



Gambier Island Local Trust Committee

Regular Meeting Agenda

Date: January 30, 2020
Time: 10:30 am
Location: John Braithwaite Community Centre
145 West 1st Street
North Vancouver, BC

Pages

1. **CALL TO ORDER** 10:30 AM - 10:35 AM
“Please note, the order of agenda items may be modified during the meeting. Times are provided for convenience only and are subject to change.”
2. **APPROVAL OF AGENDA**
3. **REPORTS** 10:35 AM - 10:50 AM
 - 3.1 **Trustee Reports**
 - 3.2 **Chair's Report**
 - 3.3 **Electoral Area Director's Report**
4. **TOWN HALL** 10:50 AM - 11:00 AM
5. **MINUTES** 11:00 AM - 11:05 AM
 - 5.1 **Local Trust Committee Meeting dated November 21, 2020 - for adoption** 4 - 12
 - 5.2 **Section 26 Resolutions-Without-Meeting Report dated January 17, 2020** 13 - 13
 - 5.3 **Advisory Planning Commission Minutes - none**
6. **BUSINESS ARISING FROM MINUTES** 11:05 AM - 11:20 AM
 - 6.1 **Follow-up Action List dated January 23, 2020** 14 - 15
 - 6.2 **Letter dated December 2, 2019 to Howe Sound Biosphere Region Initiative from Chair Fast - for information** 16 - 17
7. **APPLICATIONS AND REFERRALS** 11:20 AM - 12:00 PM
 - 7.1 **GM-DVP-2018.2 (Treloar - 460 Vaucroft Road, Thormanby Island) - Staff Report - for decision** 18 - 87

8.	LOCAL TRUST COMMITTEE PROJECTS	12:00 PM - 12:20 PM	
8.1	Keats Shoreline Protection Project - Staff Report - for decision		88 - 91
8.2	Riparian Areas Regulation Project - verbal update		
8.3	Gambier Official Community Plan Comprehensive Review - for discussion		
9.	DELEGATIONS		
10.	CORRESPONDENCE		
	<i>(Correspondence received concerning current applications or projects is posted to the LTC webpage)</i>		
11.	NEW BUSINESS	12:20 PM - 1:00 PM	
11.1	Climate Change Mitigation and Adaptation		
11.2	Role of the Local Trust Committee on Building Permit and Other Referrals regarding Archological Sites - for discussion		
11.3	Letter dated January 7, 2020 from Managed Forest Council regarding Parcels DL2469, Blocks 5,12,15,16,28,29 and 30 on Gambier Island - for discussion		92 - 92
	----- BREAK 1:00 PM TO 1:30 PM -----		
12.	REPORTS	1:30 PM - 1:40 PM	
12.1	Trust Conservancy Report dated October and December, 2019		93 - 97
12.2	Applications Report dated January 23, 2020		98 - 100
12.3	Trustee and Local Expense Report dated November, 2020		101 - 101
12.4	Adopted Policies and Standing Resolutions		102 - 104
12.5	First Nations Activities		
12.6	Local Trust Committee Webpage		
13.	WORK PROGRAM	1:40 PM - 2:00 PM	
13.1	Top Priorities Report dated January 23, 2020		105 - 105
13.2	Projects List Report dated January 23, 2020		106 - 107
14.	CLOSED MEETING		

- | | | |
|-------------|--|--------------------------|
| 15. | INFORMATION ITEMS | 2:00 PM - 2:10 PM |
| 15.1 | Letter dated November 21, 2019 from Sheila Malcolmson, MLA regarding Marine Debris | 108 - 110 |
| 15.2 | Letter dated January 10, 2020 from Peter Luckham, Chair of Islands Trust to Minister of Environment and Climate Change Strategy regarding Input to Help BC Prepare for Climate Change | 111 - 113 |
| 15.3 | Letter dated January 17, 2020 from Peter Luckham, Chair of Islands Trust to Minister of Transport regarding Ports Modernization, Coast Guard and Ocean Protection in the Islands Trust Area | 114 - 116 |
| 15.4 | Islands Trust Approved Strategic Plan | 117 - 131 |
| 15.5 | September 6, 2019 News Release - Islands 2050: The Future of the Trust Area | 132 - 133 |
| 16. | UPCOMING MEETINGS | |
| 16.1 | Next Regular Meeting Scheduled for Thursday, March 26, 2020 at 10:45 am at John Braithwaite Community Centre, Meeting Room 3, 145 West 1st Street, North Vancouver, BC | |
| 17. | ADJOURNMENT | 2:10 PM - 2:10 PM |



Gambier Island Local Trust Committee Minutes of Regular Meeting

Date: November 21, 2019
Location: Delbrook Community Centre
Oak Room
851 West Queens Road
North Vancouver, BC

Members Present: Sue Ellen Fast, Chair
Dan Rogers, Local Trustee
Kate-Louise Stamford, Local Trustee

Staff Present: Jaime Dubyna, Planner 2 (via telephone)
Sonja Zupanec, Island Planner (via telephone)

Also Present: Diane Corbett, Recorder
Members of the Public – 4 in person plus 4 by telephone

1. CALL TO ORDER

"Please note, the order of agenda items may be modified during the meeting. Times are provided for convenience only and are subject to change."

Chair Fast called the meeting to order at 4:44 pm. She acknowledged that the meeting was being held in territory of the Coast Salish First Nations.

Chair Fast introduced trustees and staff in attendance and noted the Island Planners were attending from Gabriola Island via telephone.

The Chair referred to rules of conduct for the meeting, provided for reference.

2. APPROVAL OF AGENDA

The following additions to the agenda were presented for consideration:

- 7.3 Bylaw No. 148 (OCP RAR) – for adoption
- 7.4 Bylaw No. 149 (LUB RAR) – for adoption
- 11.7 Crown tenure application on Anvil Island
- 11.8 Update regarding New Brighton dock

By general consent the agenda was approved as amended.

3. REPORTS

3.1 Trustee Reports

Trustee Rogers reported on the following:

- Attended an event on November 19 celebrating preparation of the submission for the Atl'ka7tsem / Howe Sound Biosphere Region Initiative (<https://www.howesoundbri.org>), four years in the making. Project lead Ruth

Simons along with Squamish Nation Councillor Joyce Williams will be travelling to Ottawa to submit the application in early December. It could take a year and a half to learn about whether the project is accepted.

- On November 19 Gambier Island Local Trust Committee (LTC) members attended a protocol meeting with the Sunshine Coast Regional District (SCRD) directors, along with senior staff of the SCRD and Islands Trust, regarding issues of common concern; topics included docks, waste removal, island clean ups, and applications for funding from the SCRD. It was an opportunity to explain in detail how Islands Trust operates and its services. The LTC will be working with them on dock infrastructure.
- It appears there might be a cougar back on Keats; if so, he planned to send out a notice to islanders.
- He expressed thanks to all the people from Keats who have volunteered their time to work on the Keats Island Shoreline Protection Project, and noted the group is making progress, with good discussions crystallizing around what is important.
- On October 26, Trustees Rogers and Stamford, SCRD Area F Director Mark Hiltz and SCRD emergency staff toured Fircom Plateau, a new subdivision, to look at some of their emergency evacuation challenges. There was also discussion of SCRD community docks.

Trustee Stamford reported on the following:

- Has been working with Gambier Community Association, which has some funding for projects including work on signage.
- She noted her observations from the SCRD protocol meeting that there are opportunities to work more closely with the SCRD.

3.2 Chair's Report

Chair Fast reported she was in Victoria at the beginning of November with the Land Trust Alliance of BC, where there was discussion about mutual good practice, land stewardship and advocacy against oil spills. Next Trust Council meeting is December 2-4 in Victoria, to adopt the Strategic Plan for the whole Trust Area.

