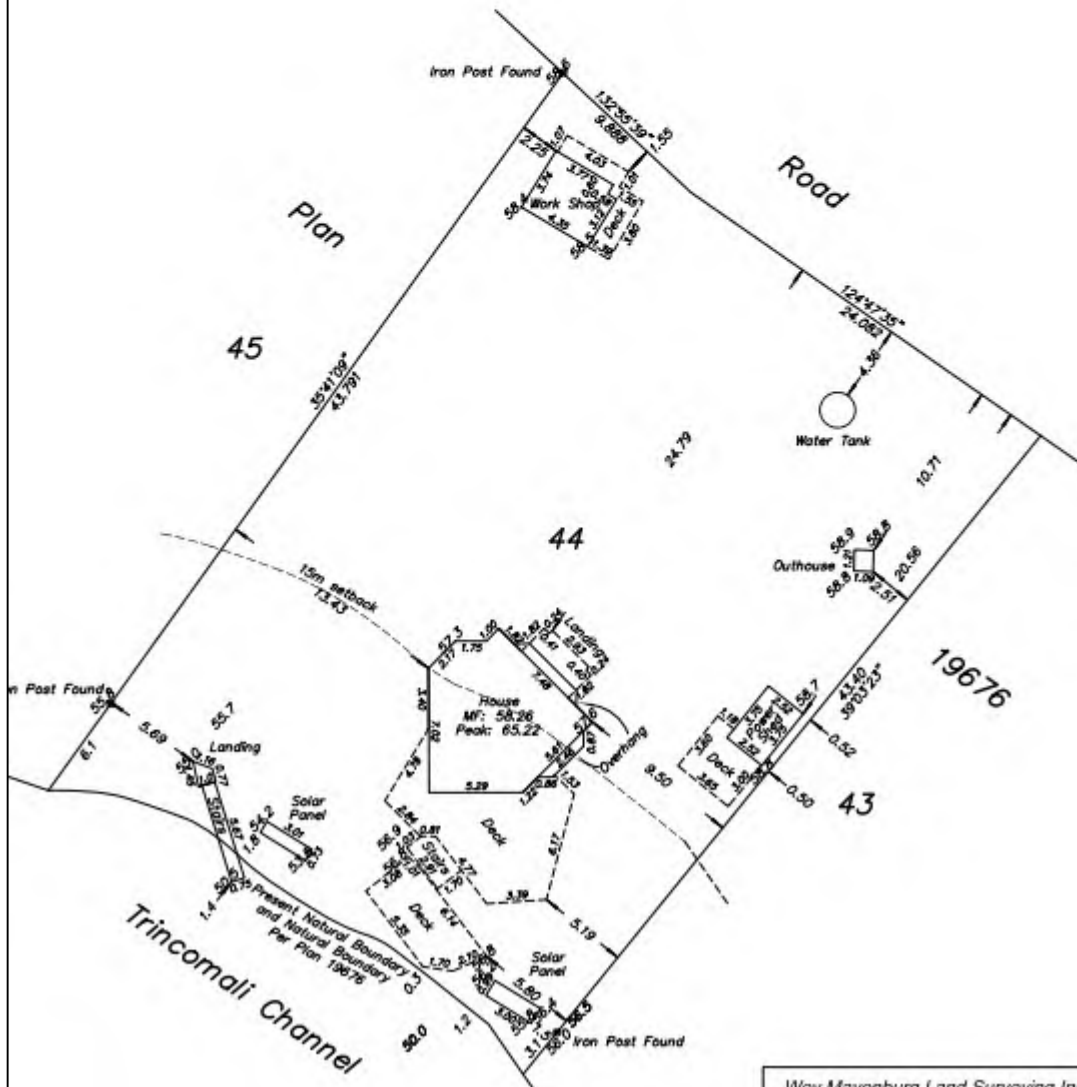
Dated this 18th day of January, 2022.

Distances and elevations shown are in metres.

Elevations are based on an assumed datum.

This site plan is for building and design purposes and is for the exclusive use of our client.

This document shows the relative location of the surveyed structures and features with respect to the boundaries of the parcel described above. This document shall not be used to define property lines or property corners.



Way Mavensburn Land Surveying Inc.



Islands Trust

**GALIANO ISLAND LOCAL TRUST COMMITTEE
DEVELOPMENT VARIANCE PERMIT
GL-DVP-2022.4**

To: Ian Carrick and Rhonda Carrick

1. This Development Variance Permit applies to the land described below:

Lot 44, District Lot 6, Wise Island, Cowichan District, Plan 19676
(PID: 003-610-527)

2. Galiano Island Land Use Bylaw No. 127, 1999 is varied as follows:

- a) Section 2.14 which states that buildings and structures must be sited at least 7.5 metres from the natural boundary of the sea is varied to permit the siting of:
 - i. The existing landing and stairs within 0.0 metres from the natural boundary of the sea;
 - ii. The existing western solar panel within 1.8 metres from the natural boundary of the sea;
 - iii. The existing eastern solar panel within 1.2 metres from the natural boundary of the sea;
 - iv. The existing upper deck and stairs within 5.0 metres from the natural boundary of the sea; and,
 - v. The existing lower deck within 0.3 metres from the natural boundary of the sea.
- b) Clause 5.3.8.1 which states that buildings and structures must be sited at least 7.5 metres from the front lot line is varied to permit the siting of:
 - i. The existing workshop and attached deck within 1.55 from the front lot line; and,
 - ii. The existing water tank within 4.36 from the front lot line.
- c) Clause 5.3.8.2 which states that buildings and structures must be sited at least 6.0 metres from the interior side lot line is varied to permit the siting of:
 - i. The existing landing and stairs within 5.69 metres from the interior side lot line;
 - ii. The existing upper deck and stairs within 5.19 metres from the interior side lot line;
 - iii. The existing lower deck within 5.8 metres from the interior side lot line;
 - iv. The existing eastern solar panel within 1.5 metres from the interior side lot line;
 - v. The existing power shed and attached deck within 0.5 metres from the interior side lot line;
 - vi. The existing outhouse within 2.51 metres from the interior side lot line; and,
 - vii. The workshop and attached deck within 2.25 metres from the interior side lot line.

The development shall be consistent with Schedules 'A', 'B', and 'C' which are attached to and form part of this permit.

3. This permit is not a building permit and does not remove any obligation on the part of the permittee to comply with all other requirements of "Galiano Island Land Use Bylaw No. 127, 1999" and to obtain other approvals necessary for completion of the proposed development, including approval of the Capital Regional District and Ministry of Transportation and Infrastructure.

AUTHORIZING RESOLUTION PASSED BY THE GALIANO ISLAND LOCAL TRUST COMMITTEE THIS ##TH DAY OF [MONTH], [YEAR].

Deputy Secretary, Islands Trust

Date of Issuance

IF THE DEVELOPMENT DESCRIBED HEREIN IS NOT COMMENCED BY THE ##TH DAY OF [MONTH], [YEAR (2 YEARS FROM DATE OF ISSUANCE)] THIS PERMIT AUTOMATICALLY LAPSES.

GL-DVP-2022.4

The site plan shows a house with a main floor (MF) of 58.26 and a peak of 65.22. The house is connected to a deck and a lower deck. The deck is shaded blue, and the lower deck is shaded red with a cross-hatch pattern. The plan includes various dimensions for the house, deck, and lower deck, as well as dimensions for the stairs and landing. A compass rose indicates North. The plan also shows the Trincomali Channel and the Present Natural Boundary and Natural Boundary. Other features include a solar panel, an iron post, and a found object.

Stairs & Landing (in yellow) – setback reduced to 0.0 metres.
Western Solar Panel (in green) – setback reduced to 1.8 metres.
Easter Solar Panel (in green) – setback reduced to 1.2 metres.
Upper deck and stairs (in blue) – setback reduced to 5.0 metres.
Lower deck (red hatch) – setback to 0.3 metres.

Stairs & Landing (in yellow) – setback reduced to 5.69 metres.
Easter Solar Panel (in green) – setback reduced to 1.5 metres.
Upper deck and stairs (in blue) – setback reduced to 5.19 metres.
Lower deck (red hatch) – setback to 5.8 metres.

GALIANO ISLAND LOCAL TRUST COMMITTEE

GL-DVP-2022.4

SCHEDULE 'B' – EXCERPT OF SURVEY SITE PLAN



Variances to Front Lot Line:

Workshop and attached deck (in red) – setback reduced to 1.55 metres.

Water tank (in yellow) – setback reduced to 4.36 metres.

Variances to Interior Side Lot Line:

Workshop and attached deck (in red) – setback reduced to 2.25 metres.

Outhouse (in blue) – setback reduced to 2.51 metres.

Power shed and attached deck (in green) – setback reduced to 0.50 metres.

GALIANO ISLAND LOCAL TRUST COMMITTEE

GL-DVP-2022.4

SCHEDULE 'C' – FULL SURVEY SITE PLAN

Site Plan Of:
Lot 44, District Lot 6, Wise Island,
Cowichan District, Plan 19676
P.I.D.003-610-527



Scale = 1:250

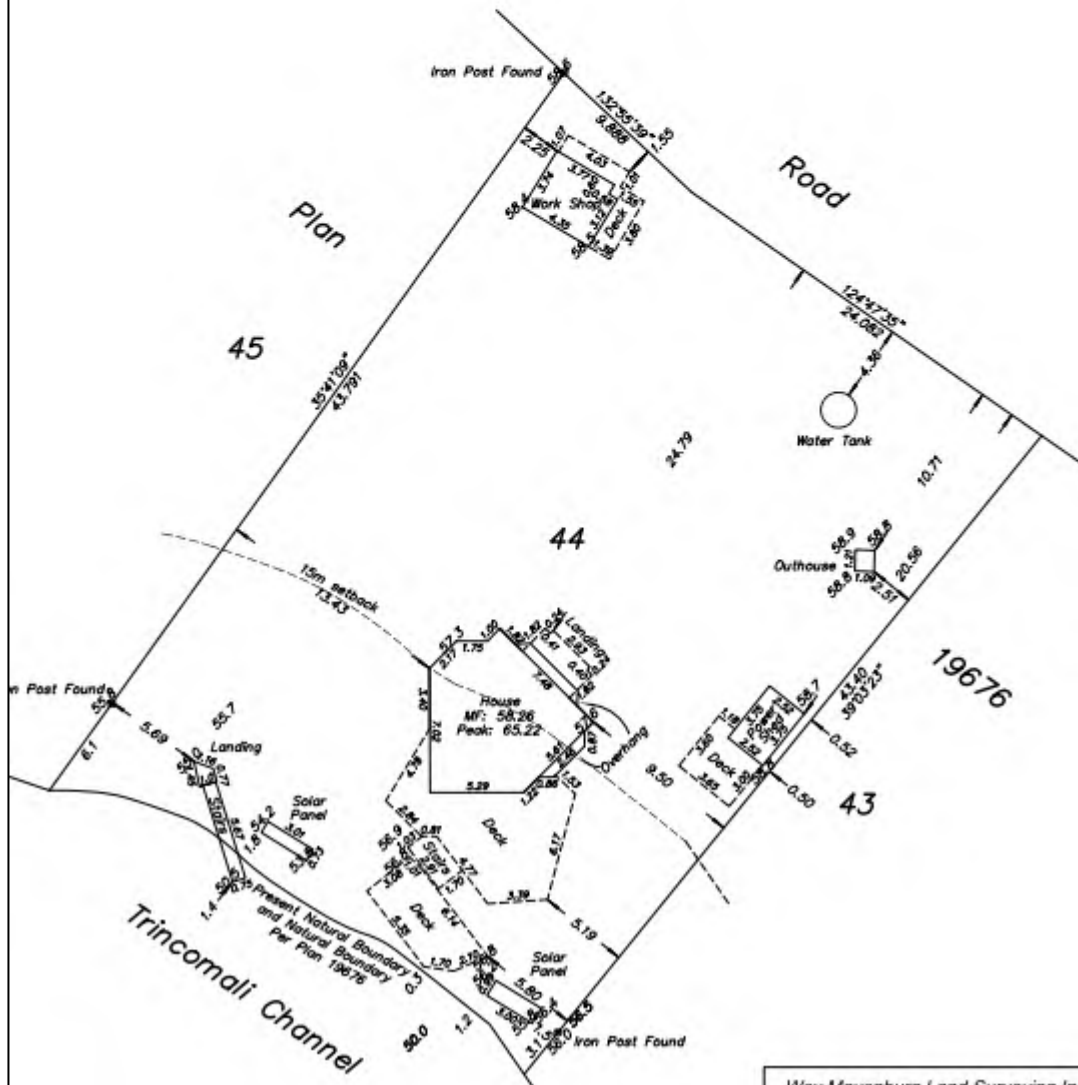
Dated this 18th day of January, 2022.

Distances and elevations shown are in metres.

Elevations are based on an assumed datum.

This site plan is for building and design purposes and is for the exclusive use of our client.

This document shows the relative location of the surveyed structures and features with respect to the boundaries of the parcel described above. This document shall not be used to define property lines or property corners.



Active Projects Report

Galiano Island

1. *Groundwater Sustainability*

Responsible

Dates

Phase 1 and 2: mapping and data analysis - Completed
Phase 3: Implementation of mapping and data analysis

Kim Stockdill

Rec'd: 02-Apr-2019
Target: 30-Sep-2023

Future Projects Report

Galiano Island

1. *Parking Issues*

Responsible

Date Received

Issue for discussion with MoTI and public parking issues generated from associated islands.

23-Jul-2012

(see correspondence from P. Midgely on agenda of Apr/12)

2. *Light Industrial Zoning*

Responsible

Date Received

A review and inventory assessment of existing and potential light industrial zones.

18-Nov-2013

3. *Coastal Douglas-Fir Protection*

Responsible

Date Received

Review 'Protection of the Coastal Douglas-fir and Associated Ecosystems: An Islands Trust Tool Kit (2018)' and provide recommendations from toolkit.

04-Feb-2019

- LPC is intending to develop a model bylaw in 2021-22.

Include review the Contiguous Forest Mapping in the Islands Trust Area Report.

4. *Cannabis Retail and production*

Responsible

Date Received

Consider review of policies and regulations to address cannabis retail sales and production

05-Mar-2019

Future Projects Report

Galiano Island

5. *Emergency Access Planning*

Responsible

Date Received

Follow-up from CRD emergency planning process - include consideration of developing driveway guidelines for emergency access within land use bylaw

02-Apr-2019

6. *Review of Road Network Plan*

Responsible

Date Received

Review of Road Network Plan - include December 11th APC memo in review process - meet with MOTI

02-Mar-2020

7. *Review of LUB tiny home/trailer regulations, maximum house sizes and lot coverage*

Responsible

Date Received

01-Jun-2021

8. *Wise Island bylaw review*

Responsible

Date Received

Review of Wise Island bylaws and potentially other islands with water access only

06-Sep-2022

9. *Shoreline model protection bylaw*

Responsible

Date Received

Review APC report in consideration of development of shoreline model protection bylaw

06-Sep-2022

Applications

Agricultural Land Reserve

File Number	Applicant Name	Date Received	Purpose
GL-ALR-2023.1	Cupples, Linda	16-Feb-2023	771 GEORGESON BAY RD: Application for subdivision in the Agricultural Land Reserve.

Planner: Charly Caproff

Planning Status

Status Date: 12-Jul-2023

Sent trustee comments to ALC. Last update: The application will now be processed and reviewed by the Commission at its earliest opportunity.

Status Date: 26-Jun-2023

GL-2023-37\nIt was Moved and Seconded,\nthat the Galiano Island Local Trust Committee supports application GL-ALR-2023.1 on condition of an animal corridor on the proposed lot line and requests staff to forward the application to the Agricultural Land Commission for further consideration.\n

Status Date: 26-Jun-2023

Resolution sent to ALC.

Development Permit

File Number	Applicant Name	Date Received	Purpose
GL-DP-2022.3	Galiano Island Contracting LTD	11-Aug-2022	675 Cain Rd - Improvement to an existing revetment structure, x-ref GL-DVP-2022.6

Planner: Kim Stockdill

Planning Status

Status Date: 31-Jan-2023

Further information required from applicant before application can proceed.

Status Date: 19-Dec-2022

File re-assigned to Kim Stockdill

Status Date: 10-Nov-2022

Updated Survey (Glen Mitchell) by end of November

Applications

Development Permit

File Number	Applicant Name	Date Received	Purpose
GL-DP-2023.1	Carrick, Ian	04-Jan-2023	Application for a DP for development in a shoreline DPA.

Planner: Kim Stockdill

Planning Status

Status Date: 06-Jun-2023

Application on hold - waiting for further information from applicant. KS

Status Date: 01-Mar-2023

Environmental Assessment received.

Status Date: 31-Jan-2023

Application on hold until Environmental Assessment is received. KS

File Number	Applicant Name	Date Received	Purpose
GL-DP-2023.3	Hunterston Homes LTD	27-Mar-2023	18680 PORLIER PASS RD: Application for a DP for development in a shoreline [marine] DPA.

Planner: Charly Caproff

Planning Status

Status Date: 29-Aug-2023

Edits received, re-submitted to Director for review.

Status Date: 23-Aug-2023

DP sent to Director for review

Status Date: 06-Apr-2023

Planner Charly Caproff assigned.

Applications

Development Permit

File Number	Applicant Name	Date Received	Purpose
GL-DP-2023.5	Waterfall, Lawrence	11-Aug-2023	350 MARY ANN POINT RD: Application for a DP for development in a sensitive ecosystem DPA.

Planner: Bruce Belcher

Planning Status

Status Date: 16-Aug-2023

Planner Bruce Belcher assigned.

Status Date: 14-Aug-2023

Requested planner assignment.

Status Date: 11-Aug-2023

Created file in EDM.

Development Variance Permit

File Number	Applicant Name	Date Received	Purpose
GL-DVP-2022.4	Carrick, Ian	31-May-2022	Application for stairs and deck

Planner: Kim Stockdill

Planning Status

Status Date: 04-Jul-2023

Application to be placed on September 2023 agenda

Status Date: 06-Jun-2023

Application on hold - waiting for further information from applicant. KS

Status Date: 31-Mar-2023

DVP Staff Report to be placed on June 20th LTC agenda. Update: application removed from agenda due to error in draft permit and further information required from applicant.

Applications

Development Variance Permit

File Number	Applicant Name	Date Received	Purpose
GL-DVP-2022.6	Galiano Island Contracting LTD Planner: Kim Stockdill	03-Oct-2022	675 Cain Rd - Application for a variance for siting of a seawall in a setback.
Planning Status			
Status Date: 21-Apr-2023 Met with Ryzuk and RPBio. Application may require a rezoning application. Application on hold.			
Status Date: 31-Jan-2023 Further information required by applicant before application can proceed.			
Status Date: 19-Dec-2022 File re-assigned to Kim Stockdill			

File Number	Applicant Name	Date Received	Purpose
GL-DVP-2023.2	Hunterston Homes LTD Planner: Charly Caproff	27-Mar-2023	18680 PORLIER PASS RD: Application for a variance for siting of two buildings in a setback.
Planning Status			
Status Date: 22-Aug-2023 Owners are modifying plans. Recirculation will be required and this application will need to be moved to Oct LTC			
Status Date: 22-Jun-2023 Moved to Sept 12 LTC as the applicant will be on vacation in July			
Status Date: 15-Jun-2023 Draft notice and permit submitted for July 11 LTC			

Applications

Development Variance Permit

File Number	Applicant Name	Date Received	Purpose
GL-DVP-2023.3	Galiano Island Contracting LTD Planner: Bruce Belcher	28-Jun-2023	WISE ISLAND: Application for a variance for siting of a house in a setback.
Planning Status			
Status Date: 29-Aug-2023 Deferred application to include solar panel structure in the natural boundary setback			
Status Date: 19-Jul-2023 Applicant contacted - requested rationale, photos, building date			
Status Date: 04-Jul-2023 Planner Bruce Belcher assigned.			

Rezoning

File Number	Applicant Name	Date Received	Purpose
GL-RZ-2014.1	Crystal Mountain Society Planner: Brad Smith	28-Oct-2014	20300 PORLIER PASS RD: Application for rezoning to amend the OCP and LUB to allow for a Forest Retreat Centre - Bylaws 256 (OCP) and 257 (LUB)
Planning Status			
Status Date: 06-May-2023 Staff to engage with Penelakut			
Status Date: 04-Apr-2023 Public hearing scheduled for May 6, 2023			
Status Date: 31-Jan-2023 Staff report on Feb 7, 2023 agenda recommending the application go to public hearing			

Applications

Rezoning

File Number	Applicant Name	Date Received	Purpose
GL-RZ-2020.1	KING, FRED & DEBBIE	27-Oct-2020	51 Galiano Way - Application for rezoning to amend the OCP to permit residential use - Bylaw 279 (LUB)

Planner: Kim Stockdill

Planning Status

Status Date: 27-Jun-2023

Applicant working on sustainable forestry covenant.

Status Date: 12-Jan-2023

Planner contacted applicant re status of TOR deliverables: well drilled, conducting pump testing, geotech assessment complete, no progress on covenant

Status Date: 28-Oct-2021

Applicant working on DAI TOR items

File Number	Applicant Name	Date Received	Purpose
GL-RZ-2021.2	,	16-Aug-2021	DL 86 - COOK RD - application for rezoning to emend the OCP and LUB to permit a rezoning from F1 to create an F3 zoned parcel, two 2.0 hectare Rural Residential-zoned parcels, and 12+ ha of parkland and road dedication.

Planner: Kim Stockdill

Planning Status

Status Date: 04-Jul-2023

Application on July 11, 2023 meeting with new options.

Status Date: 25-Apr-2023

Applicants working on updated site plan and proposal, as well as info on land dedication.

Status Date: 28-Oct-2022

Application status changed to 'abeyance' pending new proposal from applicants

Applications

Rezoning

File Number	Applicant Name	Date Received	Purpose
GL-RZ-2022.2	Hayes, Judy	02-Aug-2022	Bylaw Amendment & Rezoning - Bylaws 287 (OCP) and 288 (LUB)

Planner: Kim Stockdill

Planning Status

Status Date: 27-Jun-2023

Pump test to be completed mid-July 2023.

Status Date: 12-May-2023

Contact applicant. Applicant is still waiting for pump test to be completed.

Status Date: 31-Mar-2023

Draft Bylaw Nos. 287 and 288 placed on April 11th LTC agenda for consideration.

File Number	Applicant Name	Date Received	Purpose
GL-RZ-2023.1	Rockafella, Tahirih	28-Mar-2023	HAULBACK RD: Application for rezoning to amend the LUB to permit limited light industrial uses.

Planner: Kim Stockdill

Planning Status

Status Date: 11-Apr-2023

Planner Kim Stockdill assigned.

Status Date: 28-Mar-2023

File created in EDM.

Applications

Rezoning

File Number	Applicant Name	Date Received	Purpose
GL-RZ-2023.2	McElhanney Ltd.	26-Apr-2023	DL 85 - 5500 BODEGA BEACH DR: Application for rezoning to amend the OCP and LUB to permit Forest One (F1) zoning of the property.

Planner: Kim Stockdill

Planning Status

Status Date: 13-Jun-2023

Preliminary staff report on July agenda.

Status Date: 26-Apr-2023

File created in EDM.

Status Date: 26-Apr-2023

Applicant emailed to say cheque for fee will be coming in the mail.

Subdivision

File Number	Applicant Name	Date Received	Purpose
GL-SUB-2020.1	Mitchell, Glen	19-Dec-2019	GIGHARS - Proposed two lot conventional subdivision referral of Lot 1 District Lots 30 and 31

Planner: Kim Stockdill

Planning Status

Status Date: 30-Jan-2023

Staff contacted by applicant to initiate DP application for DPA 1, 2, 5 with respect to subdivision

Status Date: 18-May-2021

Applicant has received preliminary conditions approval letter from MOTI - subdivision subject to successful rezoning

Status Date: 19-Feb-2021

Applicant working on referral report items

Applications

Subdivision

File Number	Applicant Name	Date Received	Purpose
GL-SUB-2021.1	Lawrence Waterfall	09-Jul-2021	350 MARY ANN POINT RD - Referral of a subdivision application for 3 new lots

Planner: Charly Caproff

Planning Status

Status Date: 25-Aug-2023

Emailed applicant regarding outstanding SUB conditions. Once the draft covenant and appraisers report are received, file to be passed to Bruce.

Status Date: 28-Mar-2023

MOTI confirmed that they will be sending us an updated PLRS letter as conditions have been fulfilled. Asked applicant to confirm most recent site plan and when a DP application will be submitted to IT.

Status Date: 19-Dec-2022

File re-assigned to Charly Caproff

File Number	Applicant Name	Date Received	Purpose
GL-SUB-2023.1	Taylor, Jared	31-Mar-2023	172 BURRILL RD: Referral of a subdivision application for 1 new lot.

Planner: Bruce Belcher

Planning Status

Status Date: 25-May-2023

Requires development permit for work within Riparian Area

Status Date: 24-May-2023

Referral Response sent to MoTI

Status Date: 20-Apr-2023

Planner Bruce Belcher assigned.

Islands Trust
LTC EXP SUMMARY REPORT F2024
Invoices posted to Month ending July 2023

625 Galiano	Invoices posted to Month ending July 2023	<u>Budget</u>	<u>Spent</u>	<u>Balance</u>
65000-625	LTC "Trustee Expenses"	284.00	0.00	284.00
LTC Local				
65200-625	LTC - Local Exp - LTC Meeting Expenses	1,723.00	1,418.45	304.55
65210-625	LTC - Local Exp - APC Meeting Expenses	333.00	143.85	189.15
65220-625	LTC - Local Exp - Communications	250.00	1,240.28	-990.28
65230-625	LTC - Local Exp - Special Projects	279.00	0.00	279.00
TOTAL LTC Local Expense		<u>2,585.00</u>	<u>2,802.58</u>	<u>-217.58</u>
Projects				
73001-625-4114	Galiano Groundwater Strategy Implementation	5,000.00	0.00	5,000.00
TOTAL Project Expenses		<u>5,000.00</u>	<u>0.00</u>	<u>5,000.00</u>

Standing Resolutions Log

Galiano Island

Resolution Number	Action	Date
2023-015 (Standing) First Nations Reconciliation That the Galiano Island Local Trust Committee seek to engage in reconciliation with local First Nations, governments and island community by honouring the Truth and Reconciliation Commission (TRC) Calls to Action, the United Nations Declaration on Rights of Indigenous Peoples, draft principles that guide the Province of British Columbia's relationship with Indigenous Peoples and Islands Trust First Nations engagement principles. The Galiano Island Local Trust Committee endeavour to: a. Annually write a letter to all First Nations knowledge holders introducing Trustees and staff and provide a schedule of known Local Trust Committee meetings for the upcoming year, as well as provide an update of current projects and advocacy activities; b. For various Local Trust Committee meetings, invite local First Nations and knowledge holders to attend meetings, as well as provide a traditional welcome to the Territory if they would like; c. Work with Local First Nations Governments and knowledge holders on cooperative initiatives, including but not limited to, language, place names, territorial acknowledgements and community education on Coast Salish and local First Nations cultural heritage and history; d. Work with Local First Nation Governments and knowledge holders on engagement principles for inclusive land use, marine use and climate change planning advocacy, protection and stewardship and knowledge and information sharing protocols; and e. Establish and maintain government to government dialogue with Local First Nations and knowledge holders now and into the future based on respect and recognition of Aboriginal Rights and Titles, Treaty Rights, and First Nations Traditional Territories within the Islands Trust Area.	Carried	14-Mar-2023
2020-042 (Standing) Use of Development Permits for Variances That the Galiano Island Local Trust Committee request that development permit applications where a variance is requested be processed as a combined application with both a development permit and a development variance permit.	Carried	08-Sep-2020

Standing Resolutions Log

Galiano Island

Resolution Number	Action	Date
2020-041 (Standing) Unlawful Land Uses and Planning Applications that the Galiano Island Local Trust Committee adopt the following policy on unlawful land uses and planning applications: a. Where an application is received and a use is continuing in contravention of a land use bylaw, staff are directed to request that the applicant cease the use prior to processing the application, and that staff are directed to continue with enforcement until the use is ceased. b. The applicant may request that the Local Trust Committee proceed with consideration of the application while the use is continuing; and, where the Local Trust Committee considers there is a community need to process the application while the prohibited use is continuing, the Local Trust Committee may direct that bylaw enforcement actions, including the issuing of notices, cease. c. Where the Local Trust Committee does not consider that there is a community need, or the applicant has not made such a request of the Local Trust Committee; bylaw enforcement actions, including the issuing of notices, will continue. d. In deciding whether to grant land use approval for a use that was commenced in contravention of a land use bylaw, the Local Trust Committee may consider whether the applicant has suspended the prohibited land use pending a decision on the application.	Carried	06-Jul-2020
2020-013 (Standing) Advisory Planning Commission that the Galiano Island Local Trust Committee request that prior to expiration of Advisory Planning Commission members terms of office, staff write to commissioners asking if they wish to be reappointed and also advertise for expressions of interest for new commissioners.	Carried	03-Feb-2020

Standing Resolutions Log

Galiano Island

Resolution Number	Action	Date
2019-014 (Standing) 13.1 Cannabis Retail - Staff Report that the Galiano Local Trust Committee adopt the following standing resolution with respect to the processing of non-medicinal cannabis retail license applications: - Proposed or amended licenses for non-medicinal cannabis retail establishments require an application to the local trust committee. - The application process shall comprise a public consultation component, which includes at least one notification to neighbours, one public meeting, posting of public notices and one advertisement in a local periodical. - The public consultation process shall be determined by the local trust committee after initial review of the proposal. - However, as a minimum, the local trust committee will mail or otherwise deliver a notice to all owners and residents of properties within a 500 metre radius of the subject property where the establishment is proposed at least 10 days before adoption of a resolution providing comment on the application. The required notice shall include the following information: - o Name of the applicant and a description of the proposal in general terms - o The location of the proposed establishment and the subject site - o The place where, and date and time when, both a public meeting will be held and a resolution of the local trust committee considered. - o The name and contact information of the Islands Trust planning staff member who can provide copies of the proposed or amended license application - o How public comments may be submitted to the local trust committee.	Carried	04-Mar-2019
2018-064 (Standing) 11.1 Telecommunication Strategy Project - Staff Report that the Galiano Island Local Trust Committee endorses the Telecommunication strategy Project Charter dated June 22, 2016	Carried	04-Jun-2018
2014-029 (Standing) Community Wells as a Community Benefit That the Galiano Island Local Trust Committee will consider as a community benefit for all rezoning applications where there is an increase in density, the establishment of an instrumented observation well.	Carried	07-Apr-2014

Standing Resolutions Log

Galiano Island

Resolution Number	Action	Date
2014-000 (Standing)	Carried	03-Feb-2014

On properties where there is an open bylaw enforcement file, planning staff should refer planning applications to the Bylaw Enforcement Manager for comment where one or more of the following circumstances exist:

1. There have been significant delays or longer than typical timelines in the enforcement process
2. The LTC is considering on-going, relevant policy or regulatory changes that could impact enforcement
3. Litigation has been recommended
4. Legal counsel has been involved (beyond providing a basic interpretation)
5. There has been enforcement action beyond seeking voluntary compliance (e.g. a BEN warning or ticket, adjudication, a compliance agreement negotiated, etc.)
6. There has been, or is an expectation of, joint enforcement with other jurisdictions
7. There is potential for impact on other related enforcement files.

2011-205 (Standing)	Carried	17-Oct-2011
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Special Occasion Liquor Licenses

That where a Liquor Control and Licensing Branch Special Occasion License referral relates to a property on which Galiano Island Land Use Bylaw No. 127, 1999 permits public assembly uses, such as restaurants or community halls, and where there have been no issues related to parking or past complaints for the preceding three years, staff may approve the Special Occasion License without referral to the Local Trust Committee. All other Special Occasion License referrals are to be referred to the Local Trust Committee for consideration.

2010-115 (Standing)	Carried	18-Oct-2010
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Publishing Notices beyond legal requirements

That the Galiano Island Local Trust Committee will advertise Public Hearing Notices in the Active Page Magazine in addition to the legally required advertising in the Driftwood Newspaper.



Standing Resolutions Log

Galiano Island

Resolution Number	Action	Date
2009-085 (Standing)	Carried	11-May-2009
Parks Commission Referral		
That staff refer all applications adjacent to a park or ocean access to the Galiano Island Parks and Recreation Commission for comment		

File No.: 4050-03

DATE OF MEETING: September 12, 2023
 TO: Galiano Island Local Trust Committee
 FROM: Warren Dingman Bylaw Enforcement Manager, Local Planning Services
 SUBJECT: Bylaw Enforcement Notification Bylaw Amendments

RECOMMENDATION

1. That the Galiano Island Local Trust Committee Bylaw No. 289, cited as “Galiano Island Local Trust Committee Bylaw Enforcement Notification Bylaw No. 228, 2011, Amendment No. 1, 2023” be adopted.

REPORT SUMMARY

This report recommends that the Galiano Island Local Trust Committee amend Galiano Island Local Trust Area Bylaw Enforcement Notification Bylaw No. 228, 2011 (BEN) so that amendments in the Galiano Island Land Use Bylaw (LUB) are included and so that various housekeeping amendments can be made.

BACKGROUND

At the June 20, 2023 meeting the Galiano Island Local Trust Committee gave three readings to Bylaw No. 289 by making the following resolutions:

1. That Galiano Island Local Trust Committee Bylaw 289, cited as “Galiano Island Local Trust Committee Bylaw Enforcement Notification Bylaw No. 228, 2011, Amendment No. 1, 2023”, be read a first time.
2. That Galiano Island Local Trust Committee Bylaw 289, cited as “Galiano Island Local Trust Committee Bylaw Enforcement Notification Bylaw No. 228, 2011, Amendment No. 1, 2023”, be read a second time.
3. That Galiano Island Local Trust Committee Bylaw 289, cited as “Galiano Island Local Trust Committee Bylaw Enforcement Notification Bylaw No. 228, 2011, Amendment No. 1, 2023”, be read a third time.

At its regular business meeting on July 12, 2023, the Executive Committee approved Bylaw 289.

Rationale for Adoption

This amendment bylaw updates the contraventions and penalties in the BEN bylaw and the proposed Bylaw No. 289 is consistent with Islands Trust Council policies and approved by the Executive Committee.

Prepared By:	Warren Dingman Bylaw Compliance & Enforcement Manager	September 1, 2023
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ATTACHMENT

1. GL-LTC-BEN-Amendment-Bylaw-289

PROPOSED

GALIANO ISLAND LOCAL TRUST COMMITTEE BYLAW NO. 289

A BYLAW TO AMEND THE GALIANO ISLAND LOCAL TRUST COMMITTEE BYLAW ENFORCEMENT NOTIFICATION BYLAW, NO. 228, 2011

The Galiano Island Local Trust Committee, being the Local Trust Committee having jurisdiction on and in respect of the Galiano Island Local Trust Area, under the *Islands Trust Act*, in open meeting assembled, enacts as follows:

1. CITATION

This Bylaw may be cited as “Galiano Island Local Trust Committee Bylaw Enforcement Notification Bylaw, No. 228, 2011, Amendment No. 1, 2023.”