3.3 Electoral Area Director's Report – none

4. TOWN HALL

There were no speakers for the Town Hall session. Chair Fast provided for information a handout on public participation and how to share your ideas with the Local Trust Committee.

5. MINUTES

5.1 Local Trust Committee Meeting dated October 10, 2019

The following amendment to the minutes was presented for consideration:

- After discussion of the feasibility of conducting a second phase Islands 2050 engagement on the local ferry over the winter season, the LTC reached consensus that it would be more appropriate to focus on other engagement opportunities in the spring, therefore resolution 051 was rescinded.

GM-2019-052

It was **MOVED** and **SECONDED**

that resolution GM-2019-051, that the Gambier Island Local Trust Committee request a second Islands 2050 engagement process be considered using *Stormaway*, adopted

at the October 10, 2019 regular business meeting of the Gambier Island Local Trust Committee, be rescinded.

CARRIED

By general consent the minutes were adopted as amended.

5.2 Section 26 Resolutions-Without-Meeting – none

5.3 Advisory Planning Commission Minutes – none

6. BUSINESS ARISING FROM MINUTES

6.1 Follow-up Action List dated November 13, 2019

Responding to Trustee Rogers' inquiry about the completeness of the Follow-up Action List of November 13, 2019, Planner Dubyna indicated she would follow up and report back to the LTC.

GM-2019-053

It was MOVED and SECONDED

that the Gambier Island Local Trust Committee remove item 1 under April, 2018 from the Follow-up Action List.

CARRIED

Responding to an inquiry about whether any staff had been assigned to start up the process of the Gambier Island Official Community Plan review upon the conclusion of the *Riparian Areas Regulation* (RAR) bylaws, Planner Dubyna reported that the project had not been resourced at this time.

7. APPLICATIONS AND REFERRALS

7.1 GM-DVP-2019.2 (Werkema)

Christine and Klaas Werkema joined the meeting by telephone.

Island Planner Zupanec explained that the development variance permit (DVP) application was a result of an Islands Trust bylaw enforcement file and SCRD stop work order. The application required three variances to the Gambier Island Land Use Bylaw in order to permit the siting of an existing tram structure and an existing utility shed attached to a cabin under construction. Staff recommended that the LTC amend the draft DVP to remove the requested variance for the tram structure and permit the variance for the siting of the utility shed attached to the cabin. Staff responded to questions from Trustees.

The applicants provided rationale for the requested variances. The utility shed had been approved in 2013 in the current location. The tram was needed for the development of the cabin. Installation of the tram was an honest mistake. There was an interest in compliance with the regulations; apologies were offered and there was no interest in going against the public interest. An engineer was now retained to oversee the work. The applicants wanted to complete the construction of the cabin, and to be respectful of the law.

Peter Buckland, on behalf of the adjacent owner, Trisha Smith, discussed correspondence to Islands Trust from the owner outlining rationale for opposition to the variance applications, including:

- Lack of applicant compliance with all regulations and bylaws of all applicable authorities, and construction in a manner inconsistent with approved plans;
- Effect of the tram on neighbours and the community had not been minor;
- Removal of the tram would not be a hardship as it was built without compliance with proper setbacks and heights;
- Granting of variance where the builder acts in violation of existing rules would set a negative precedent.

Handouts from Ms. Smith were distributed to trustees, providing correspondence, photos, site drawings, strata council communications to the owner, and a relevant resolution of the strata council.

Correspondence sent within the past week to Islands Trust by Mr. Buckland, also a strata owner, had not been received as of this date. Mr. Buckland outlined his concerns related to the application, including the lack of approval and permit for the construction, alleged falsification of documents and insufficient plans.

The applicants provided information on their attempts to address issues that had been raised.

Island Planner Zupanec responded to trustee inquiries pertaining to the variance requests.

Points raised by trustees included:

- Agreement with submissions from Ms. Smith: the variance is not minor in nature; it is within the setback from the sea, and not consistent with wishes of neighbours; removal of the tram would not represent a hardship and meets the test for declining the variance.
- The issue of the setback of the shed in the back: it was likely considered by staff as an interior lot line and not designated for access use, interpreted in 2013 as sufficient, so the shed was probably built in good faith; applicant would be entitled to a variance in this case.

GM-2019-054

It was MOVED and SECONDED

that the Gambier Island Local Trust Committee not approve the requested variance for the existing tram extending from Strata Lot 2A, across Limited Common Property and Common Property, as it is not consistent with the Gambier Island Official Community Plan Policies 3.1.v); 3.1.viii); and 3.7.iii).

CARRIED

GM-2019-055

It was MOVED and SECONDED

that the Gambier Island Local Trust Committee amend draft Development Variance Permit GM-DVP- 2017.2 by:

- a. Removing paragraphs 2 a) and 2 b) in their entirety;
- b. Renumbering paragraph "2 c)" to "2 a)"; and

- c. Adding a label which reads “AS-BUILT TRAM NOT APPROVED BY GM-DVP-2019.2” to ‘Schedule “A” Site Plan’.

CARRIED

GM-2019-056

It was MOVED and SECONDED

that the Gambier Island Local Trust Committee issue GM-DVP.2019.2 (Werkema), as amended.

CARRIED

7.2 GM-BP-2018.18 (Spindrift Properties (Keats) Inc. (477 and 479 Skyline Road, Keats Island))

Ian Moes, on behalf of the applicant, and Monty Staats joined the meeting by telephone.

Island Planner Zupanec was present on behalf of Planner Sawyer as a resource.

Trustee Rogers described his site visit with Mr. Staats to determine whether the trail heading towards Plumper Cove was in the same place as the Statutory Right of Way (SROW) for public access to the park. It appeared that the trail that comes off DL 696 and DL 891 that is heavily used is on the SROW but it is not possible to know for sure unless there is verification. The trail appeared to be roughly in the location where the red line was located on the provided map.

Mr. Staats discussed the discovery of two pins found during the site visit.

Mr. Moes pointed out that the location of the SROW that was dedicated at the time of subdivision was acceptable to the LTC in 2006. The SROW was granted by the owner to the SCRD, and gave the SCRD the ability to construct and maintain whatever it wants regarding that trail. The application meets the criteria of the bylaw. It is irrelevant whether or not the SROW was dedicated regarding a subdivision or second house as it was dedicated to the satisfaction of the LTC and SCRD in 2006.

Ian Rue, neighbour to the east of the subject site, discussed the history of the trail that started in the 1970s when a small service road was installed that was used as a way to get to the marine park. The trail was maintained by community members.

Curt Shepard, also from the area, noted that the bylaw referenced in the discussion was passed after the trail was brought in.

Discussion ensued on the lack of clarity in the documentation or purpose of the SROW, occurring at the same time the bylaws were being amended.

GM-2019-057

It was MOVED and SECONDED

that the Gambier Island Local Trust Committee is satisfied that Section 4.4.10 of the Keats Island Land Use Bylaw, 2002 has been met through the registration of the statutory right of way for a pedestrian pathway (BA302860) between Spindrift Properties (Keats) Inc. and the Sunshine Coast Regional District.

CARRIED

7.3 Bylaw No. 148 (OCP RAR)**GM-2019-058****It was MOVED and SECONDED**

that the Gambier Island Local Trust Committee Bylaw No. 148, cited as "Gambier Island Official Community Plan, 2001, Amendment No. 1, 2018", be adopted.