2. Galiano Island Local Trust Committee Bylaw cited as “Galiano Island Local Trust Committee Bylaw Enforcement Notification Bylaw, No. 228, 2011” is hereby amended as follows:

- (a) By removing Schedule A – Galiano Island Land Use Bylaw No. 127, 1999 Contraventions and Penalties and substituting the attached: Schedule A – Galiano Island Land Use Bylaw No. 127, 1999 Contraventions and Penalties.

3. SEVERABILITY

If any provision of this Bylaw is for any reason held to be invalid by a decision of any Court of competent jurisdiction, the invalid provision must be severed from the Bylaw and the decision that such provision is invalid must not affect the validity of the remaining provisions of the Bylaw.

READ A FIRST TIME THIS 20TH DAY OF JUNE 2023.

READ A SECOND TIME THIS 20TH DAY OF JUNE 2023.

READ A THIRD TIME THIS 20TH DAY OF JUNE 2023.

APPROVED BY THE EXECUTIVE COMMITTEE OF THE ISLANDS TRUST
THIS 12TH DAY OF JULY 2023.

ADOPTED THIS DAY OF 20__

SECRETARY

CHAIR

Schedule A
GALIANO ISLAND LAND USE BYLAW NO. 127, 1999
CONTRAVENTIONS AND PENALTIES

Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
2.1.1	Non-Permitted Use Of Conduits/Poles/Towers In Nature Protection Zone	\$350.00	\$262.50	\$525.00	Yes	100%
2.1.2	Non-Permitted Bicycling And Equestrian Trails In Nature Protection Zone	\$350.00	\$262.50	\$525.00	Yes	100%
2.1.3	Non-Permitted Accessory Use/Building/Structure Or Non-Permitted Agricultural And Horticultural Use Or Farm Animals not confined to owners' property	\$350.00	\$262.50	\$525.00	Yes	100%
2.1.4	Non-Permitted Sawmilling In Nature Protection Zone	\$350.00	\$262.50	\$525.00	Yes	100%
2.2	Non-Permitted Use Of Accessory Building/Structure As Home Occupation Prior To Primary Building/Structure Constructed And Occupied	\$200.00	\$150.00	\$300.00	Yes	100%
2.3.1	Non-Permitted Use Of Accessory Building/Structure, Other Than Cottage, For Human Habitation	\$350.00	\$262.50	\$525.00	Yes	100%
2.3.2	Non-Permitted Use Of Land/Building/Structure For Mobile Home Parks/Manufactured Home Parks/Commercial Campgrounds	\$350.00	\$262.50	\$525.00	Yes	100%
2.3.3	Non-Permitted Use Of Land/Building/Structure For Commercial Aquaculture	\$350.00	\$262.50	\$525.00	Yes	100%
2.3.4	Non-Permitted Use Of Land/Building/Structure For Airports Other Than Float Plane Bases	\$350.00	\$262.50	\$525.00	Yes	100%
2.3.5	Non-Permitted Use Of Boat Launching Ramp/Marina/Dock For Launching Personal Watercraft	\$350.00	\$262.50	\$525.00	Yes	100%
2.3.6	Non-Permitted Use Of Land/Building/Structure For Helipads	\$350.00	\$262.50	\$525.00	Yes	100%
2.3.7	Non-Permitted Use Of Land/Building/Structure For Private Golf Courses/Marinas	\$350.00	\$262.50	\$525.00	Yes	100%

Schedule A
GALIANO ISLAND LAND USE BYLAW NO. 127, 1999
CONTRAVENTIONS AND PENALTIES

Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
2.3.8	Non-Permitted Use Of Land/Building/Structure For Waste Disposal On Land/Marine Areas	\$500.00	\$375.00	\$750.00	Yes	100%
2.4	Wrecking/Storage Of Derelict Automobiles/Used Or Discarded Machinery/Equipment.	\$200.00	\$150.00	\$300.00	Yes	100%
2.5	Exceed Height Restriction For Accessory Building/Structure	\$350.00	\$262.50	\$525.00	Yes	100%
2.6	Accessory Building/Structure Exceeds One Story	\$350.00	\$262.50	\$525.00	Yes	100%
2.8	Fence exceeds permitted height.	\$350.00	\$262.50	\$525.00	Yes	100%
2.9	Exceed Floor Area Restriction For Cottage	\$350.00	\$262.50	\$525.00	Yes	100%
2.12	Non-Permitted residential design of forestry use building or structure.	\$350.00	\$262.50	\$525.00	Yes	100%
2.14	Non-Permitted Siting Of Building/Structure In Set Back From Sea/Lake/Swamp/Watercourse.	\$350.00	\$262.50	\$525.00	Yes	100%
2.15	Non-Permitted Siting Of Sewage Absorption Field In Set Back From Sea/Lake/Swamp/Watercourse/Well.	\$350.00	\$262.50	\$525.00	Yes	100%
2.16	Non-Permitted Siting Of Building/Structure For Farm Animals In Set Back From Sea/Lake/Swamp/Watercourse/Well	\$350.00	\$262.50	\$525.00	Yes	100%
2.17	Non-Permitted Siting Of Building/Structure Used For Human Habitation/Occupancy In Agriculture Zone	\$350.00	\$262.50	\$525.00	Yes	100%
2.28.1	Non-Permitted Secondary Suite	\$350.00	\$262.50	\$525.00	Yes	100%
2.28.2	Non-Permitted Secondary Suite/Cottage	\$350.00	\$262.50	\$525.00	Yes	100%
2.28.3	Secondary Suite Too Large	\$350.00	\$262.50	\$525.00	Yes	100%
2.28.4	Secondary Suite Not Located In Principal Dwelling	\$350.00	\$262.50	\$525.00	Yes	100%
2.28.5	Secondary Suit Without Separate Entrance	\$350.00	\$262.50	\$525.00	Yes	100%
2.28.6	Secondary Suite Without Adequate Rainwater Storage	\$350.00	\$262.50	\$525.00	Yes	100%
2.28.8.1	Non Resident Employee In Suite Home Occupation	\$350.00	\$262.50	\$525.00	Yes	100%

Schedule A
GALIANO ISLAND LAND USE BYLAW NO. 127, 1999
CONTRAVENTIONS AND PENALTIES

Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
2.28.9	No Parking Provided For Secondary Suite	\$350.00	\$262.50	\$525.00	Yes	100%
3.2	Home Occupation On Premise Not Being Occupied As Dwelling	\$200.00	\$150.00	\$300.00	Yes	100%
3.3	Home Occupation Not Conducted Entirely Within Operator's Dwelling Unit Or Accessory Building/Structure	\$200.00	\$150.00	\$300.00	Yes	100%
3.3	Non-Permitted Exterior Storage Of Materials/Products/Equipment	\$200.00	\$150.00	\$300.00	Yes	100%
3.4	Not Retaining Residential Appearance Due To Home Occupation	\$200.00	\$150.00	\$300.00	Yes	100%
3.5	Non-Permitted Home Occupation Sign/ Lighting	\$200.00	\$150.00	\$300.00	Yes	100%
3.6	More Than Three Persons Employed In Home Occupation Or No Employee Residing Permanently	\$200.00	\$150.00	\$300.00	Yes	100%
3.7	Non-Permitted Home Occupation Activity	\$200.00	\$150.00	\$300.00	Yes	100%
3.8	Non-Permitted Home Occupation	\$200.00	\$150.00	\$300.00	Yes	100%
3.9	Home Occupation Producing Waste/Noise/Vibration/Glare/Fumes/Odours/Illumination/Electrical Interference Detectable Off Lot Or Home Occupation Consumes Excessive Groundwater	\$200.00	\$150.00	\$300.00	Yes	100%
3.10	Exceed Maximum Number Bedrooms In B&B	\$200.00	\$150.00	\$300.00	Yes	100%
3.12	Vehicle/Equipment for Home Occupation in Setback Unscreened.	250.00	\$187.00	\$300.00	Yes	100%
3.13.1	More Than One STVR in Use	\$350.00	\$262.50	\$525.00	Yes	100%
3.13.2	Too Many Bedrooms/Beds in STVR/B&B	\$350.00	\$262.50	\$525.00	Yes	100%
5.1.1	Non-Permitted Use In Village Residential 1 Zone	\$500.00	\$375.00	\$750.00	Yes	100%
5.1.2	More Than One Dwelling On Lot In Village Residential 1 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.1.3	Non-Permitted Cottage In Village Residential 1 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.1.4	Exceed Lot Coverage Restriction In Village Residential 1 Zone	\$350.00	\$262.50	\$525.00	Yes	100%

Schedule A
GALIANO ISLAND LAND USE BYLAW NO. 127, 1999
CONTRAVENTIONS AND PENALTIES

Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
5.1.5	Exceed Height Restriction For Building/Structure In Village Residential 1 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.1.6	Encroachment Of Building/Structure Into Setback In Village Residential 1 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.1.7	Encroachment Of Building/Structure For Animals Into Setback In Village Residential 1 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.1.8	Buildings/Structures Used For Human Habitation In Setback From AG Zone.	\$350.00	\$262.50	\$525.00	Yes	100%
5.2.1	Non-Permitted Use In Village Residential 2 Zone	\$500.00	\$375.00	\$750.00	Yes	100%
5.2.2	More Than One Dwelling On Lot In Village Residential 2 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.2.3	Non-Permitted Cottage In Village Residential 2 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.2.4	Exceed Lot Coverage Restriction In Village Residential 2 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.2.5	Exceed Height Restriction For Building/Structure In Village Residential 2 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.2.6	Encroachment Of Building/Structure Into Setback In Village Residential 2 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.2.7	Encroachment Of Building/Structure For Animals In Village Residential 2 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.2.8	Buildings/Structures Used For Human Habitation In Setback From AG Zone.	\$350.00	\$262.50	\$525.00	Yes	100%
5.3.1	Non-Permitted Use In Small Lot Residential Zone	\$500.00	\$375.00	\$750.00	Yes	100%
5.3.2	Non-Permitted Cottage On Lot 1, District Lot 83 In Small Lot Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.3.3	Non-Permitted Use On District Lot 145 In Small Lot Residential Zone	\$500.00	\$375.00	\$750.00	Yes	100%
5.3.4	Non-Permitted Additional Dwelling In Small Lot Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%

Schedule A
GALIANO ISLAND LAND USE BYLAW NO. 127, 1999
CONTRAVENTIONS AND PENALTIES

Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
5.3.5	Non-Permitted Cottage On Lots Smaller Than 0.4 Hectares In Small Lot Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.3.6	Exceed Lot Coverage Restriction In Small Lot Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.3.7	Exceed Height Restriction For Building/Structure In Small Lot Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.3.8	Encroachment Of Building/Structure Into Setback In Small Lot Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.3.10	Encroachment Of Building/Structure For Farm Animals Into Setback In Small Lot Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.4.1	Non-Permitted Use In Rural Residential Zone	\$500.00	\$350.00	\$750.00	Yes	100%
5.4.2	Non-Permitted Additional Dwelling In Rural Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.4.3	Non-Permitted Cottage In Rural Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.4.4	Exceed Lot Coverage	\$350.00	\$262.50	\$525.00	Yes	100%
5.4.5	Exceed Height Restriction For Building/Structure In Rural Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.4.6	Encroachment Of Building/Structure Into Setback In Rural Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.4.7	Encroachment Of Building/Structure For Farm Animals Into Setback In Rural Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.4.8	Buildings/Structures Used For Human Habitation In Setback From AG Zone.	\$350.00	\$262.50	\$525.00	Yes	100%
5.4.13	Building/ Structure/Paved Area Outside Developable Area	\$350.00	\$262.50	\$525.00	Yes	100%
5.4.15	Building/Structure/Paved Area Outside Designated Area	\$350.00	\$262.50	\$525.00	Yes	100%
5.4.17	Building/ Structure/Paved Area Outside Developable Area	\$350.00	\$262.50	\$525.00	Yes	100%
5.5.1	Non Permitted Use in Rural 2 Zone	\$500.00	\$375.00	\$750.00	Yes	100%
5.5.2	Non-Permitted Additional Dwelling In Rural 2 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.5.3	Non-Permitted Cottage In Rural 2 Zone	\$350.00	\$262.50	\$525.00	Yes	100%

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CONTRAVENTIONS AND PENALTIES

Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
5.5.4	Exceed Lot Coverage	\$350.00	\$262.50	\$525.00	Yes	100%
5.5.5	Exceed Height Restriction For Building/Structure In Rural 2 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.5.6	Encroachment Of Building/Structure Into Setback In Rural 2 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.5.7	Encroachment Of Building/Structure For Farm Animals Into Setback In Rural 2 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.5.8	Buildings/Structures Used For Human Habitation In Setback From AG Zone.	\$350.00	\$262.50	\$525.00	Yes	100%
5.6.1	Non-Permitted Use In Rural 3 Zone	\$500.00	\$375.00	\$750.00	Yes	100%
5.6.2	Non-Permitted Additional Dwelling In Rural 3 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.6.3	Non-Permitted Cottage In Rural 3 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.6.4	Exceed Lot Coverage	\$350.00	\$262.50	\$525.00	Yes	100%
5.6.5	Exceed Height Restriction For Building/Structure In Rural 3 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.6.6	Encroachment Of Building/Structure Into Setback In Rural 3 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.6.7	Encroachment Of Building/Structure/Use Permitted Under Article 5.6.1 Into Setback In Rural 3 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.6.8	Encroachment Of Building/Structure For Animals Into Setback In Rural 3 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.6.9	Buildings/Structures Used For Human Habitation In Setback From AG Zone.	\$350.00	\$262.50	\$525.00	Yes	100%
6.1.1	Non-Permitted Use In Agriculture Zone	\$500.00	\$375.00	\$750.00	Yes	100%
6.1.2	Non-Permitted Additional Dwelling In Agriculture Zone	\$500.00	\$375.00	\$750.00	Yes	100%
6.1.4	Exceed Lot Coverage	\$350.00	\$262.50	\$525.00	Yes	100%
6.1.5	Exceed Height Restriction For Building/Structure In Agriculture Zone	\$350.00	\$262.50	\$525.00	Yes	100%
6.1.6	Encroachment Of Building/Structure Into Setback In Agriculture Zone	\$350.00	\$262.50	\$525.00	Yes	100%
6.1.7	Encroachment Of Non-Residential Building/Structure Into Setback In Agriculture Zone	\$350.00	\$262.50	\$525.00	Yes	100%

Schedule A
GALIANO ISLAND LAND USE BYLAW NO. 127, 1999
CONTRAVENTIONS AND PENALTIES

Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
6.1.10	Agri-tourist Accommodation Not Accessory To Working Farm	\$350.00	\$262.50	\$525.00	Yes	100%
6.1.11	Agri-Tourist Accommodation Not In AG Zone and ALR.	\$350.00	\$262.50	\$525.00	Yes	100%
6.1.12	Agri-tourist Accommodation Not Situated In Dwelling or Cottage	\$350.00	\$262.50	\$525.00	Yes	100%
6.1.13	Agri-tourist Accommodation With Unpermitted Restaurant/Commercial Or Retail Sales And Services	\$350.00	\$262.50	\$525.00	Yes	100%
6.1.14	Agri-tourist Operation Exceed Maximum Guests/Bedrooms	\$500.00	\$375.00	\$750.00	Yes	100%
7.1.1	Non-Permitted Use In Forest 1 Zone	\$500.00	\$375.00	\$750.00	Yes	100%
7.1.2	Non-Permitted Building/Structure Or Permitted Building/Structure Exceeds Maximum Floor Area Or Inadequate Landscape Screen In Forest 1 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
7.1.3	Exceed Height Restriction For Building/Structure In Forest 1 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
7.1.4	Encroachment Of Building/Structure Into Setback In Forest 1 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
7.1.5	Encroachment Of Building/Structure Into Setback Of Lot Line That Does Not Abut Highway In Forest 1 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
7.2.1	Non-Permitted Use In Forest 2 Zone	\$500.00	\$375.00	\$750.00	Yes	100%
7.2.2	Non-Permitted Additional Dwelling Accessory To Timber Production And Harvesting In Forest 2 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
7.2.3	Non-Permitted Building/Structure Or Permitted Building/Structure Exceeds Maximum Floor Area Or Inadequate Landscape Screen In Forest 2 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
7.2.4	Exceed Height Restriction For Building/Structure In Forest 2 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
7.2.5	Encroachment Of Building/Structure Into Setback In Forest 2 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
7.2.6	Encroachment Of Building/Structure Into Setback In Forest 2 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
7.2.7	Buildings/Structures Used For Human Habitation In Setback From AG Zone.	\$350.00	\$262.50	\$525.00	Yes	100%
7.3.1	Non-Permitted Use In Forest 3 Zone	\$350.00	\$262.50	\$525.00	Yes	100%

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7.3.2	Non-Permitted Building/Structure Or Permitted Building/Structure Exceeds Maximum Floor Area Or Inadequate Landscape Screen In Forest 3 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
7.3.3	Non-Permitted Additional Dwelling Or Dwelling/Accessory Building/Structure Exceed Maximum Floor/Lot Area In Forest 3 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
7.3.4	Exceed Height Restriction For Building/Structure In Forest 3 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
7.3.5	Encroachment Of Building/Structure Into Setback In Forest 3 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
7.3.6	Buildings/Structures Used For Human Habitation In Setback From AG Zone.	\$350.00	\$262.50	\$525.00	Yes	100%
7.4.1	Non-Permitted Use In Heritage Forest Zone	\$500.00	\$375.00	\$750.00	Yes	100%
7.4.2	Building/Structure For Timber Production Exceeds Maximum Floor Area Or Inadequate Landscape Screen In Heritage Forest Zone	\$350.00	\$262.50	\$525.00	Yes	100%
7.4.3	Permitted Building/Structure For Forestry Research Uses Exceed Maximum Floor/Lot Area In Heritage Forest Zone	\$350.00	\$262.50	\$525.00	Yes	100%
7.4.4	Exceed Height Restriction For Building/Structure In Heritage Forest Zone	\$350.00	\$262.50	\$525.00	Yes	100%
7.4.5	Encroachment Of Building/Structure Into Setback In Heritage Forest Zone	\$350.00	\$262.50	\$525.00	Yes	100%
7.4.6	Encroachment Of Building/Structure Into Setback From Lot Line That Does Not Abut A Highway In Heritage Forest Zone	\$350.00	\$262.50	\$525.00	Yes	100%
7.5.1	Non-Permitted Use In Forest Land Reserve Zone	\$500.00	\$375.00	\$750.00	Yes	100%
7.5.2	Building/Structure Exceeds Maximum Floor Area Or Inadequate Landscape Screen In Forest Land Reserve Zone	\$350.00	\$262.50	\$525.00	Yes	100%
7.5.3	Dwelling Does Not Have Highway Access In Forest Land Reserve Zone	\$500.00	\$375.00	\$750.00	Yes	100%

Schedule A
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CONTRAVENTIONS AND PENALTIES

Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
7.5.4	Exceed Height Restriction For Building/Structure In Forest Land Reserve Zone	\$350.00	\$262.50	\$525.00	Yes	100%
7.5.5	Encroachment Of Building/Structure Into Setback In Forest Land Reserve Zone	\$350.00	\$262.50	\$525.00	Yes	100%
7.5.6	Encroachment Of Building/Structure Into Setback From Lot Line That Does Not Abut Highway In Forest Land Reserve Zone	\$350.00	\$262.50	\$525.00	Yes	100%
7.5.7	Buildings/Structures Used For Human Habitation In Setback From AG Zone.	\$350.00	\$262.50	\$525.00	Yes	100%
8.1.1	Non-Permitted Use In Senior Citizen Residential Zone	\$500.00	\$375.00	\$750.00	Yes	100%
8.1.2	Exceed Density In Senior Citizen Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
8.1.3	Exceed Lot Coverage In Senior Citizen Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
8.1.4	Exceed Height Restriction For Building/Structure In Senior Citizen Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
8.1.5	Encroachment Of Building/Structure Into Setback In Senior Citizen Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
8.1.6	Buildings/Structures Used For Human Habitation In Setback From AG Zone.	\$350.00	\$262.50	\$525.00	Yes	100%
8.2.1	Non-Permitted Use In Community Facility Zone	\$500.00	\$375.00	\$750.00	Yes	100%
8.2.2	Fail To Meet Site Specific Usage Regulations In Community Facility Zone	\$350.00	\$262.50	\$525.00	Yes	100%
8.2.3	Exceed Density Restriction Of Affordable And Special Needs Housing In Community Facility Zone	\$350.00	\$262.50	\$525.00	Yes	100%
8.2.4	Exceed Lot Coverage Restriction On Lot 2 In Community Facility Zone	\$350.00	\$262.50	\$525.00	Yes	100%
8.2.5	Exceed Height Restriction For Building/Structure In Community Facility Zone	\$350.00	\$262.50	\$525.00	Yes	100%

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GALIANO ISLAND LAND USE BYLAW NO. 127, 1999
CONTRAVENTIONS AND PENALTIES

Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
8.2.6	Encroachment Of Building/Structure Into Setback In Community Facility Zone	\$350.00	\$262.50	\$525.00	Yes	100%
8.2.7	Fail To Meet Site Specific Setback Regulations In Community Facility Zone	\$350.00	\$262.50	\$525.00	Yes	100%
8.3.1	Non-Permitted Use In Emergency And Health Services Zone	\$500.00	\$375.00	\$750.00	Yes	100%
8.3.2	Exceed Height Restriction For Building/Structure In Emergency And Health Services Zone	\$350.00	\$262.50	\$525.00	Yes	100%
8.3.3	Encroachment Of Building/Structure Into Setback In Emergency And Health Services Zone	\$350.00	\$262.50	\$525.00	Yes	100%
8.3.4	Buildings/Structures Used For Human Habitation In Setback From AG Zone.	\$350.00	\$262.50	\$525.00	Yes	100%
8.4.1	Non-Permitted Use In Utility Service Zone	\$500.00	\$375.00	\$750.00	Yes	100%
8.4.2	Exceed Height Restriction For Building/Structure In Utility Service Zone	\$350.00	\$262.50	\$525.00	Yes	100%
8.4.3	Encroachment Of Building/Structure Into Setback In Utility Service Zone	\$350.00	\$262.50	\$525.00	Yes	100%
8.4.4	Inadequate Landscape Screen For Storage Areas In Utility Service Zone	\$200.00	\$150.00	\$300.00	Yes	100%
8.5.1	Non-Permitted Use In Environmental Education and Nature Protection Zone	\$500.00	\$375.00	\$750.00	Yes	100%
8.5.2	Non-Permitted Building/Structure In Environmental Education and Nature Protection Zone	\$350.00	\$262.50	\$525.00	Yes	100%
8.5.2.2	Excess Tent Platforms/Pavilions/Fire Pit Areas	\$350.00	\$262.50	\$525.00	Yes	100%
8.5.2.3	Campsites and Tent Platforms Outside Designated Area/ Exceed Combined Total	\$350	\$262.50	\$525.00	Yes	100%
8.5.3.1	Permanent Structures Exceed 2,250 SQ Metres In Environmental Education and Nature Protection Zone	\$350.00	\$262.50	\$525.00	Yes	100%
8.5.3.2	Total Lot Coverage Exceeded In Environmental Education and Nature Protection Zone	\$350.00	\$262.50	\$525.00	Yes	100%

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GALIANO ISLAND LAND USE BYLAW NO. 127, 1999
CONTRAVENTIONS AND PENALTIES

Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
8.5.3.4	More Than One Dwelling In Environmental Education and Nature Protection Zone	\$350.00	\$262.50	\$525.00	Yes	100%
8.5.4	Exceed Height Restriction For Building/Structure In Environmental Education and Nature Protection Zone	\$350.00	\$262.50	\$525.00	Yes	100%
8.5.5.1	Encroachment Of Building/Structure Into Setback In Environmental Education and Nature Protection Zone	\$350.00	\$262.50	\$525.00	Yes	100%
8.5.5.2	Buildings/Structures Used For Human Habitation In Setback From AG Zone.	\$350.00	\$262.50	\$525.00	Yes	100%
8.6.1	Non-Permitted Use in Community Housing 1 Zone	\$500.00	\$375.00	\$750.00	Yes	100%
8.6.2	Exceed Density in Community Housing 1 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
8.6.3	Exceed Maximum Floor Area of Dwelling in Community Housing 1 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
8.6.4	Exceed Maximum Number of Accessory Buildings and/or Maximum Floor Area of Accessory Buildings in Community Housing 1 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
8.6.5	Exceed Maximum Number of Communal Accessory Buildings and/or Maximum Floor Area of Communal Accessory Buildings in Community Housing 1 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
8.6.6	Exceed Height Restriction for Building/Structure in Community Housing 1 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
8.6.7	Encroachment of Building/Structure in Community Housing 1 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
8.6.8	Encroachment of Building/Structure Used for Human Habitation into Agriculture Zone Setback	\$350.00	\$262.50	\$525.00	Yes	100%
8.7.1	Non-Permitted Use in Community Housing 2 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
8.7.2	Exceed Density in Community Housing 2 Zone	\$350.00	\$262.50	\$525.00	Yes	100%

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GALIANO ISLAND LAND USE BYLAW NO. 127, 1999
CONTRAVENTIONS AND PENALTIES

Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
8.7.3	Exceed Maximum Floor Area of Dwelling in Community Housing 2 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
8.7.4	More than one communal/services building per lot	\$350.00	\$262.50	\$525.00	Yes	100%
8.7.5	Exceed maximum floor area of communal/services building	\$350.00	\$262.50	\$525.00	Yes	100%
8.7.6	Exceed maximum lot coverage in Community Housing 2 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
8.7.7	Exceed maximum permitted height in Community Housing 2 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
8.7.8	Encroachment of building/structure into setback	\$350.00	\$262.50	\$525.00	Yes	100%
9.1.1	Non-Permitted Use In Retail Commercial Zone	\$500.00	\$350.00	\$750.00	Yes	100%
9.1.2	Fail To Meet Site Specific Usage Regulations In Retail Commercial Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.1.3	Exceed Lot Coverage Restriction In Retail Commercial Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.1.4	More Than One Dwelling On Lot In Retail Commercial Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.1.5	Exceed Height Restriction For Building/Structure In Retail Commercial Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.1.6	Encroachment Of Building/Structure/Unenclosed Accessory Storage Areas Into Setback In Retail Commercial Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.1.7	Encroachment Of Building/Structure Used For Farm Animals Into Setback In Retail Commercial Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.1.8	Buildings/Structures Used For Human Habitation In Setback From AG Zone.	\$350.00	\$262.50	\$525.00	Yes	100%
9.1.10	Fail To Meet Site Specific Vegetation Regulations In Retail Commercial Zone	\$200.00	\$150.00	\$300.00	Yes	100%
9.1.11	Inadequate Landscape Screen For Unenclosed Storage Areas In Retail Commercial Zone	\$200.00	\$150.00	\$300.00	Yes	100%
9.1.12	Fail To Provide Compliant Area For Unloading Of Goods From Commercial Vehicles In Retail Commercial Zone	\$200.00	\$150.00	\$300.00	Yes	100%

Schedule A
GALIANO ISLAND LAND USE BYLAW NO. 127, 1999
CONTRAVENTIONS AND PENALTIES

Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
9.2.1	Non-Permitted Use In Visitor Accommodation (Inn) Zone	\$500.00	\$375.00	\$750.00	Yes	100%
9.2.2	Accommodation Facility Exceeds Maximum Rooms/ Does Not Contain Accommodation/Restaurant And Dwelling In Single Building In Inn Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.2.3	Accommodation Facility In Lot A District Lot 26 In Visitor Accommodation (Inn) Zone Does Not Meet Site Specific Regulations	\$350.00	\$262.50	\$525.00	Yes	100%
9.2.5	More Than One Inn On Lot In Visitor Accommodation (Inn) Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.2.6	Exceed Maximum Lot Coverage In Visitor Accommodation (Inn) Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.2.7.1	Exceed Floor Space Ratio Restriction In Visitor Accommodation (Inn) Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.2.7.2	Exceed Maximum Floor Area Restriction For Visitor Accommodation Rooms In Visitor Accommodation (Inn) Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.2.7.3	Exceed Maximum Floor Area Restriction For Accessory Retail Sales In Visitor Accommodation (Inn) Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.2.8	Exceed Maximum Height Restriction For Building/Structure In Visitor Accommodation (Inn) Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.2.9	Encroachment Of Building/Structure Into Setback In Visitor Accommodation (Inn) Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.2.10	Buildings/Structures Used For Human Habitation In Setback From AG Zone.	\$350.00	\$262.50	\$525.00	Yes	100%
9.2.12	Inadequate Landscape Screen For Unenclosed Storage Areas In Visitor Accommodation (Inn) Zone	\$200.00	\$150.00	\$300.00	Yes	100%
9.3.1	Non-Permitted Use In Visitor Accommodation (Resort) Zone	\$500.00	\$375.00	\$750.00	Yes	100%
9.3.3	More Than One Resort On Lot In Visitor Accommodation (Resort) Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.3.4	Exceed Maximum Lot Coverage Restriction In Visitor Accommodation (Resort) Zone	\$350.00	\$262.50	\$525.00	Yes	100%

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GALIANO ISLAND LAND USE BYLAW NO. 127, 1999
CONTRAVENTIONS AND PENALTIES

Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
9.3.5	Exceed Maximum Height Restriction Of Building/Structure In Visitor Accommodation (Resort) Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.3.6	Encroachment Of Building/Structure Into Setback In Visitor Accommodation (Resort) Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.3.7	Buildings/Structures Used For Human Habitation In Setback From AG Zone.	\$350.00	\$262.50	\$525.00	Yes	100%
9.3.9	Inadequate Landscape Screen For Unenclosed Storage Areas In Visitor Accommodation (Resort) Zone	\$200.00	\$150.00	\$300.00	Yes	100%
9.3(A).1	Non-Permitted Use In Visitor Accommodation (Rural Resort) Zone	\$500.00	\$375.00	\$750.00	Yes	100%
9.3(A).2	More Than One Resort On Lot In Visitor Accommodation (Rural Resort) Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.3(A).3	Exceed Total Floor Area For Buildings/Structures In Visitor Accommodation (Rural Resort) Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.3(A).4	Exceed Maximum Floor Area Restriction For Accessory Buildings Other Than Barn In Visitor Accommodation (Rural Resort) Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.3(A).5	Exceed Maximum Height Restriction Of Building/Structure In Visitor Accommodation (Rural Resort) Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.3(A).6	Encroachment Of Building/Structure Except Fence/Pumphouse Into Setback In Visitor Accommodation (Rural Resort) Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.3(A).7	Encroachment Of Building/Structure For Animals Into Setback In Visitor Accommodation (Rural Resort) Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.3(A).8	Buildings/Structures Used For Human Habitation In Setback From AG Zone.	\$350.00	\$262.50	\$525.00	Yes	100%
9.3(A).10	Inadequate Landscape Screen For Unenclosed Storage Areas In Visitor Accommodation (Rural Resort) Zone	\$200.00	\$150.00	\$300.00	Yes	100%
9.3(B).1	Non-Permitted Use In Galiano Inn (Comprehensive Resort) Zone	\$500.00	\$375.00	\$750.00	Yes	100%

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GALIANO ISLAND LAND USE BYLAW NO. 127, 1999
CONTRAVENTIONS AND PENALTIES

Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
9.3(B).3	More Than One Comprehensive Resort On Lot In Galiano Inn (Comprehensive Resort) Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.3(B).4	Exceed Maximum Lot Coverage Restriction Of Building/Structure In Galiano Inn (Comprehensive Resort) Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.3(B).5	Exceed Maximum Lot Coverage Restriction Of Asphalt And Concrete Paving In Galiano Inn (Comprehensive Resort) Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.3(B).6	Visitor Accommodation Sleeping Rooms Exceed Maximum Total Combined Floor Area Restriction In Galiano Inn (Comprehensive Resort) Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.3(B).7	Visitor Accommodation Units Exceed Maximum Total Combined Floor Area Restriction In Galiano Inn (Comprehensive Resort) Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.3(B).8	More Than One Restaurant Or Restaurant Exceeds Maximum Seating Restriction In Galiano Inn (Comprehensive Resort) Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.3(B).9	More Than One Retail Area Or Retail Area Exceeds Maximum Area Restriction In Galiano Inn (Comprehensive Resort) Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.3(B).10	More Than One Dwelling For Owner/Operator Or Dwelling Exceeds Maximum Area Restriction In Galiano Inn (Comprehensive Resort) Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.3(B).11	More Than One Laundry Area Or Laundry Area Exceeds Maximum Area Restriction In Galiano Inn (Comprehensive Resort) Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.3(B).12	Non-licenced Lounge Or More Than One Licenced Lounge Or Lounge Exceeds Maximum Seating Restriction In Galiano Inn (Comprehensive Resort) Zone	\$350.00	\$262.50	\$525.00	Yes	100%

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GALIANO ISLAND LAND USE BYLAW NO. 127, 1999
CONTRAVENTIONS AND PENALTIES

Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
9.3(B).13	Exceed Maximum Height Restriction Of Building/Structure In Galiano Inn (Comprehensive Resort) Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.3(B).14	Encroachment Of Buildings/Structures/Tanks/Sheds/Replacement Parking Sites Into Setback In Galiano Inn (Comprehensive Resort) Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.3(B).15	Buildings/Structures Used For Human Habitation In Setback From AG Zone.	\$350.00	\$262.50	\$525.00	Yes	100%
9.3(B).17	Inadequate Landscape Screen In Galiano Inn (Comprehensive Resort) Zone	\$200.00	\$150.00	\$300.00	Yes	100%
9.4.1	Non-Permitted Use In Public House Commercial Land Zone	\$500.00	\$375.00	\$750.00	Yes	100%
9.4.2	Exceed Maximum Lot Coverage Restriction In Public House Commercial Land Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.4.3	More Than One Accessory Dwelling On Permitted Lot In Public House Commercial Land Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.4.4	Floor Area For Serving Customers/ Seating Capacity Exceeds Maximum Restriction In Public House Commercial Land Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.4.5	Exceed Maximum Height Restriction For Building/Structure In Public House Commercial Land Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.4.6	Encroachment Of Building/Structure/Unenclosed Storage Areas Into Setback In Public House Commercial Land Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.4.7	Buildings/Structures Used For Human Habitation In Setback From AG Zone.	\$350.00	\$262.50	\$525.00	Yes	100%
9.4.9	Inadequate Landscape Screen For Unenclosed Storage Areas In Public House Commercial Land Zone	\$200.00	\$150.00	\$300.00	Yes	100%
9.4.10	Fail To Provide Compliant Area For Unloading Of Goods From Commercial Vehicles In Public House Commercial Land Zone	\$200.00	\$150.00	\$300.00	Yes	100%

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GALIANO ISLAND LAND USE BYLAW NO. 127, 1999
CONTRAVENTIONS AND PENALTIES

Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
9.5.1	Non-Permitted Use In Commercial Private Film School Zone	\$500.00	\$375.00	\$750.00	Yes	100%
9.5.2	More Than One Commercial Private Film School Or School Exceeds Total Floor Area Restriction In Commercial Private Film School Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.5.3	Overnight Accommodation Of Students/Staff Exceed Maximum Restriction In Commercial Private Film School Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.5.4	More Than One Accessory Dwelling On Permitted Lot In Commercial Private Film School Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.5.5	Exceed Maximum Lot Coverage Restriction In Commercial Private Film School Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.5.6	Exceed Maximum Height Restriction For Building/Structure In Commercial Private Film School Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.5.7	Encroachment Of Building/Structure/Unenclosed Accessory Storage Area Into Setback In Commercial Private Film School Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.5.8	Buildings/Structures Used For Human Habitation In Setback From AG Zone.	\$350.00	\$262.50	\$525.00	Yes	100%
9.5.10	Inadequate Landscape Screen For Unenclosed Storage Areas In Commercial Private Film School Zone	\$200.00	\$150.00	\$300.00	Yes	100%
9.6.1	Non-Permitted Use In Light Industrial Zone	\$500.00	\$375.00	\$750.00	Yes	100%
9.6.2	Exceed Maximum Lot Coverage Restriction In Light Industrial Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.6.3	More Than One Dwelling On Lot In Light Industrial Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.6.4	Exceed Maximum Height Restriction For Building/Structure In Light Industrial Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.6.5	Encroachment Of Building/Structure Into Setback In Light Industrial Zone	\$350.00	\$262.50	\$525.00	Yes	100%