CARRIED**7.4 Bylaw No. 149 (LUB RAR)****GM-2019-059****It was MOVED and SECONDED**

that Gambier Island Local Trust Committee Bylaw No. 149, cited as "Gambier Island Land Use Bylaw, 2004, Amendment No. 1, 2018", be adopted.

CARRIED

Island Planner Zupanec advised that the Legislative Clerk would consolidate the bylaw and notify the SCRD regarding the building referral process with them.

Responding to Trustee Stamford's inquiry about the process in the event of a bylaw infraction against an individual under the previous version of the bylaw, staff responded that the bylaw enforcement team would be notified that the bylaws had been adopted and would review actions to take.

8. LOCAL TRUST COMMITTEE PROJECTS**8.1 Keats Island Shoreline Protection Project – verbal update**

Planner Dubyna announced that the Working Group met October 22 and was asked to respond to questions forwarded to them. With those responses, staff put together three options for the project to proceed with the Working Group in mind. Working Group members were in the midst of considering options, and would meet the first week of December. Following that staff would provide the Local Trust Committee with amendments regarding the project milestones and deliverables in the project charter for the January LTC meeting.

8.2 Riparian Areas Regulation Project – verbal update

Island Planner Zupanec reported that staff had begun the process of preparing amendments ensuring that the RAR bylaws for Bowyer and Anvil Islands would be brought to the LTC for consideration at the January 2020 meeting.

9. DELEGATIONS – none**10. CORRESPONDENCE**

(Correspondence received concerning current applications or projects is posted to the LTC webpage)

11. NEW BUSINESS

11.1 Climate Change Mitigation and Adaptation

Trustee Rogers remarked that he thought it would be worthwhile having a gathering bringing people from the islands together for discussion on ideas for climate adaptation in the Local Trust Area.

It was noted that the winter storm season is coming; last season, effects were pretty severe in Howe Sound. Chair Fast pointed out that the Executive Committee was considering what to budget for next year, including the development of environmental indicator sets, a climate focused stewardship education program, and continuance of the fresh water specialist position.

11.2 Letter of Congratulations to Patrick Weiler

There was consensus that Trustee Stamford would draft a letter of congratulations to the new Member of Parliament for the Local Trust Area and send a copy of the draft to the other trustees.

GM-2019-060

It was MOVED and SECONDED

that the Gambier Island Local Trust Committee write a letter of congratulations to Member of Parliament Patrick Weiler under the signature of the Local Trust Committee Chair.

CARRIED

11.3 Updated Management Plans for Brigade Bluffs and Long Bay Wetland Nature Reserves

Trustee Stamford explained that the updated Management Plans for Brigade Bluffs and Long Bay Wetland nature reserves are management plans through Islands Trust Conservancy for two of the three nature reserves on Gambier; they are reviewed once every ten years. This is the second management plan for this area. These plans inform Islands Trust Conservancy's Regional Conservation Plan, and have informed the Marine Reference Guide and the Howe Sound Biosphere Initiative. They are very valuable for ecological management across the Islands Trust Area.

11.4 Sunshine Coast Regional District (SCRD) Protocol Meeting

Discussed under 3.1 Trustee Reports.

11.5 First Nations Standing Resolution

Trustee Rogers reported that this resolution was drafted by the Senior Intergovernmental Policy Advisor as a way to set in place a standing resolution that would remain in the LTC agenda package for reference as a way to approach matters.

GM-2019-061

It was MOVED and SECONDED

that the Gambier Island Local Trust Committee adopt the following standing resolution with respect to First Nations in the Local Trust Area:

Whereas the Local Trust Committee seeks to engage in Reconciliation with local First Nations, governments and the island community by honouring the Truth and Reconciliation Commission Calls to Action, United Nations Declaration on the Rights of Indigenous Peoples, Draft Principles that Guide the Province of British Columbia's

Relationship with Indigenous Peoples, and Islands Trust First Nations Engagement Principles, the Local Trust Committee endeavors to:

- a) Annually, write a letter to First Nations, (re)introducing trustees and staff and provide a schedule of known Local Trust Committee meetings for the upcoming year, as well as, provide an update of current projects and advocacy activities;
- b) For various Local Trust Committee meetings, invite elders from local First Nations to attend and provide a traditional welcome to the territory;
- c) Work with First Nation governments on cooperative initiatives, including and not limited to, language, place names, territorial acknowledgements, and community education on Coast Salish and local First Nations' cultural heritage and history;
- d) Work with First Nation governments on engagement principles for inclusive land use, marine use, and climate change planning; advocacy, protection and stewardship; and knowledge and information sharing protocols;
- e) Establish and maintain government-to-government dialogue with First Nations, now and into the future, based on respect and recognition of Aboriginal rights and title, treaty rights, and First Nations' traditional territories within the Islands Trust Area.

CARRIED

11.6 Live Streaming of Local Trust Committee Meetings

There was discussion of a request for decision from the Director of Local Planning Services, regarding the live streaming of Local Trust Committee meetings. It was noted there was a proposal to do a trial test rather than full roll out.

GM-2019-062

It was MOVED and SECONDED

that the Gambier Island Local Trust Committee communicate to Trust Council its interest in filming and streaming its public meetings.

CARRIED

11.7 Crown Tenure Application on Anvil Island

Planner Dubyna responded to an inquiry from Trustee Rogers about an application for a license of occupation and expanded Crown tenure area on Anvil Island. The Planner noted it appeared the application would be under exemption for antennae review and public consultation. Planner Cox would be available to speak further on this. Trustee Rogers indicated he would follow up with Planner Cox regarding whether there is a public consultation process required for this application.

11.8 Update regarding New Brighton Dock

Trustee Stamford requested an update regarding the holder and restrictions of the water lease under New Brighton dock. Planner Dubyna reported she would look into this.

12. REPORTS

12.1 Trust Conservancy Report

Trustee Stamford reported that “The Heron” newsletter of Islands Trust Conservancy should be out shortly.

12.2 Applications Report dated November 13, 2019

Received.

12.3 Trustee and Local Expense Report dated September, 2019

Received.

12.4 Adopted Policies and Standing Resolutions

Received.

12.5 First Nations Activities

The Local Trust Committee passed a standing resolution regarding First Nations (item 11.5).

12.6 Local Trust Committee Webpage – none

13. WORK PROGRAM

13.1 Top Priorities Report dated November 13, 2019

Received.

13.2 Projects List Report dated November 13, 2019

Received.

14. CLOSED MEETING – none

15. UPCOMING MEETINGS

15.1 Next Regular Meeting Scheduled for Thursday, January 30, 2020 at 10:30 AM at John Braithwaite Community Centre, Meeting Room 3, 145 West 1st Street, North Vancouver, BC

16. ADJOURNMENT

By general consent the meeting was adjourned at 7:11 pm.

Sue Ellen Fast, Chair

Certified Correct:

Diane Corbett, Recorder



Resolutions Without Meetings Log

Gambier Island

Resolution Number	Action	Date
2019-006	In Favour	28-Nov-2019
THAT the Gambier Island Local Trust Committee authorize the Chair of the Gambier Island Local Trust Committee to execute a letter of endorsement of the Howe Sound/At'l'ka7tsem Unesco Biosphere Region Initiative proposal for inclusion in the application.		