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Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
9.6.6	Encroachment Of Building/Structure For Animals Into Setback In Light Industrial Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.6.8	Inadequate Landscape Screen In Light Industrial Zone	\$200.00	\$150.00	\$300.00	Yes	100%
9.6(A).1	Non-Permitted Use In Forest Industrial Zone	\$500.00	\$375.00	\$750.00	Yes	100%
9.6(A).2	Exceed Maximum Lot Coverage Restriction In Forest Industrial Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.6(A).3	More Than One Dwelling On Lot In Forest Industrial Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.6(A).4	Exceed Maximum Height Restriction For Building/Structure In Forest Industrial Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.6(A).5	Encroachment Of Building/Structure Into Setback In Forest Industrial Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.6(A).6	Encroachment Of Building/Structure For Animals Into Setback In Forest Industrial Zone	\$350.00	\$262.50	\$525.00	Yes	100%
9.6(A).7	Buildings/Structures Used For Human Habitation In Setback From AG Zone.	\$350.00	\$262.50	\$525.00	Yes	100%
9.6(A).9	Inadequate Landscape Screen On Lots On Which Light Industrial Uses Are Conducted In Forest Industrial Zone	\$200.00	\$150.00	\$300.00	Yes	100%
10.1.1	Non-Permitted Use in Public Recreation Zone	\$500.00	\$375.00	\$750.00	Yes	100%
10.1.2	Exceed Accessory Dwellings Number	\$350.00	\$262.50	\$525.00	Yes	100%
10.1.3	Exceed Maximum Height	\$350.00	\$262.50	\$525.00	Yes	100%
10.1.4	Encroachment of Buildings/Structures Into Setback In Public Recreation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
10.1.5	Buildings/Structures Used For Human Habitation In Setback From AG Zone.	\$350.00	\$262.50	\$525.00	Yes	100%
11.1.1	Non-Permitted Use In Nature Protection Zone	\$500.00	\$375.00	\$750.00	Yes	100%
11.1.2	Non-Permitted Building/Structure In Nature Protection Zone	\$350.00	\$262.50	\$525.00	Yes	100%
12.1.1	Non-Permitted Use In Marine Protection Zone	\$500.00	\$375.00	\$750.00	Yes	100%
12.1.2	Non-Permitted Building/Structure Or Residential Use Of A Watercraft In Marine Protection Zone	\$350.00	\$262.50	\$525.00	Yes	100%

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Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
12.2.1	Non-Permitted Use In Marine Zone	\$500.00	\$375.00	\$750.00	Yes	100%
12.2.2	Private Float/Walkway Exceed Length Permitted In Marine Zone	\$350.00	\$262.50	\$525.00	Yes	100%
12.2.3	Non-Permitted Commercial/Industrial Activity In Connection With Use Of Docks/Floats/Wharves Or Non-Permitted Residential Use Of A Watercraft In Marine Zone	\$350.00	\$262.50	\$525.00	Yes	100%
12.2.4	Non-Permitted Siting Of Docks/Floats/Wharves In Marine Zone	\$350.00	\$262.50	\$525.00	Yes	100%
12.3.1	Non-Permitted Use In Marine Service Zone	\$500.00	\$375.00	\$750.00	Yes	100%
12.3.2	Non-Permitted Siting Of Structures In Marine Zone	\$350.00	\$262.50	\$525.00	Yes	100%
12.4.1	Non-Permitted Use In Marine Commercial Water Zone	\$500.00	\$375.00	\$750.00	Yes	100%
12.4.2	Exceed Maximum Height Restriction For Building/Structure In Marine Commercial Water Zone	\$350.00	\$262.50	\$525.00	Yes	100%
12.4.3	Non-Permitted Siting Of Building/Structure In Marine Commercial Water Zone	\$350.00	\$262.50	\$525.00	Yes	100%
12.4.4	Non-Permitted Residential Use Of Watercraft In Marine Commercial Water Zone	\$350.00	\$262.50	\$525.00	Yes	100%
12.5.1	Non-Permitted Use In Marine Commercial Land Zone	\$500.00	\$375.00	\$750.00	Yes	100%
12.5.2	More Than One Dwelling On Lot In Marine Commercial Land Zone	\$350.00	\$262.50	\$525.00	Yes	100%
12.5.3	Exceed Maximum Lot Coverage Area Restriction In Marine Commercial Land Zone	\$350.00	\$262.50	\$525.00	Yes	100%
12.5.4	Exceed Maximum Height Restriction Of Building/Structure In Marine Commercial Land Zone	\$350.00	\$262.50	\$525.00	Yes	100%
12.5.5	Encroachment Of Building/Structure/Unenclosed Storage Area From Setback In Marine Commercial Land Zone	\$350.00	\$262.50	\$525.00	Yes	100%
12.5.6	Buildings/Structures Used For Human Habitation In Setback From AG Zone.	\$350.00	\$262.50	\$525.00	Yes	100%

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Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
12.5.8	Inadequate Landscape Screen For Unenclosed Storage Areas In Marine Commercial Land Zone	\$350.00	\$262.50	\$525.00	Yes	100%
12.6.1	Movement Of Float Planes Other Than Taxiing Or Water Area Used For Recreational/Transportation Activities Involving Personal Watercraft In Montague Harbour	\$350.00	\$262.50	\$525.00	Yes	100%
13.23	Inadequate Rainwater Storage In Water Management Area/Community Housing 1 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
14.1	Fail To Provide Minimum Parking Spaces As Per Table 2: Off Street Parking Standards	\$200.00	\$150.00	\$300.00	Yes	100%
14.5	Non-Permitted Siting/Setback Of Parking Space	\$200.00	\$150.00	\$300.00	Yes	100%
14.6	Fail To Provide Sufficient Manoeuvring Area For Parking Space	\$200.00	\$150.00	\$300.00	Yes	100%
14.7	Parking Space Does Not Meet Size Requirements	\$200.00	\$150.00	\$300.00	Yes	100%
14.8	Fail To Provide Minimum Bicycle Parking	\$200.00	\$150.00	\$300.00	Yes	100%
15.1	Parking Areas Improperly Screened	\$200.00	\$150.00	\$300.00	Yes	100%
16.1	Non-Permitted Commercial Sign	\$200.00	\$150.00	\$300.00	Yes	100%
16.4	Sign Not On Lot Of Referred Use	\$200.00	\$150.00	\$300.00	Yes	100%
16.5	Non-Permitted/Too Large Sign	\$200.00	\$150.00	\$300.00	Yes	100%
16.6.1	Sign Projecting Over Highway/Public Property	\$200.00	\$150.00	\$300.00	Yes	100%
16.6.2	Sign Flashing Or Blinking	\$200.00	\$150.00	\$300.00	Yes	100%
16.6.3	Sign Making Noise To Attract Attention	\$200.00	\$150.00	\$300.00	Yes	100%
16.6.4	Sign With Misdirected Flood Light	\$200.00	\$150.00	\$300.00	Yes	100%
16.6.5	Sign Advertising Discontinued Business/Service/Activity	\$200.00	\$150.00	\$300.00	Yes	100%

BRIEFING

To:	Galiano Island Local Trust Committee	For the Meeting of:	September 12th, 2023
From:	Trust Area Services	Date Prepared:	July 19, 2023
SUBJECT:	Census infographics		

PURPOSE: To provide local trust committees with infographics regarding trends in local trust areas and the Islands Trust Area.

BACKGROUND: Trust Area Services staff contracted Statistics Canada to provide a set of infographics for both the Trust Area and local trust areas/Bowen Island (see attached).

To develop the infographics, there was a need for Statistics Canada to undertake geocoding and custom tabulations of past Census years as local trust area Census boundaries have shifted through the decades. This work completes efforts that began in 2016 to identify trends in the Trust Area and improve Census data sets for the Islands Trust Area.

ATTACHMENTS:

1. 2021 Census Infographics – Galiano Island Local Trust Area
2. 2021 Census Infographics – comparisons across the Trust Area

FOLLOW-UP: These products will inform work throughout the Islands Trust including land use planning, communications, and advocacy. They can be found under the Trend Monitoring webpage on the website, and staff plan to feature the infographics on Islands Trust social media.

Since production of the infographics, planning staff have identified that it would be helpful to also seek an infographic showing the trend in number of dwellings in each jurisdiction over time. Staff intend to order this additional data set and associated infographics at a cost between \$275 and \$457 before applicable taxes.

Prepared By: Clare Frater, Director, Trust Area Services

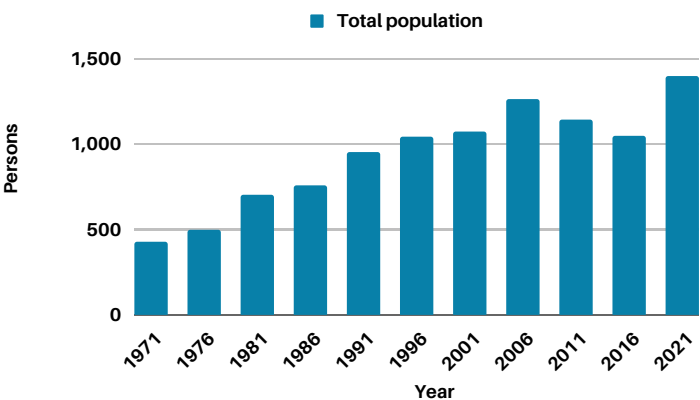
Reviewed By/Date: Robert Kojima, Regional Planning Manager, July 26, 2023

2021 Census Profile

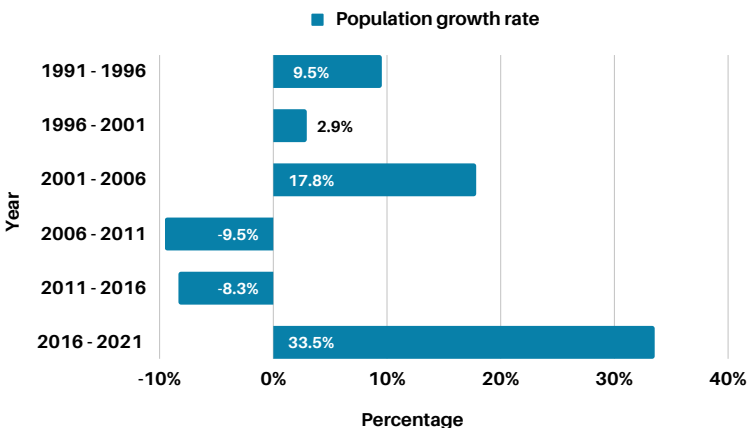
Galiano Island Local Trust Area

Total population

The total population of Galiano Island Local Trust Area was 1,395 in 2021.



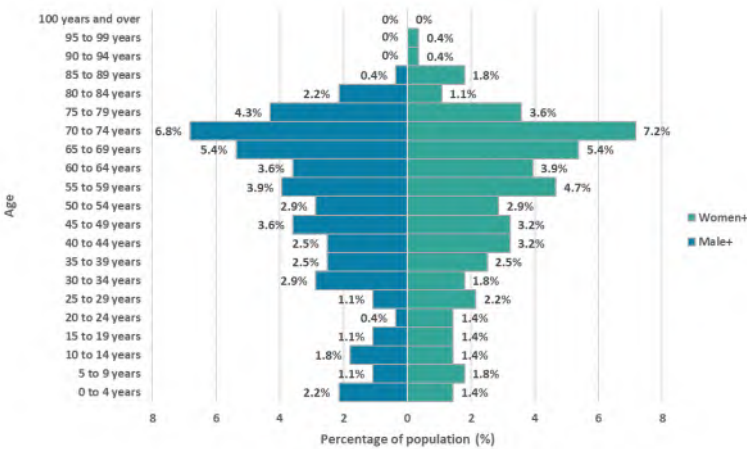
Total population growth rate



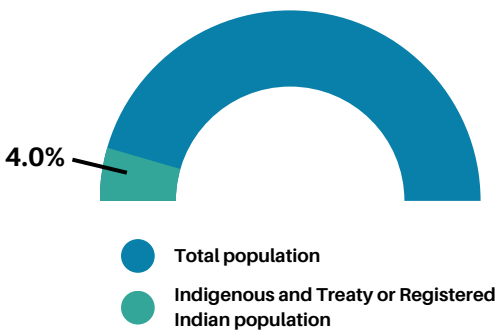
Between 1991 and 2021 the population of Galiano Island Local Trust Area grew by 46.8%.

Total population by gender, 2021

The median age of Galiano Island Local Trust Area was 57.6 in 2021.

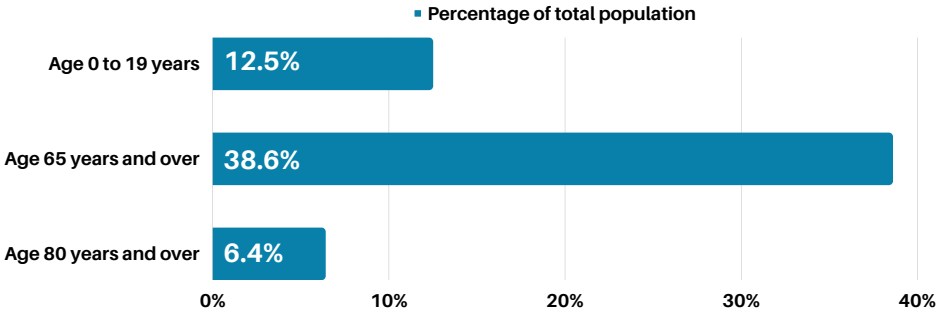


Population by Indigenous and Registered or Treaty Indian status, 2021

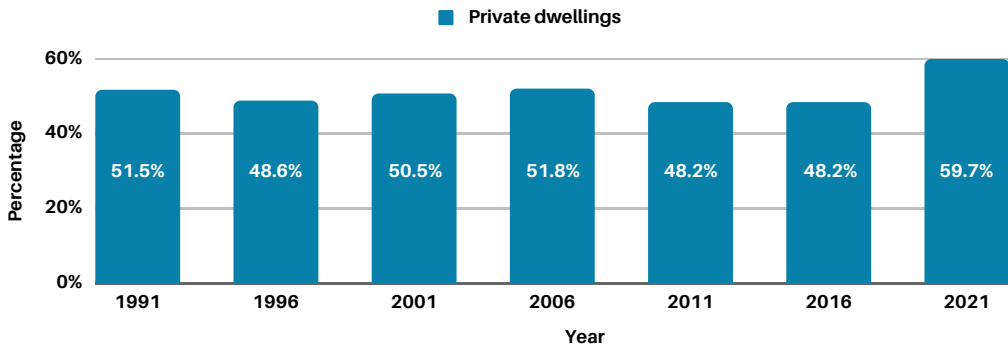


In 2021, 4.0% of the total population identified as Indigenous or Registered or Treaty Indian.

Population of children versus seniors, 2021



Percentage of private dwellings occupied by usual resident between 1991 and 2021



Notes:

- 1981 Census, about five-sixths of EA 59005252 included here and about one-sixth of EA 59005252 included here.
- To ensure confidentiality, the values, including totals, are randomly rounded either up or down to a multiple of '5' or '10.' To understand these data, you must be aware that each individual value is rounded. As a result, when these data are summed or grouped, the total value may not match the individual values since totals and sub-totals are independently rounded. Similarly, percentages, which are calculated on rounded data, may not necessarily add up to 100%.

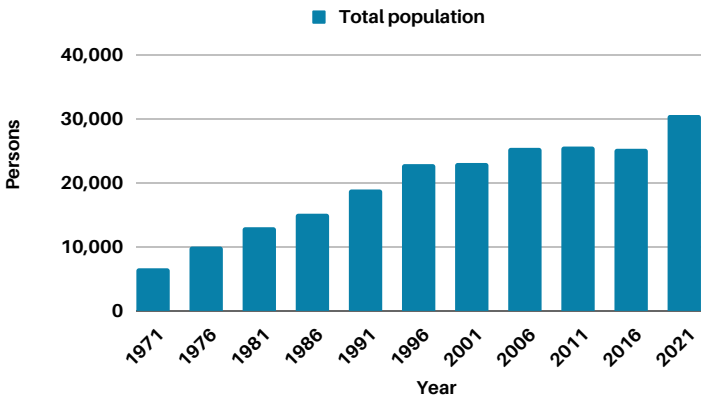
Sources: Statistics Canada, 1971 to 1986 Census of Population, Geocoding; Statistics Canada, 1981 to 2021 Census of Population, 100% Data; Statistics Canada, 2021 Census of Population, 25% Sample-based Data

2021 Census Profile

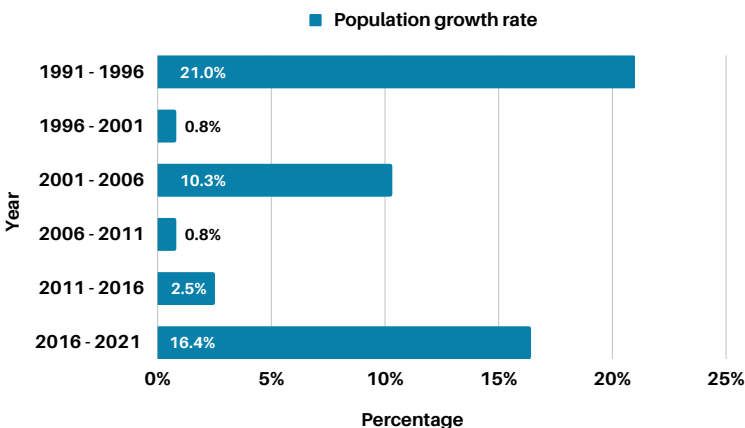
Islands Trust Area

Total population

The total population of Islands Trust Area was 30,510 in 2021.



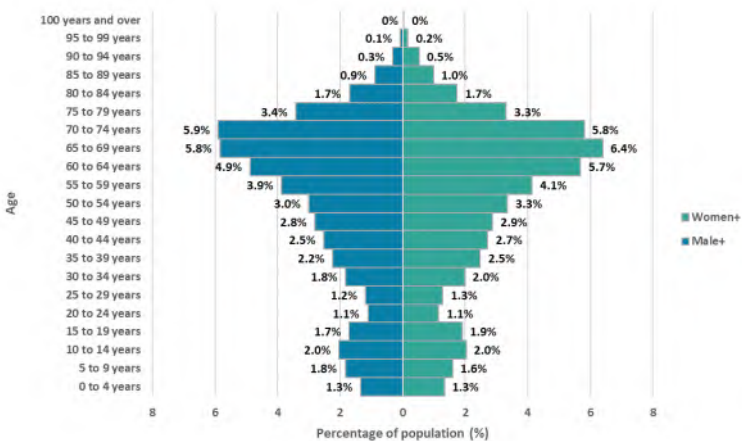
Total population growth rate



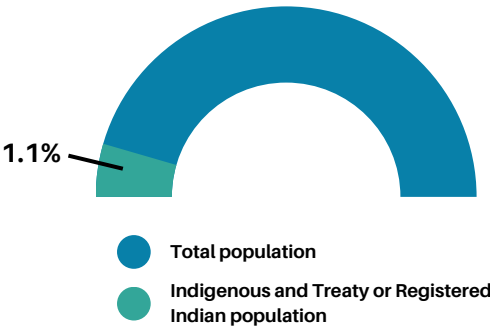
Between 1991 and 2021 the population of Islands Trust Area grew by 61.7%.

Total population by gender, 2021

The median age of Islands Trust Area was 58.8 in 2021.

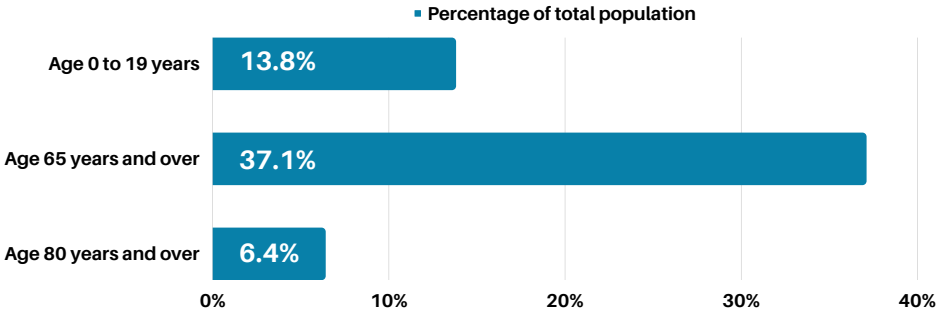


Population by Indigenous and Registered or Treaty Indian status, 2021

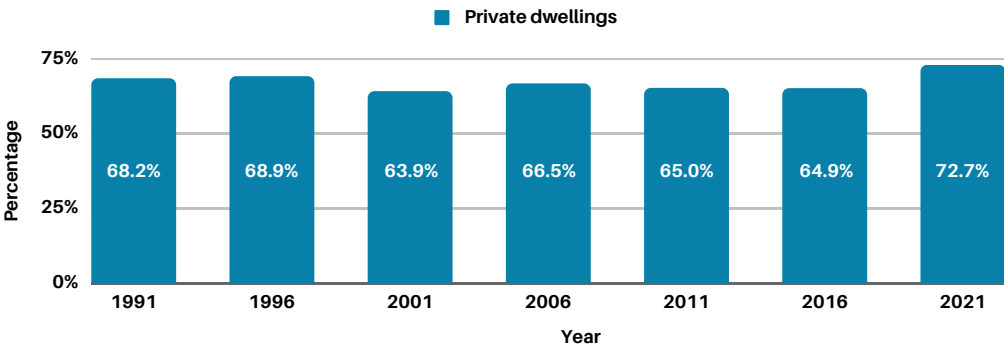


In 2021, 1.1% of the total population identified as Indigenous or Registered or Treaty Indian.

Population of children versus seniors, 2021



Percentage of private dwellings occupied by usual resident between 1991 and 2021



Notes:

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- To ensure confidentiality, the values, including totals, are randomly rounded either up or down to a multiple of '5' or '10.' To understand these data, you must be aware that each individual value is rounded. As a result, when these data are summed or grouped, the total value may not match the individual values since totals and sub-totals are independently rounded. Similarly, percentages, which are calculated on rounded data, may not necessarily add up to 100%.

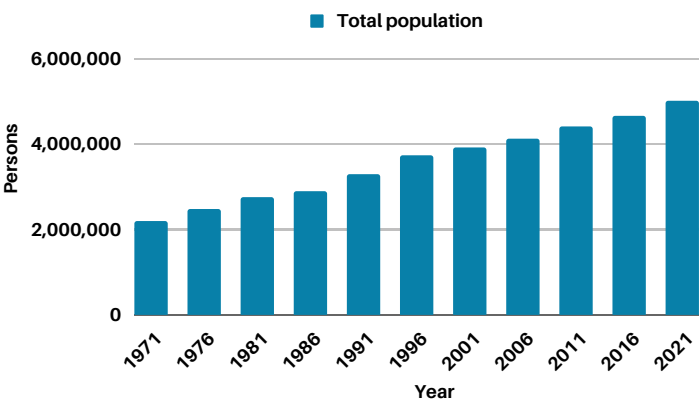
Sources: Statistics Canada, 1971 to 1986 Census of Population, Geocoding; Statistics Canada, 1981 to 2021 Census of Population, 100% Data; Statistics Canada, 2021 Census of Population, 25% Sample-based Data

2021 Census Profile

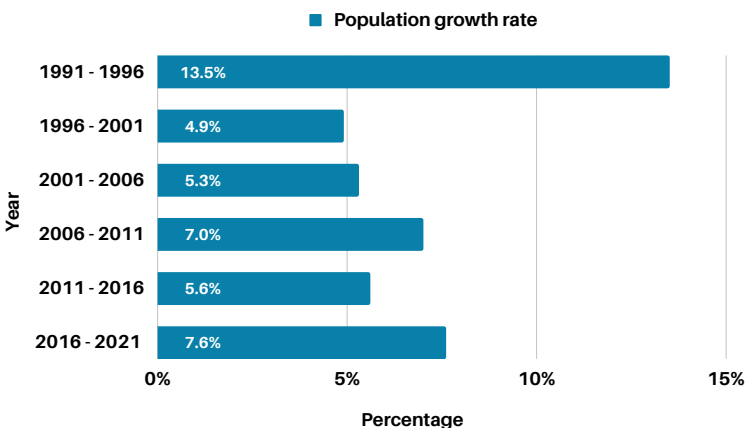
British Columbia

Total population

The total population of British Columbia was 5,000,875 in 2021.



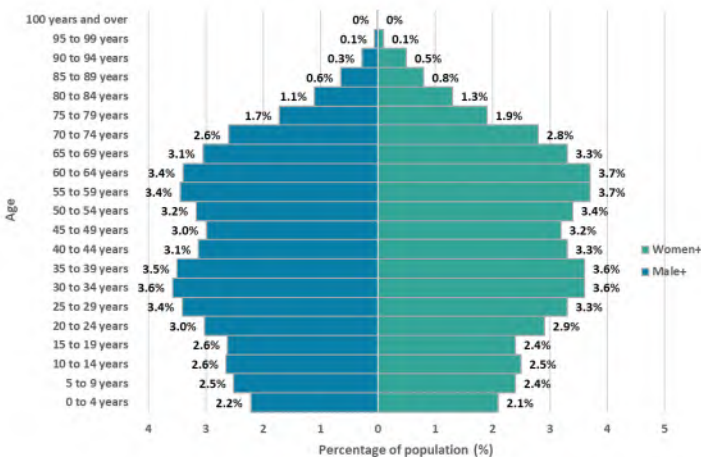
Total population growth rate



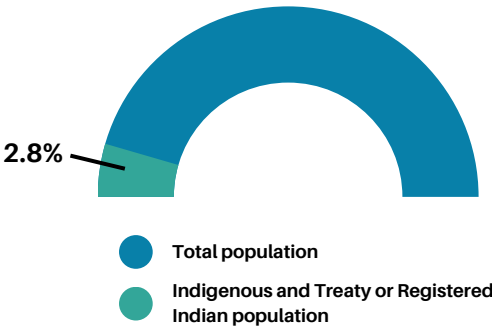
Between 1991 and 2021 the population of British Columbia grew by 52.4%.

Total population by gender, 2021

The median age of British Columbia was 42.8 in 2021.

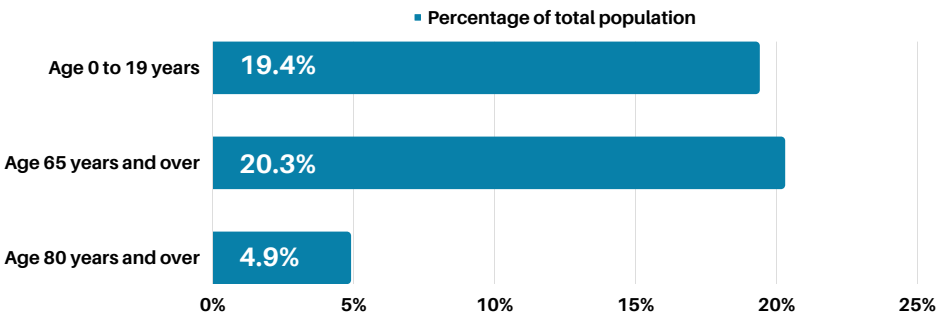


Population by Indigenous and Registered or Treaty Indian status, 2021

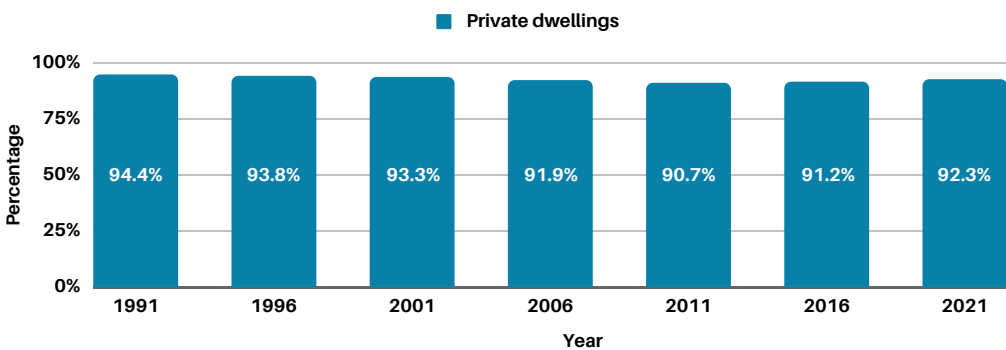


In 2021, 2.8% of the total population identified as Indigenous or Registered or Treaty Indian.

Population of children versus seniors, 2021



Percentage of private dwellings occupied by usual resident between 1991 and 2021



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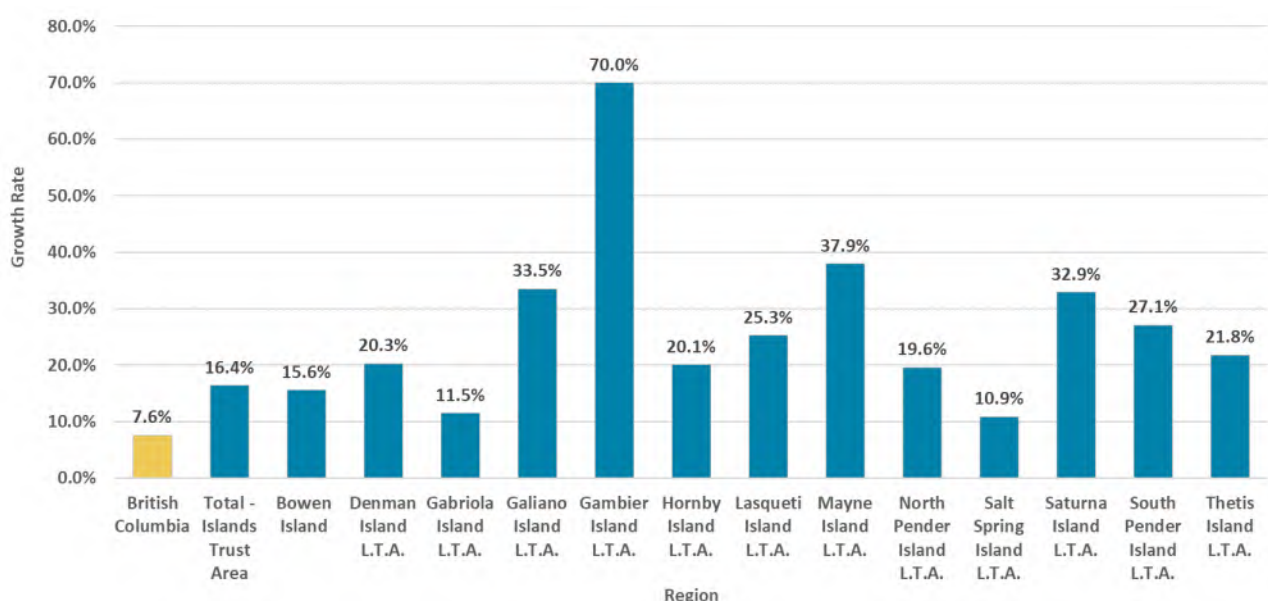
Sources: Statistics Canada, Census of Canada, 1971, vol. 1, part 2, table 14, (Catalogue 92-716); Statistics Canada, 1981 to 2021 Census of Population, 100% Data; Statistics Canada, 2021 Census of Population, 25% Sample-based Data