Follow Up Action Report

Gambier Island

27-Apr-2017

Activity	Responsibility	Dates	Status
1 Staff to prepare written communication materials for distribution to Gambier Island residents regarding the adoption of Bylaws 148 and 149 (RAR). Update: pending DPA 3 minor amendments	Jaime Dubyna	Target: 31-Aug-2017	In Progress

28-Jun-2018

Activity	Responsibility	Dates	Status
1 Gambier Official Community Plan Comprehensive Review Project: -post revised, endorsed project charter to project website with June 2018 staff report -prepare budget work plan for Director's approval -notify LTC of status of budget approval and commence Phase 1 work. -incorporate Howe Sound Sustainable Development Framework (ie goals)	Jaime Dubyna		In Progress

13-Dec-2018

Activity	Responsibility	Dates	Status
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Follow Up Action Report

Gambier Island

13-Dec-2018

Activity	Responsibility	Dates	Status
1 Bring forward a revised project charter for the Gambier OCP review to address LTC request (Dec 2018) to take projects on the projects list related to Gambier and add to OCP review project - including review of shipping container regulations; DAI for Gambier; review of water zones and recreational/institution zones. As these are part of a comprehensive LUB review, the current OCP project charter does not include a LUB review and would need to be expanded.	Jaime Dubyna		In Progress

21-Nov-2019

Activity	Responsibility	Dates	Status
1 LTC approved issuance of GM-DVP-2019.2 as amended, as per the minutes.	Becky McErlean Sonja Zupanec		Completed
2 LTC indicated satisfaction that Section 4.4.10 of the Keats Island LUB has been met for application GM-BP-2019.23.	Bronwyn Sawyer		In Progress
3 LTC adopted Bylaw No. 148 (OCP RAR) and Bylaw No. 149 (LUB RAR).	Becky McErlean		Completed
4 LTC adopted the standing resolution to engage in Reconciliation with local First Nations as presented in the staff report dated Nov. 6, 2019.	Heather Kauer Lisa Wilcox		Completed



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December 2, 2019

File No. 4700-20

via e-mail: howesoundbri@gmail.com

Ruth Simons
Chair, Howe Sound Biosphere Region Initiative
PO Box 465
Lions Bay, BC V0N 2E0

Dear Ms. Simons:

Re: Howe Sound Biosphere Region Initiative Society

I am writing on behalf of the Gambier Island Local Trust Committee (LTC) to heartily endorse the nomination by the Howe Sound Biosphere Region Initiative Society (HSBRIS) to designate Alt'ka7tsem/Howe Sound as a UNESCO Biosphere Reserve.

The Gambier LTC is part of the Islands Trust, which is a unique federation of local governments with a legislated mandate to "preserve and protect the trust area and its unique amenities and environment".

While the Trust Area encompasses much of the marine and island areas in the Canadian portion of the Salish Sea, the Gambier Island Local Trust Area encompasses much of the proposed Biosphere Region, including most of the marine area and all of the islands with the exception of Bowen Island Municipality (which is also a member of Islands Trust).

As Chair of the Gambier LTC, I have already signed an endorsement of the application document and we wish to provide an additional letter of support. Our mandate at the Islands Trust and the purpose and objective of the Biosphere Region mesh in many ways, including:

- a. The Reconciliation Declaration adopted by the Islands Trust commits our organization to engaging with and working in cooperation with Indigenous Peoples. In addition, we have committed to the implementation of the UN Declaration on the Rights of Indigenous Peoples and the recommendations of the Truth and Reconciliation Commission Calls to Action.
- b. The islands in Howe Sound are within the boundary of the Coastal Douglas-fir and Associated Ecosystems Conservation Partnership, important to protecting these rare and threatened ecosystems. Our work on maintaining these ecosystems is reflected in the application.

../2

- c. Over 1600 ha are protected within the Gambier LTC, including provincial parks, Islands Trust Conservancy lands, marine protected areas and regional parks, all of which would serve well as core preservation areas within the proposed Biosphere Reserve. The Islands Trust continues to work diligently to protect and enlarge these areas and hope to work with the Squamish Nation in the future to create new conservation areas
- d. The Gambier LTC has hosted three Alt'ka7tsem/Howe Sound Community Forum gatherings over the past six years and is committed to the work of that forum going forward.

We agree completely with this view contained in the application:

"Howe Sound has the potential to be an outstanding model of sustainability and ecological health, providing a place for people to live, work, and play, now and in the future."

We look forward to working along with the anticipated Biosphere Reserve towards this vision of this wonderful region.

Yours sincerely,



Sue Ellen Fast
Chair, Gambier Island Local Trust Committee
sfast@islandstrust.bc.ca

Cc: Islands Trust Area MPs Islands Trust Area MLAs BOKEĆEN (Pauquachin) First Nation Cowichan Tribes Halalt First Nation Homalco First Nation Klahoose First Nation K'ómoks First Nation Lake Cowichan First Nation Lekwungen (Songhees) Nation Lyackson First Nation MÁLEXEŁ (Malahat) Nation Penelakut Tribe Qualicum First Nation Scia'new (Beecher Bay) First Nation SEMYOME (Semiahmoo) First Nation shíshálh First Nation Snuneymuxw First Nation Skwxwú7mesh (Squamish) Nation Snaw-naw-as (Nanoose) First Nation SXAUTW (Tsawout) First Nation Stz'uminus First Nation	SXIMEŁEŁ (Esquimalt) Nation Tla'amin (Sliammon) Nation Tsawwassen First Nation Tsleil-Waututh Nation T'Sou-ke Nation Wei Wai Kum (Campbell River) First Nation We Wai Kai (Cape Mudge) First Nation WJOŁEŁP (Tsartlip) First Nation WŚIKEM (Tseycum) First Nation xʷməθkʷəy̓əm Musqueam Hul'qumi'num Treaty Group Laich-kwil-tach Treaty Society Nanwakolas Council Te'mexw Treaty Association WŚÁNEĆ Leadership Council Naut'sa mawt Tribal First Nations Leadership Council Gambier Island Local Trust Committee Bowen Island Municipal Council Islands Trust Council Islands Trust website
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File No.: GM-DVP-2018.2
(Treloar)

DATE OF MEETING: January 30, 2020
TO: Gambier Island Local Trust Committee
FROM: Jaime Dubyna, Planner 2
Northern Team
SUBJECT: **Development Variance Permit Application GM-DVP-2018.2**
Applicants: Debra Treloar and William Treloar
Location: LOT 3, BLOCK A, DISTRICT LOT 1017, PLAN 10306 (PID 009-414-649)

RECOMMENDATION

1. That the Gambier Island Local Trust Committee deny issuance of Development Variance Permit application GM-DVP-2018.2 for the following reasons:
 - a. The proposal is inconsistent with policies in the Gambier Associated Islands Official Community Plan No. 109, 2009 that support low density development in seasonal residential areas.
 - b. The proposal is inconsistent with policies in the Gambier Associated Islands Official Community Plan No. 109, 2009 to ensure the protection of the foreshore, shoreline and natural coastal and intertidal processes, limit structures in the setback of the natural boundary of the sea, and that promote shoreline structures that lessen impacts on or enhance ecological functions of shorelines.
 - c. The proposal is inconsistent with policies in the Gambier Associated Islands Official Community Plan No. 109, 2009 that support restricting or managing development in areas known to be subject to hazardous conditions.

REPORT SUMMARY

The Gambier Island Local Trust Committee (LTC) is asked to consider Development Variance Permit (DVP) application GM-DVP-2018.2 to authorize a reduction of the front lot line setback for a proposed single family dwelling with attached decks, an increase in the total maximum lot coverage, a reduction of the setback from the natural boundary of the sea for an existing rock wall, and an increase in the area of a deck within the setback from the natural boundary of the sea for the existing deck.

The proposed siting of the single family dwelling, proposed lot coverage, siting of the existing rock wall and size of the existing deck are not consistent with the regulations in the Gambier Associated Islands Land Use Bylaw (LUB) No. 120, 2013.

Staff does not recommend approval of the proposed variances for reasons outlined in the staff report.

BACKGROUND

The subject property is located at 460 Vaucroft Road, North Thormanby Island, and is approximately 0.13 ha (0.32 acre) in area (Figure 1). The subject property is proposed to continue being used as a part-time recreational property.

The DVP application was received in October 2018, requesting a reduction of the front lot line setback required by Section 5.1(6) of the LUB for the siting of a proposed dwelling unit and for an engineered septic system on the subject property. In the application, the applicant noted that the proposed variance is required due to the challenges of building on the lot, resulting from the loss of a significant portion of the lot during a subsidence event in November 1971 (Attachment 8).

The applicant has stated that a log wall was first established in 1986 along the foreshore, followed by the construction of a rock wall in 1995, for the purpose of protecting lots 3 through 8 in the Vaucroft Beach area. Staff note that properties adjacent to the subject property appear to have rock walls or similar structures along the foreshore (see Figure 1 of Attachment 1). Photos of the rock wall can be viewed in the letter submitted by the applicant dated September 1, 2018 (Attachment 8). 2018 Orthophotos indicate that most properties in the Vaucroft Beach area also appear to have rock walls or similar structures along the foreshore.

An exact date of construction has not been provided for the existing deck, however the applicant has stated the deck was constructed prior to their purchase of the property, and its estimated construction date is around 1995.

Staff have identified several inconsistencies with LUB regulations for the existing structures on the lot, and the applicant has amended the application since its original submission. The application proposes to vary the following regulations in the LUB:

- Article 5.1(6), which requires a 6.0 metre setback from any lot line abutting a highway or private road. The proposed single family dwelling is measured to be 0.5 metres from the lot line abutting Vaucroft Road.
- Article 5.1(3), which allows a maximum lot coverage of 25% in the Small Lot Rural Residential (SRR) zone. The proposed single family dwelling and attached deck are calculated to have a lot coverage of 26.6%.
- Subsection 3.3(3), which requires a 7.5 metres setback from the natural boundary of the sea for buildings and structures, with exceptions, for the existing rock wall which is sited 0.0 metre from the natural boundary of the sea.
- Article 3.3(3)(f), which allows a deck or platform which does not exceed 1.2 metres above natural grade, and which does not exceed an area of 10 m², to be sited within the setback from the natural boundary of the sea. The existing deck on the subject property is measured to be 64.2 m² (691-sq.ft.) in area.

Details about the subject property are found in the site context in Attachment 1. A copy of the draft DVP and public notice are found in Attachment 2. A review of relevant policies in the Islands Trust Policy Statement (ITPS) and Gambier Associated Islands Official Community Plan Bylaw No. 109 (OCP) are found in Attachment 3.

The applicant has submitted two letters regarding their application – an updated letter, dated January 13, 2020 (Attachment 7), and original letter with photos, dated September 1, 2018 (Attachment 8).

Staff have received two letters of support from neighbouring property owners at the time of the report (Attachment 9).

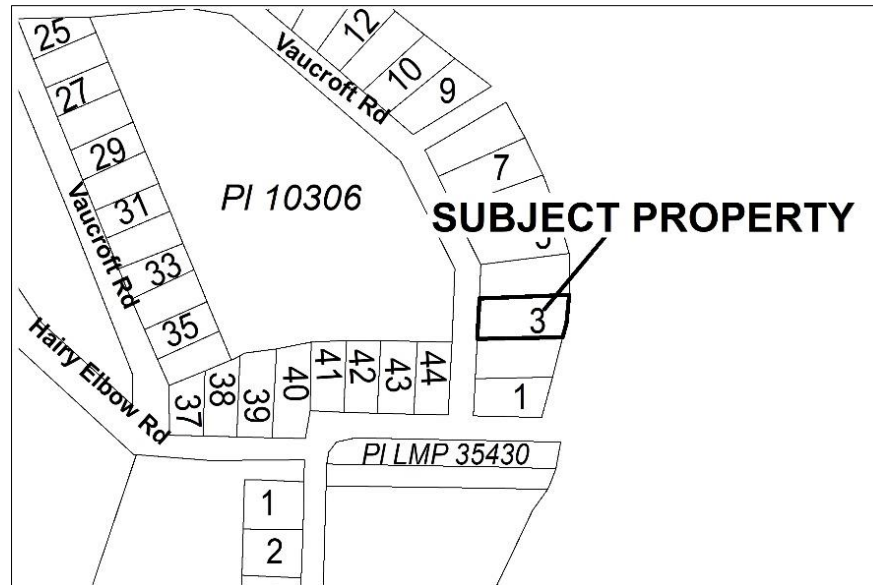


Figure 1. Subject property map.

ANALYSIS

Policy/Regulatory

Islands Trust Policy Statement:

Staff have identified relevant Islands Trust Policy Statement (ITPS) directive policies in Attachment 3.

Official Community Plan:

The Gambier Associated Islands Official Community Plan (OCP) Bylaw No. 109, 2009 designates the subject property as **R – Residential**. The R land use designation includes objectives and policies that support seasonal residential use and that preserve the low density residential character of North Thormanby Island.

Relevant OCP policies are provided in Attachment 3.

Land Use Bylaw:

The subject property is within the **SRR – Small Lot Rural Residential** zone in the LUB. The SRR zone permits one (1) residential dwelling unit per lot.

The following LUB regulations are subject to the variance application GM-DVP-2018.2:

3.3 (3) No building or structure may be constructed, reconstructed, moved, extended or located within 7.5 metres (24.6 feet) of the natural boundary of the sea except:

- (a) one permitted boathouse not exceeding 18.5 m² (200 ft²);
- (b) propane tanks;
- (c) utility lines;
- (d) lifting devices associated with permitted marine uses, including cranes and hoists;
- (e) stairs, ramps or walkways not exceeding a width of 2.5 metres (8.2 feet), required to access the foreshore or a permitted dock; and
- (f) decks or platforms which do not exceed a height of 1.2 metres (4 feet) above natural grade, exclusive of railings, and which do not exceed an area of 10 m² (108 ft²) per lot within the setback area.

5.1 (3) The **maximum lot coverage in the SRR zone is 25 percent.**

5.1 (6) The minimum setback for any building or structure in the SRR zone is:

- (a) **Residential 6.0 metres (19.6 feet) from any lot line abutting a highway or private road;**
- (b) 1.5 metres (5 feet) from any interior or exterior side lot line; and
- (c) 7.5 metres (24.6 feet) from any rear lot line.

Issues and Opportunities

Front Lot Line Setback

Due to the reduction of the upland area of the lot as a result of the subsidence event in November 1971, the applicant proposes to reduce the lot line setback adjacent to Vaucroft Road from 6.0 metres to 0.5 metres, to allow for the siting of the proposed 663.2 m² (2176-sq.ft.) single family dwelling and 144.3 m² (1553 sq.ft.) attached decks. Staff note that while Vaucroft Road is currently a footpath and not a constructed road, it is identified as a road right-of-way under the jurisdiction of the Ministry of Transportation and Infrastructure (MoTI).

The MoTI requires that all structures be sited at least 4.5 metres from a right-of-way or highway, and where encroachment into the setback is proposed to occur, the property owner must obtain an Encroachment Permit. At the request of staff, the applicant has provided a copy of a MoTI Permit authorizing the following:

“The construction of a building, the location of which does not conform with British Columbia Regulation 513/04 made pursuant to section 90 of the Transportation Act, S.C.B. 2004, namely; to allow the construction of a 2176 sq.ft. house within 4.5m setback from, Vaucroft Rd located at Lot 3, Block A, District Lot 1017, Plan 10306 (460 Vaucroft Road, North Thormanby Island), as shown on drawings submitted by the Permittee. This permit in no way permits works related to a septic system.”