Islands Trust Area Census Profile 2021

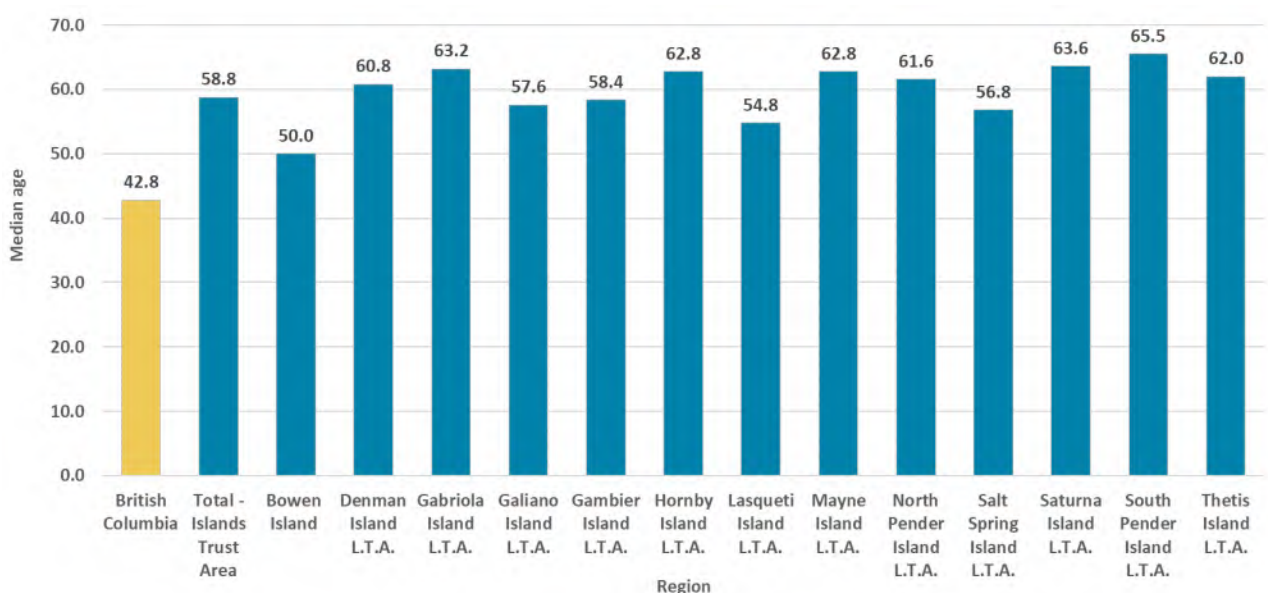


People

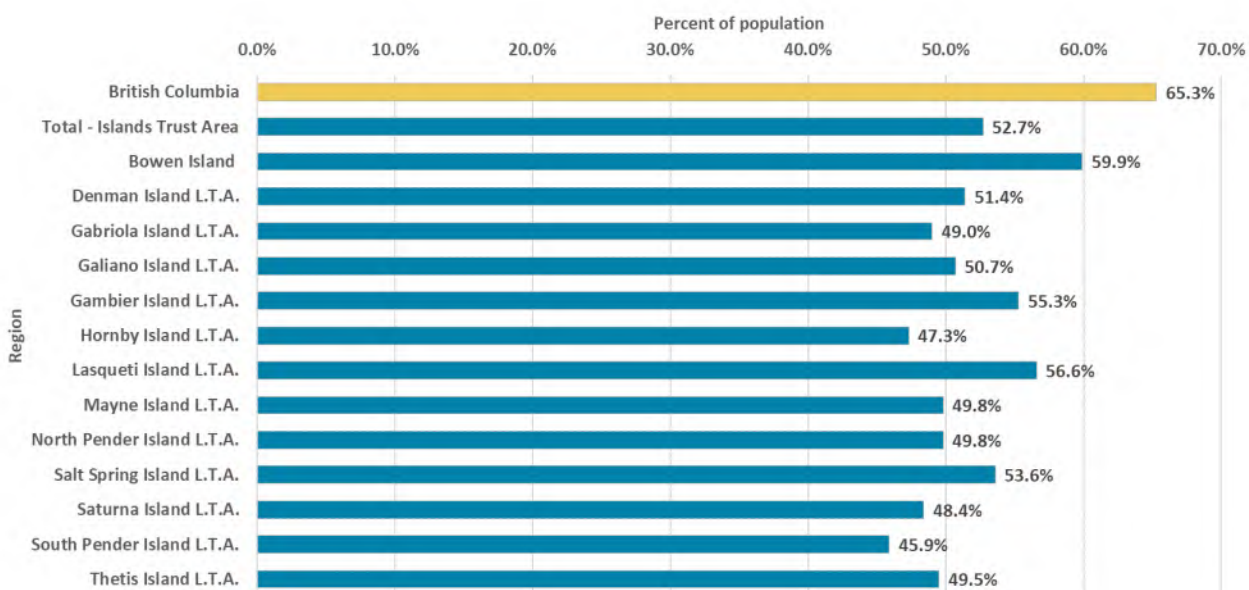
Population growth rate, 2016 to 2021



Median age of population, 2021

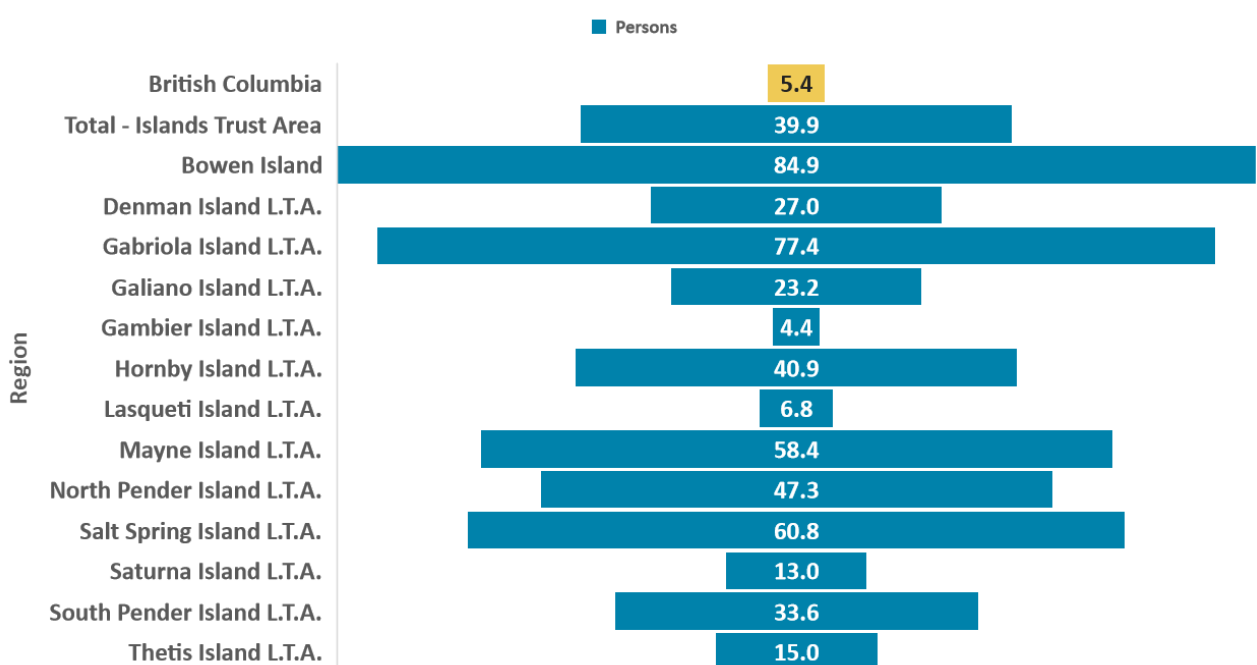


Working age population, 2021*



*Working age is 15 to 64 years old

Population density per square kilometer, 2021



Notes:

- With high global non-response rate, the 2016 Census data for Lasqueti Island Local Trust Area data should be used with caution as counts and estimates for this community have a high risk of non-response bias.
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- The abbreviation 'L.T.A.' means 'Local Trust Area'.

Sources: Statistics Canada, 1991 to 2021 Census of Population, 100% Data; Statistics Canada, 2016 and 2021 Census of Population, 25% Sample-based Data



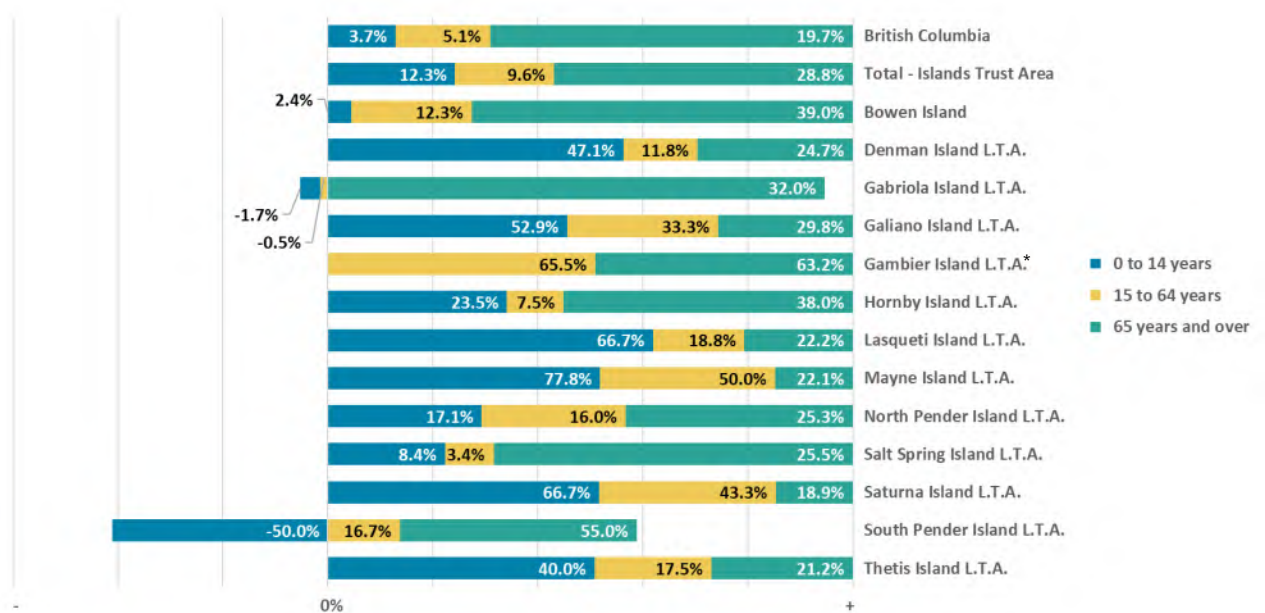
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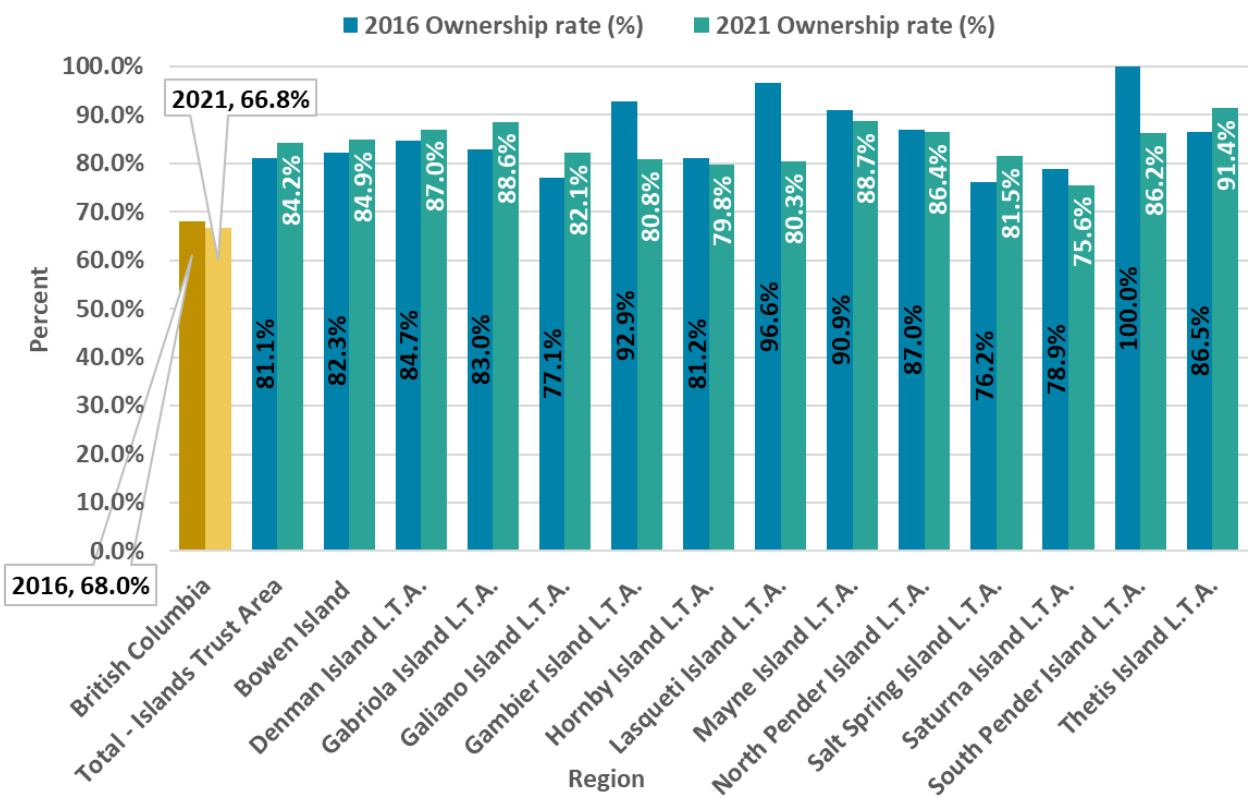
Population change by broad age group, 2016 to 2021



* The population change of 0 to 14 years age group was 250.0% in Gambier Island.

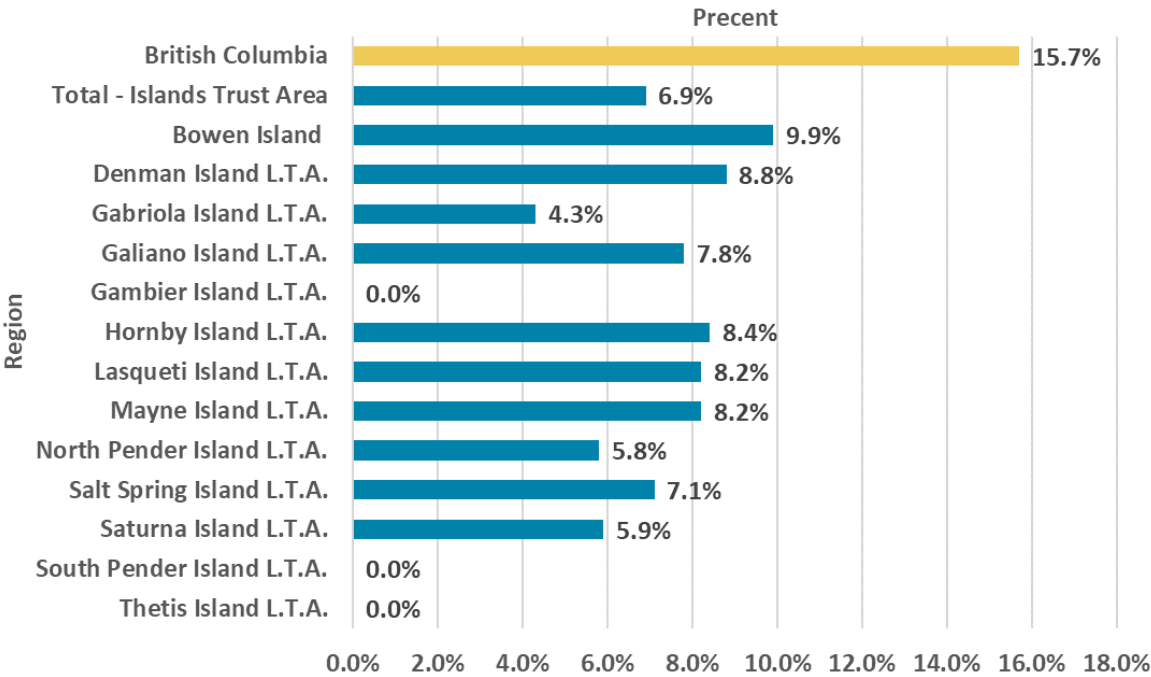
Dwelling

Homeownership rate, 2016 and 2021*

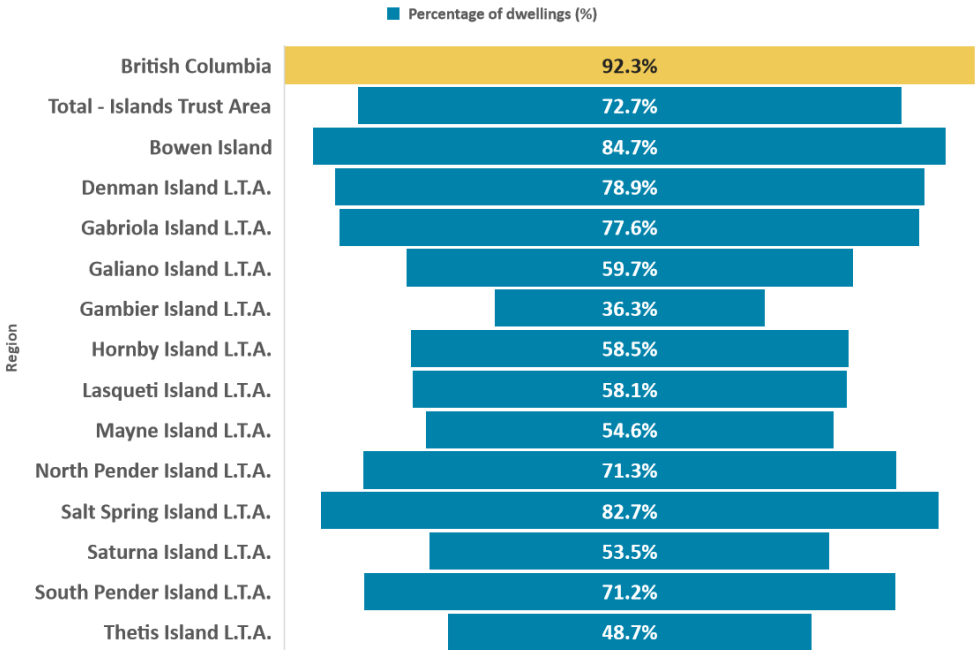


*Owner household refers to a private household where some member of the household owns the dwelling, even if it is still being paid for.