The septic system including dispersal field is proposed to be sited under the attached front deck. Staff note that “septic fields, septic tanks, absorption fields and related appurtenances below ground” are not included in the definition of “structure” in the LUB; and are therefore not subject to the lot line setback requirement in Subsection 5.1(6).

OCP Policy 3.2.1 supports low density development in seasonal residential areas. OCP Policy 3.15.2 directs the LTC to utilize regulatory tools that restrict and manage development in areas known to be subject to hazardous conditions. OCP policies 4.3.6 and 4.3.9 direct the LTC to consider density and/or development on lots on a site-specific basis; specifically where an applicant can demonstrate no hazard exists, that no impact would occur to sensitive terrestrial or marine ecosystems or habitat, and where the proposed construction would not create an undue visual impact.

Staff note that while the proposed siting of the dwelling and attached decks meet the 7.5 metre setback from the natural boundary of the sea required by Subsection 3.3(3) in the LUB, there is a covenant registered on title of the subject property that requires that no building be constructed within 50 feet (15.24 metres) from the high water mark (discussed below). Given the site specific restraints – the reduced upland area, close proximity to the foreshore, and historic erosion and flood activity in the area – staff surmise that if the intent of the proposed encroachment into the front lot line setback area was utilized to site a smaller dwelling further from the natural boundary of the sea, this would align more favourably with OCP policies that support low density in seasonal residential areas and that endeavour to restrict or manage development in areas known to be subject to hazardous conditions.

Staff note that a geotechnical assessment report by Western Geotechnical Consultants (WGC), dated August 12, 2016, has been submitted in support of the proposal. In its report, WGC identifies “inundation by flood waters” as a potential hazard to the proposed development, and recommends a minimum flood construction level (FCL) of 2.5 metres. It is noted that the report by WGC states, “If the project does not start within two years of the report date, the report may become invalid and further review may be required.”

In considering the proposed variance, the LTC may request that the applicant submit an updated geotechnical assessment report by a qualified geotechnical engineer to assess the site and determine its suitability for the proposed development. Such a request would align with OCP policies 3.15.1 and 3.15.2 that direct the LTC to identify areas that are hazardous to development and to restrict and manage development in areas known to be subject to hazardous conditions, and with OCP Policy 4.3.9 that supports variance applications in the Vaucroft Improvement District where it can be demonstrated that no hazard exists.

Staff have discussed with the applicant the option of constructing a dwelling with a reduced overall footprint by adding a second storey to retain the proposed total floor area, however the applicant has stated their preference for a one-storey dwelling in order to reduce visual impacts on neighbouring properties. The applicant has provided letters to this effect (Attachments 7 and 8).

Staff do not recommend approval of the proposed reduction of the lot line setback and consider the proposed expansion into the setback area to not align with OCP policies as it proposes to increase overall density of the lot by building a larger dwelling and attached decks, thus reducing the total upland area and terrestrial habitat, on a site with a history of hazardous conditions.

A copy of the MoTI permit can be found in Attachment 5. A copy of the WGC geotechnical assessment report can be found in Attachment 6.

Lot Coverage

The applicant proposes to increase the maximum lot coverage from 25% to 26.6% for the proposed single family dwelling and attached decks (excluding the existing 64.2 m² deck). For reference, lot coverage is defined in the LUB as:

"lot coverage" means the total horizontal area at grade of those portions of a lot that are covered by buildings and structures, exclusive of decks not exceeding 1.2 metres in height at any point, measured to the outermost perimeter of the buildings or structures, divided by the area of the lot, and expressed as a percentage.

The LUB currently regulates building and structure size through a maximum floor area ratio for dwellings and maximum lot coverage in the SRR zone. The floor area ratio of the proposed dwelling is 0.16, which is below the maximum floor area ratio of 0.20 required by Section 5.1(4) of the LUB. While the proposed dwelling meets the permitted maximum floor area ratio, it exceeds the permitted maximum lot coverage since the attached decks are included in the lot coverage calculation. Staff note that the attached decks have been designed to be level with the proposed single family dwelling, which is designed to meet the 2.5 metre Flood Construction Level (FCL) recommended in the geotechnical assessment report by WGC.

OCP Policy 3.2.1 supports “relatively low density residential character” to align with the traditional seasonal use and the rural character of the area. OCP Policy 4.3.6 directs the LTC to consider density for individual properties and locations on the island on a site-specific basis.

In accordance with OCP Policy 4.3.6, when considering density on a site-specific basis, staff note that a calculation of lot coverage that takes into consideration the remaining upland portion of the lot only, and not the area below the natural boundary/rock wall, would result in an effective lot coverage of approx. 43%. However, it is noted that the definition provided in the LUB for “lot” would include the area of the lot that is below the natural boundary, as the LUB definition provides, “‘lot’ means any parcel, block or other area in which land is held or into which it is subdivided whether under the *Land Title Act* or the *Strata Property Act*.”

Staff do not recommend approval of the proposed variance as it relates to lot coverage, given the OCP Policy 3.2.1 that supports low density development in seasonal residential areas, and the site specific constraints – the reduced upland area of the lot, close proximity to the foreshore, historic erosion and flood activity, identified Coastal Sand ecosystem, and limited natural vegetation and features. Staff note that aside from increasing overall density and impacting the form and character of rural areas, increasing lot coverage reduces the total groundwater recharge area, impacts site drainage and reduces the overall area available for natural vegetation and/or natural features.

Existing Rock Wall

There are several OCP policies that do not support the existence of structures within the foreshore that may impede natural features and processes. OCP Policy 3.9.9 suggests that the LTC should limit structures within the setback from the natural boundary of the sea to those related to permitted marine uses and to those structures necessary for access to the foreshore or permitted docks. OCP Policy 3.9.10 supports the use of setbacks and development permit areas (DPA) to protect the integrity of the foreshore and natural coastal processes, discourages uses that disrupt natural features and processes, and encourages property owners to retain natural vegetation and features adjacent to the foreshore.

OCP Policy 3.9.11 directs the LTC to consider permitting shoreline structural modifications where it is demonstrated to be necessary to support or protect permitted or existing uses or structures, and preference should be given to structures that lessen impact on or enhance ecological functions. OCP policies 3.15.2, 4.3.17 and 4.3.19 direct the LTC to consider restricting and managing development in areas known to be subject to hazardous conditions and to protect development from hazardous conditions by establishing setbacks and DPAs.

Staff note the geotechnical assessment report by WGC, states, “The current height of the revetment is reducing the effects of storm and tidal influences.”

Islands Trust mapping identifies the Vaucroft Beach area as being within a Coastal Sand ecosystem. According to South Coast Conservation Program (SCCP), coastal sand ecosystems thrive on natural disturbances (i.e. sand movement, wind erosion, tides, storm surges, ocean spray, soil development, local climate, vegetation succession); however, human impacts and development are damaging to these natural processes¹.

In considering the existing rock wall, the LTC may request that the applicant submit an assessment report by a qualified coastal engineer to determine whether the rock wall is necessary for supporting or protecting permitted uses or structures on the lot and whether it impedes natural features and/or disrupts natural coastal processes, address whether green shores alternatives are feasible and provide recommendations.

Staff note that 2018 Orthophotos indicate that most properties in the Vaucroft Beach area also appear to have rock walls or similar structures along the foreshore, including the neighbouring properties flanking the subject

¹ Coastal Sand Ecosystems Management Guidelines (North Thormanby Island Sunshine Coast, BC), South Coast Conservation Program: <http://www.sccp.ca/species-habitat/coastal-sand-ecosystems>

property (see Figure 1 of Attachment 1). Staff recommend that a review of the Vaucroft Beach area be incorporated into the “Thormanby Islands Foreshore Protection Pilot Project.”

Staff note that authorization by the Province in the form of a Crown tenure or permission is required for structures that extend beyond the natural boundary to the foreshore. The applicant may wish to contact the Province to confirm if an application for Crown tenure or permission is required at this site.

Existing Deck

Subsection 3.3(3) of the LUB permits the siting of decks or platforms, not exceeding a height of 1.2 metres above natural grade and not exceeding an area of 10 m² (108 sq.ft.), within the setback from the natural boundary of the sea. The height of the existing deck is described as being between 0.15 metres (6 inches) and 0.6 metres (2 feet) from natural grade. The existing deck requires a variance to increase the area of a deck within the setback from the natural boundary of the sea from 10 m² to 64.2 m².

OCP Policy 3.9.9 suggests that bylaw provisions limit structures within the setback from the sea to those related to permitted marine uses and those necessary for access to the foreshore or to permitted docks. OCP Policy 3.9.10 encourages property owners to retain natural vegetation and natural features on areas adjacent to the foreshore.

Staff note that the repealed Sunshine Coast Regional District Bylaw No. 96 Land Use Regulation, adopted in 1976, and previously in effect until the adoption of LUB No. 120 in 2013, did not include provisions permitting the siting of decks or platforms within the setback from the natural boundary of the sea.

Staff consider the OCP and LUB to be accommodating in permitting decks or platforms within the setback from the natural boundary of the sea, within reason. Staff do not recommend approval of the proposed variance as it relates to the existing deck, as approval would allow the deck to be permitted indefinitely at its current size and location.

Heritage Conservation

In 2019, Islands Trust Council adopted its [Reconciliation Declaration](#); as part of this process, staff consider reconciliation processes and principals, and first nations interests in staff reporting.

OCP Policy 3.11.3 directs staff to identify any known or recorded archaeological sites. According to Remote Access to Archaeological Data (RAAD), there is a known archaeological site at this location. Under the *Heritage Conservation Act* (HCA), all archaeological sites in B.C. are protected, whether on public or private land, and whether the presence of a site is documented or unknown. The HCA requires that any alteration or change “in any manner” to an archaeological site requires a permit. Site alteration includes placement of fill, rip rap, or other materials where an archaeological site is located.

Staff have requested an update from the applicant regarding their application for a HCA permit, and the applicant has informed staff that a permit application has been submitted.

Restrictive Covenant

A restrictive covenant (R130996) is charged to the title of the subject property, held by Pacific Resorts Ltd. and dated August 31, 1959. The restrictive covenant restricts the use on the subject property as follows:

- One dwelling, building or structure to be used for residential purposes;

- Lots numbered 2 to 23 not permitted to build, construct or erect any building within fifty (50) feet of the high water mark, nor build, construct or erect any fence or fencing within 10 feet of the high water mark;
- Lot 45 shared park and recreation area.

Staff note that the proposed single family dwelling is sited within the 50 feet (15.24 metre) setback required by the covenant. Neither the LTC nor the Sunshine Coast Regional District (SCRD) has any obligation or requirement to enforce the terms of a private covenant. It is the property owner's obligation to meet any requirements of legal instruments that are charged to the title.

Climate Change

At the July 25, 2019 LTC regular business meeting, the LTC passed the following resolution:

GM-2019-033

It was MOVED and SECONDED

that the Gambier Island Local Trust Committee request staff to address and make recommendations on climate change adaptation and mitigation in any report on a project or application.

CARRIED

Effective January 1, 2018, the Province's amended ['Flood Hazard Area Land Use Management Guidelines'](#), require that local governments must consider the amended guidelines when developing bylaws for designated sea level rise planning areas. The guidelines note that in the absence of site-specific studies by a qualified professional, it is recommended that the provincial minimum requirements for land use management in flood hazard areas be used. The Flood Hazard Guidelines recommend that the minimum building setback should be "at least the greater of 15 m from the future estimated Natural Boundary of the sea at Year 2100, or landward of the location where the natural ground elevation contour is equivalent to the Year 2100 FCL." The Flood Hazard Guidelines also note that setbacks may be increased "on a site-specific basis such as for exposed erodible beaches and/or in areas of known hazard."

In the absence of an updated setback to the LUB as recommended by the Flood Hazard Guidelines, staff encourage exceeding that setback to protect development in low-lying areas, specifically where historic erosion and flooding events have occurred. The geotechnical assessment report by WGC indicates that the subject property may be at risk of "inundation by flood waters", characterized as, "an unusually large volume of water flowing in a channel, a portion of which may flow overbank. Floods are associated with other hazards such as channel erosion and avulsion." The geotechnical assessment report in Attachment 5 provides details and recommendations for siting requirements and protective works to mitigate hazards.

Staff note the LTC could include climate change adaptation and mitigation measures as part of the LTC project, "Thormanby Islands Foreshore Protection Pilot Project."

Consultation

No community consultation beyond the public notification requirements has been undertaken. A Community Information Meeting is not required for this application.

Statutory Requirements

In accordance with Section 499 of the *Local Government Act* (LGA) and Section 8 of the Gambier Island Development Procedures Bylaw No. 50, statutory notice of the proposed variance was distributed to neighbouring property owners and tenants within 100 metres of the subject property's boundary on January 13, 2020.

Two pieces of correspondence have been received at the time of preparing this report that support the application (Attachment 9).

Additional correspondence may be received before or during the LTC meeting on Thursday, January 30, 2020. All correspondence received on or before the LTC meeting will form part of the public record and will be considered by the Gambier Island LTC. Correspondence may be sent to northinfo@islandstrust.bc.ca.

Rationale for Recommendation

Staff have analysed the application and find it is generally inconsistent with OCP policies that support low density development in seasonal residential areas; that are designed to protect the foreshore, shoreline, and natural coastal and intertidal processes, and encourage property owners to retain natural vegetation and features on areas adjacent to the foreshore; and that restrict and manage development in areas known to be subject to hazardous conditions.

See staff's recommendation on Page 1 of this report.

ALTERNATIVES

The LTC may consider the following alternatives to the staff recommendation:

1. Request further information

The LTC may request further information prior to making a decision. For this application, this could include confirmation that a *Heritage Conservation Act* permit has been issued, submission of an updated geotechnical assessment report by a qualified professional, or submission of a qualified coastal engineer's report. Staff advise that the implications of this alternative would be additional costs and time for the applicant and additional staff time. Recommended wording for the resolution is as follows:

That the Gambier Island Local Trust Committee request that the applicant submit to the Islands Trust [requested information provided by LTC].

2. Approve the draft permit as presented

The LTC may approve the permit as presented. Recommended wording for the resolution is as follows:

That the Gambier Island Local Trust Committee approve issuance of application GM-DVP-2018.2 (Treloar).

3. Amend the draft permit and approve issuance of those amendments

The LTC may amend the draft permit and approve parts of the proposed variance application. Recommended wording for the resolution is as follows:

That the Gambier Island Local Trust Committee not approve the requested variance [provided by LTC], as the variance is not consistent with [provided by LTC].

That the Gambier Island Local Trust Committee amend draft Development Variance Permit GM-DVP-2018.2 by [amendments to draft DVP provided by LTC].

NEXT STEPS

If the LTC concurs with the staff recommendations, the Development Variance Permit file will be closed. In accordance with Section 4 of the Gambier Island Development Procedure Bylaw No. 50, an application or substantially similar application may not be submitted in respect of the same development less than one year from the date of refusal of a previous application, unless the LTC has agreed to such reconsideration.