Homeownership rate among 25 to 39 year olds, 2021



Percentage of dwellings occupied by usual residents, 2021

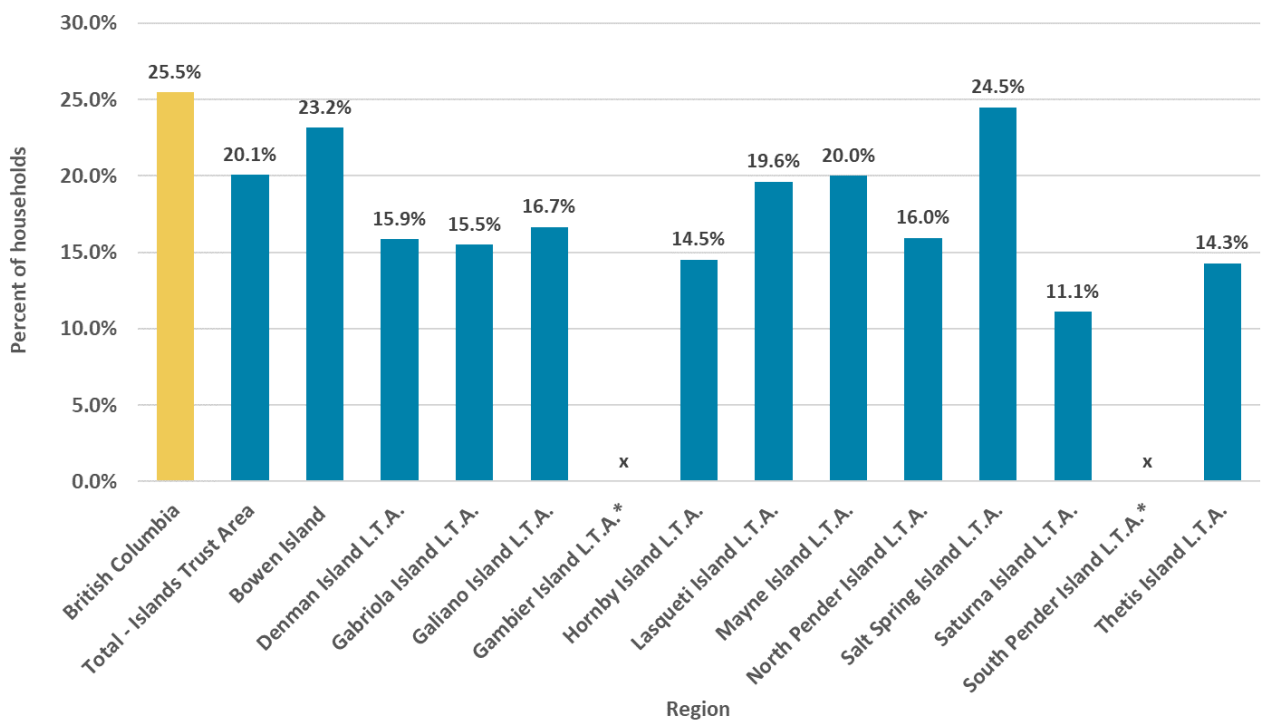


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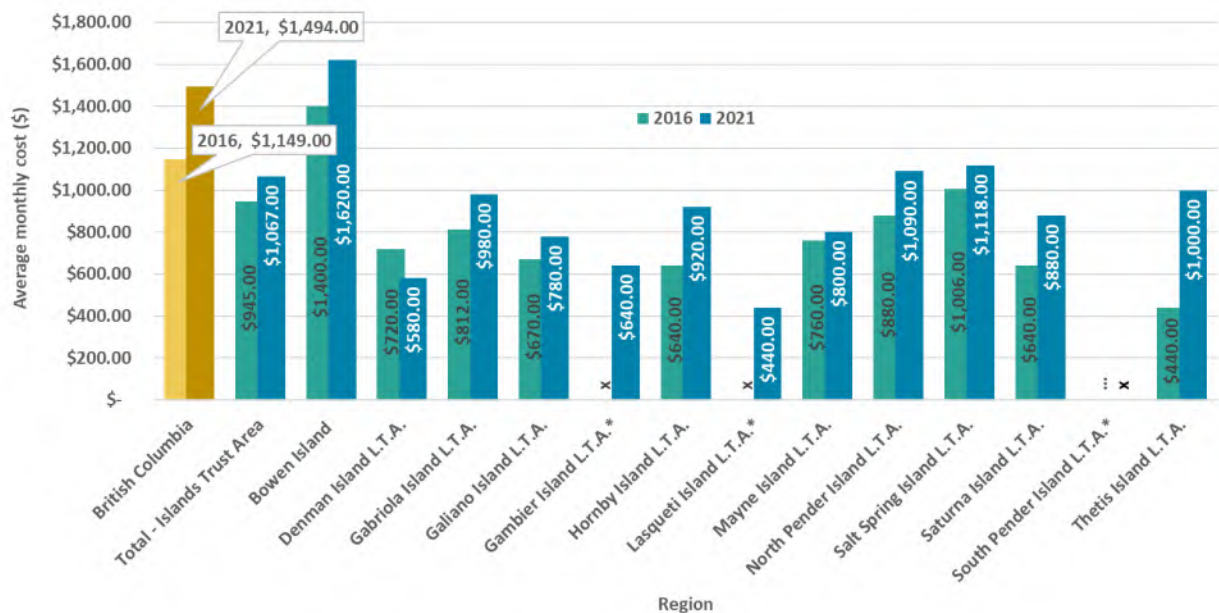
Percentage of households that spend 30% or more of income on shelter costs, 2021¹



*Data for Gambier Island Local Trust Area and South Pender Island Local Trust Area suppressed (x) to meet confidentiality requirements of the Statistics Act.

1. Total - Owner and tenant households with household total income greater than zero, in non-farm, non-reserve private dwellings by shelter-cost-to-income ratio.

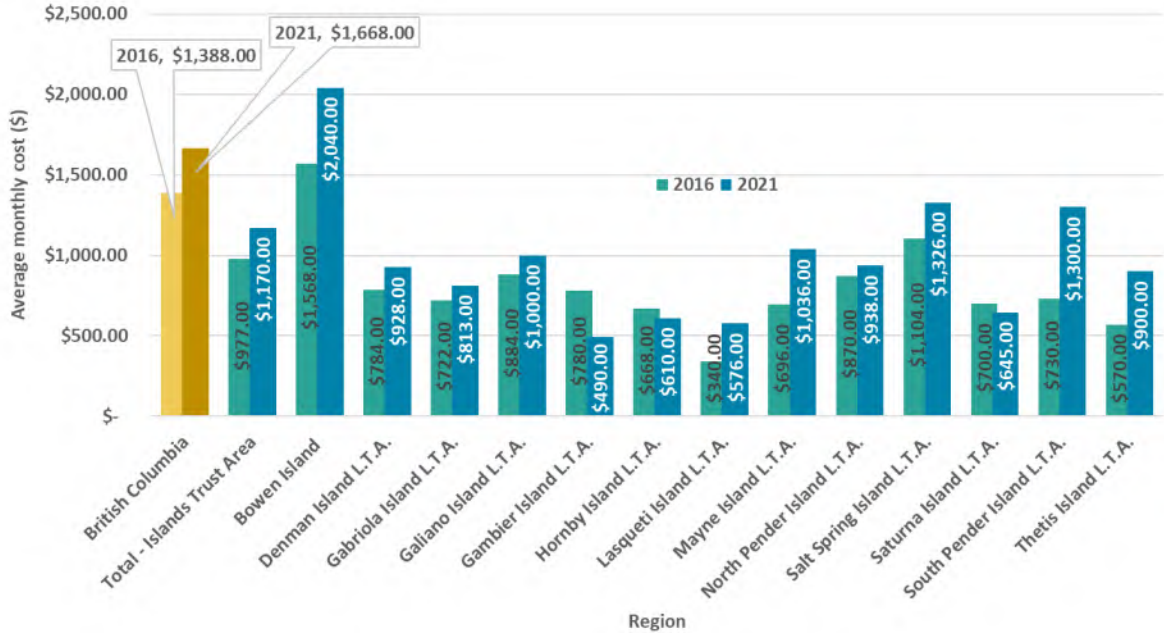
Average monthly shelter cost for renters, 2016 and 2021



Average monthly shelter costs for renters increased by 30.0% in B.C. while the Islands Trust Area saw an increase of 12.9%.

*2016 Census data for Gambier Island Local Trust Area and Lasqueti Island Local Trust Area suppressed (x) to meet confidentiality requirements of the Statistics Act. 2016 Census data for South Pender Island Local Trust Area not applicable (...). 2021 Census data for South Pender Island Local Trust Area suppressed (x) to meet confidentiality requirements of the Statistics Act.

Average monthly shelter cost for owners, 2016 and 2021



Average monthly shelter costs for owners increased by 20.2% in B.C. while the Islands Local Trust Area saw an increase of 19.8%.

Notes:

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Sources: Statistics Canada, 1991 to 2021 Census of Population, 100% Data; Statistics Canada, 2016 and 2021 Census of Population, 25% Sample-based Data

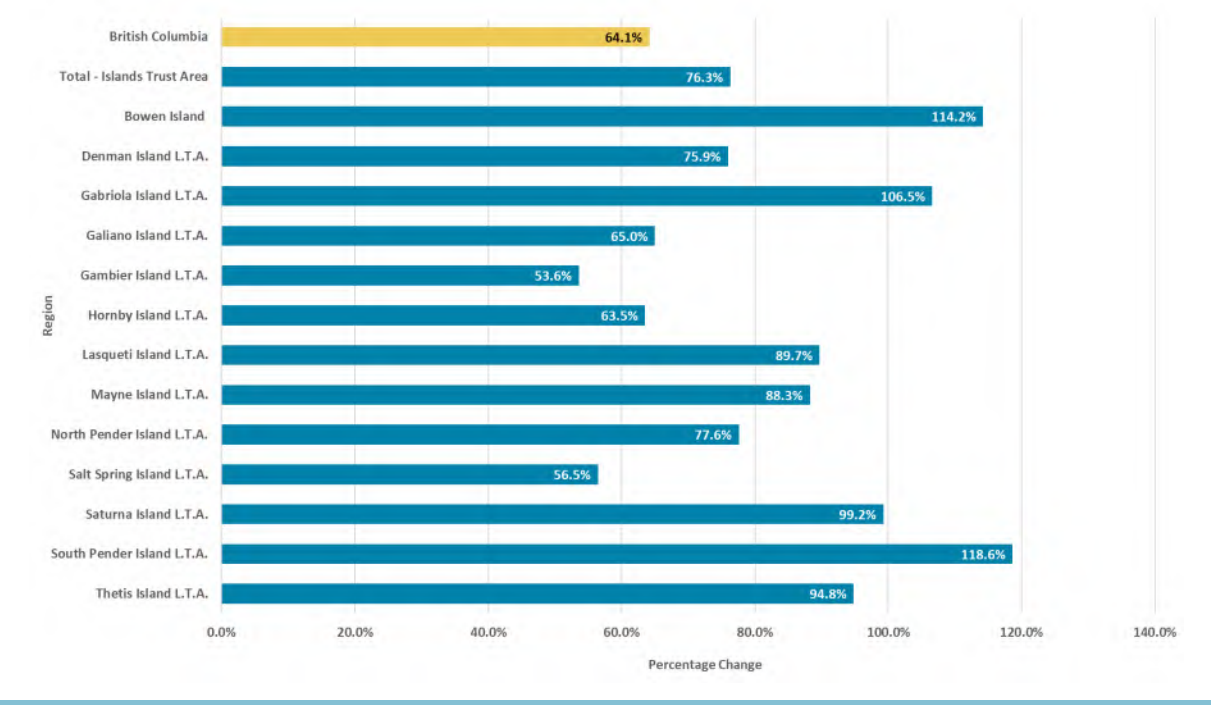


Statistics Canada
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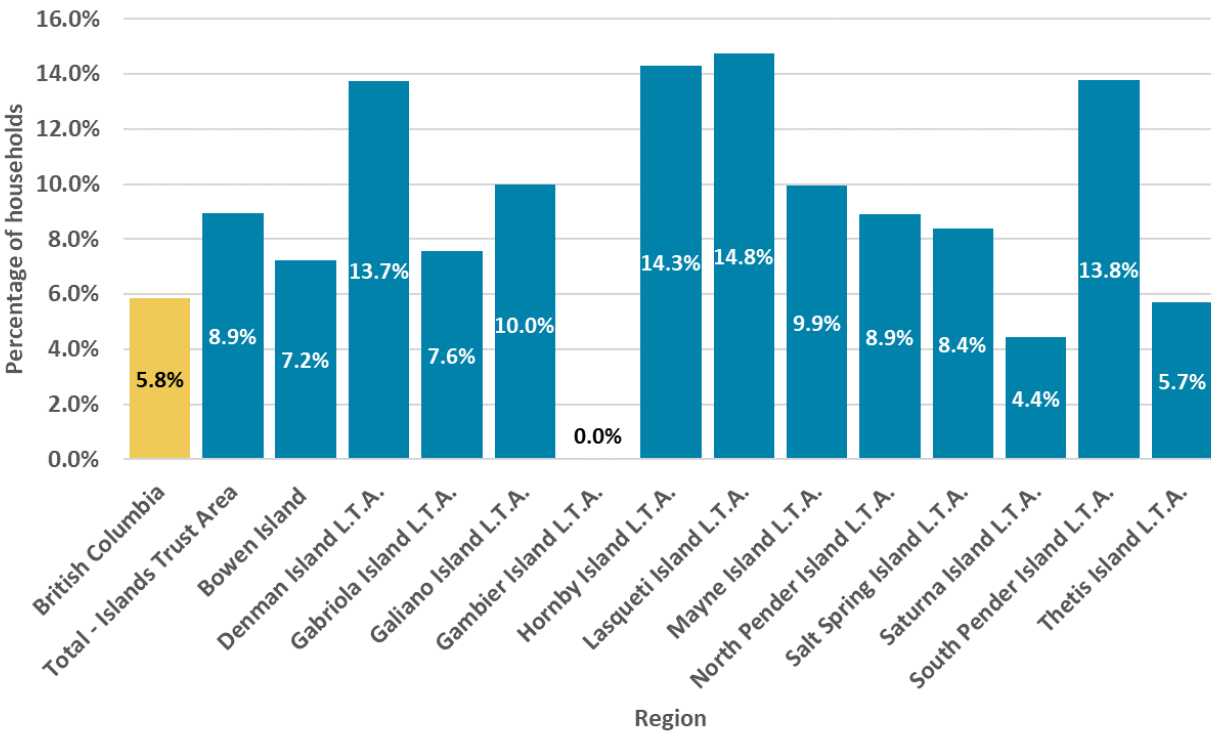
www.statcan.gc.ca

Canada131

Percentage change in private dwellings occupied by usual residents, 1991 to 2021



Percentage of households with inadequate housing, 2021*

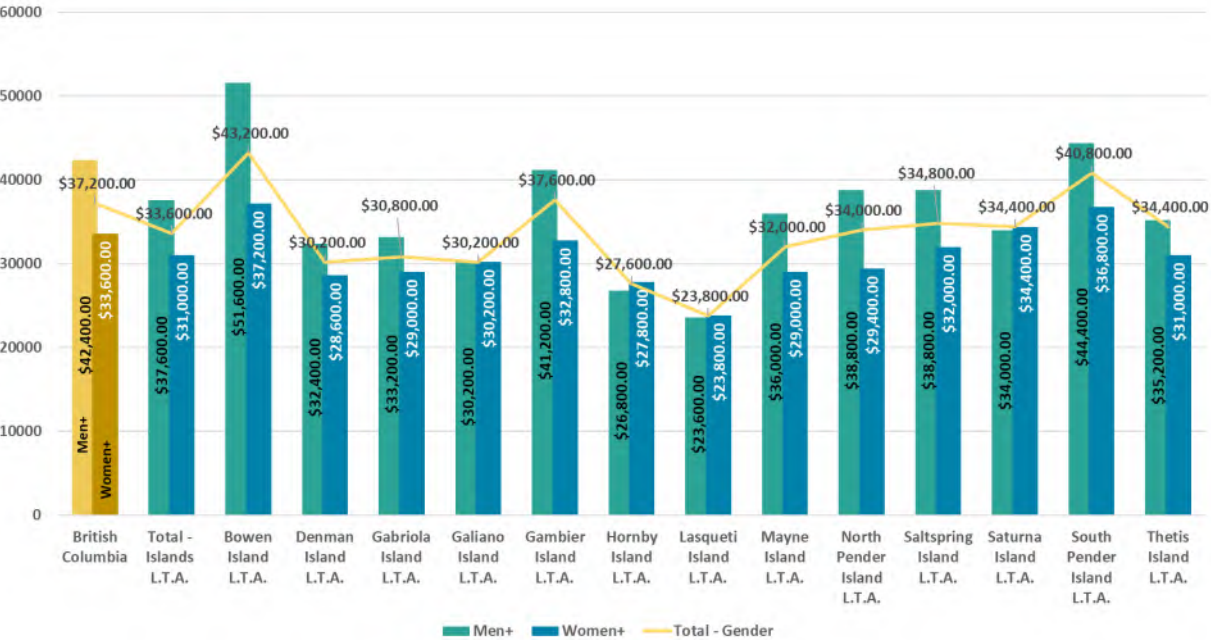


*Housing is considered adequate when it isn't in need of major repairs. Major repairs include defective plumbing or electrical wiring, or structural repairs to walls, floors, or ceilings.
<https://www.cmhc-schl.gc.ca/en/professionals/housing-markets-data-and-research/housing-research/core-housing-need/identifying-core-housing-need>



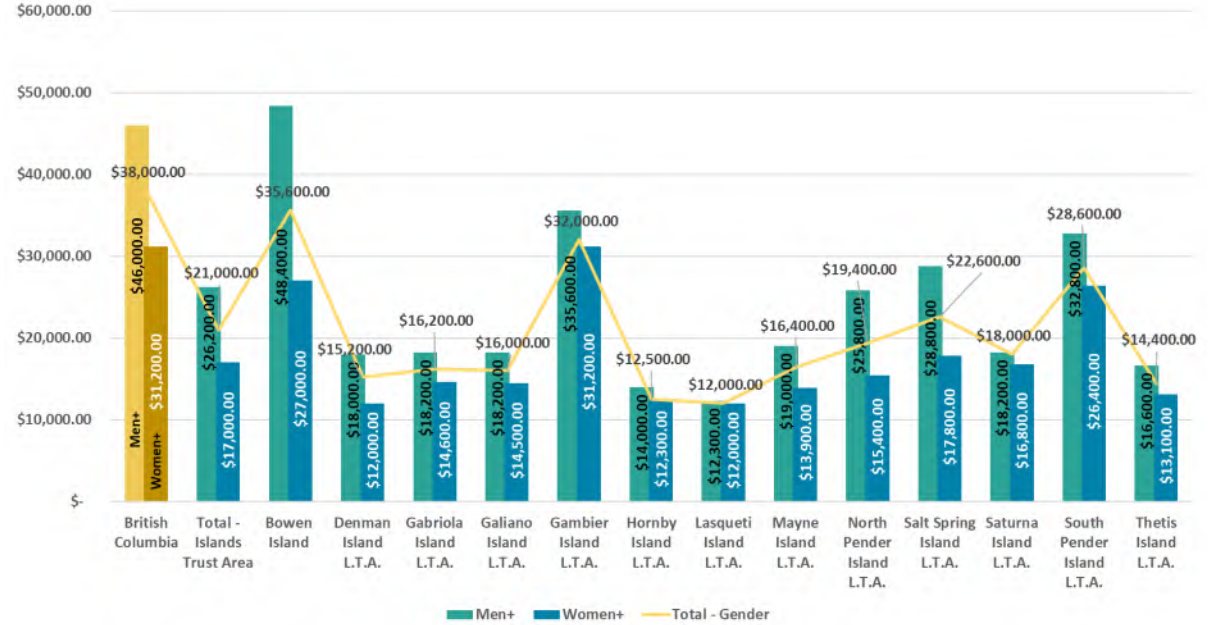
Income

Median after-tax income, 2020*



*For the 2021 Census, the reference period for income data is the calendar year 2020, unless otherwise specified.

Median employment income, 2020*



*For the 2021 Census, the reference period for income data is the calendar year 2020, unless otherwise specified.

Notes:

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Sources: Statistics Canada, 1991 to 2021 Census of Population, 100% Data; Statistics Canada, 2016 and 2021 Census of Population, 25% Sample-based Data