Submitted By:	Jaime Dubyna, MSc.Pl. Planner 2	January 8, 2020
Concurrence:	Heather Kauer, RPP, MCIP, AICP Regional Planning Manager	January 14, 2020

ATTACHMENTS

1. Attachment 1 – Site Context
2. Attachment 2 – Draft Permit and Notice
3. Attachment 3 – Policy Checklist
4. Attachment 4 – Topographic Plan, by Strait Land Surveying, dated October 4, 2018 (revised October 10, 2018)
5. Attachment 5 – MoTI Permit 2019-05225
6. Attachment 6 – Geotechnical Assessment Report by Western Geotechnical Consultants, dated August 12, 2016
7. Attachment 7 – Letter (applicant), dated January 13, 2020
8. Attachment 8 – Letter (applicant) with photos, dated September 1, 2018
9. Attachment 9 – Letters (neighbours), dated August 8, 2018 and January 13, 2020

ATTACHMENT 1 – SITE CONTEXT

LOCATION

Legal Description	LOT 3, BLOCK A, DISTRICT LOT 1017, PLAN 10306
PID	009-414-649
Civic Address	460 Vaucroft Rd., North Thormanby Island
Lot Size	0.13 ha

LAND USE

Current Land Use	Residential; Recreational
Surrounding Land Use	Residential; Recreational



FIGURE 1. 2018 Orthophoto of Subject Property (shown in yellow)

HISTORICAL ACTIVITY

File No.	Purpose
GM-SUB-1991.52	
GM-SUB-1991.70	
GM-BP-2018.22 (open)	Building Permit referral from SCRD for proposed single family dwelling.

POLICY/REGULATORY

Official Community Plan Designations	Land Use Designation: R – Residential Development Permit Area: None Relevant OCP policies can be found in Attachment 3 – ITPS and OCP Policy Checklist.
Land Use Bylaw	Zone: Small Lot Rural Residential (SRR) Relevant LUB regulations include: 2.8 Siting Compliance 2.8 (1) Every applicant for a rezoning, temporary use permit or development variance permit must provide a current plan signed by a B.C. Land Surveyor showing the location on the lot of all existing and proposed buildings and structures in relation to lot and zone boundaries, watercourses, and the sea, and in relation to other buildings on the lot, unless the Local Trust Committee determines that the provision of such a plan is not reasonably necessary to establish whether the proposed buildings and structures comply with the siting requirements of this or any other Bylaw. 3.3 Siting and Setback Regulations 3.3 (3) No building or structure may be constructed, reconstructed, moved, extended or located within 7.5 metres (24.6 feet) of the natural boundary of the sea except: (a) one permitted boathouse not exceeding 18.5 m² (200 ft²); (b) propane tanks; (c) utility lines; (d) lifting devices associated with permitted marine uses, including cranes and hoists; (e) stairs, ramps or walkways not exceeding a width of 2.5 metres (8.2 feet), required to access the foreshore or a permitted dock; and (f) decks or platforms which do not exceed a height of 1.2 metres (4 feet) above natural grade, exclusive of railings, and which do not exceed an area of 10 m² (108 ft²) per lot within the setback area. 3.3 (5) Steps, eaves gutters, cornices, sills, chimneys, retaining walls, balconies, decks and sunshades and similar features may project into a required setback area, except a setback from the natural boundary of the sea, a watercourse or a wetland, provided they do not project more than 0.6 metres (2 feet) into the required setback area. 5.1 Small Lot Rural Residential – (SRR) 5.1 (1) The following uses are permitted in the SRR zone, subject to the regulations set out in this Section and the general regulations, and all other uses are prohibited: (a) Residential use of a dwelling; and (b) Accessory uses, buildings and structures, including but not limited to home occupations and accessory recreational uses. 5.1 (3) The maximum lot coverage in the SRR zone is 25 percent.

	5.1 (6) The minimum setback for any building or structure in the SRR zone is: (a) Residential 6.0 metres (19.6 feet) from any lot line abutting a highway or private road; (b) 1.5 metres (5 feet) from any interior or exterior side lot line; and (c) 7.5 metres (24.6 feet) from any rear lot line. The LUB provides the following relevant definitions: "lot" means any parcel, block or other area in which land is held or into which it is subdivided whether under the Land Title Act or the Strata Property Act. "lot coverage" means the total horizontal area at grade of those portions of a lot that are covered by buildings and structures, exclusive of decks not exceeding 1.2 metres in height at any point, measured to the outermost perimeter of the buildings or structures, divided by the area of the lot, and expressed as a percentage. "lot line" means the boundary of a lot as shown on a plan of survey registered with the BC Land Titles Office or the boundary of a lot as otherwise described under the <i>Land Title Act</i>; and "front lot line" means the lot line that is common to the lot and an abutting highway or access route in a bare land strata plan, and where there are two or more such lot lines the shortest (other than corner cuts) is deemed the front lot line. "interior side lot line" means a lot line that is not a front, rear or exterior side lot line. "natural boundary" means the visible high water mark of any lake, river, stream or other body of water where the presence and action of water are so common and usual, and so long continued in all ordinary years, as to mark upon the soil of the bed of the body of water a character distinct from that of its banks, in vegetation, as well as in the nature of the soil itself. "setback" means the horizontal distance that a building or structure must be sited from a specified lot line, building or feature. "structure" means a construction or portion thereof of any kind that is fixed to, supported by or sunk into land or water, but excludes landscaping, septic fields, septic tanks, absorption fields and related appurtenances below ground and concrete and asphalt paving or similar surfacing of the land.
Other Regulations	None.
Covenants	There is a Restrictive Covenant (R130996) on title of the subject property that covenants the following: • Lot 45 shared park and recreation area; • Permitted one dwelling, building or structure to be used for private residential purposes; • Permitted one sleeping cabin with no connection to running water;

	Lots numbered 2 to 23 not permitted to build, construct or erect any building within fifty (50) feet of the high water mark, nor build, construct or erect any fence or fencing within 10 feet of the high water mark.
Bylaw Enforcement	None.

SITE INFLUENCES

Islands Trust Conservancy	This proposal does not directly affect an Islands Trust Conservancy Board (ITC)-owned property or conservation covenant, nor directly affects a property adjacent to an ITC-owned property or conservation covenant. Therefore referral to ITC for comments is not required.
Regional Conservation Strategy	The ITC – Regional Conservation Plan 2018-2027 identifies this area of North Thormanby Island as LOW priority for conservation purposes. However, the Regional Conservation Plan notes the following, “Biodiversity on small islands and islets may be of higher value than indicated due to challenges with connectivity and contiguity analyses where no protected areas exist.” The Gambier Island Local Trust Area has been identified as being HIGH priority for conservation, and is a secondary focus for ITC outreach based on ecosystem values, threats and current levels of conservation. The Regional Conservation Plan identifies a protected area (regional park) within 100 metres of the subject property.
Species at Risk	Islands Trust mapping indicates that no Species At Risk (SAR) are within this area. The Sunshine Coast Conservation Program (SCCP) identifies the following red-listed (endangered) ecological communities found in the Vaucroft area: - Large-headed sedge (<i>Carex macrocephala</i>) - Dune wildrye-Beach pea (<i>Leymus mollis ssp. mollis-Lathyrus japonicus</i>). Identified threats to these ecological communities include barriers to sand and water movement, foot and vehicle traffic, storage of recreational items (i.e. boats) and invasive species. According to the SCCP, the federally-listed threatened Common Nighthawk (<i>Chordeiles minor</i>) has been documented on the beaches of the Thormanby Islands.
Sensitive Ecosystems	ITC Sensitive Ecosystem Mapping indicates the subject property is within a Coastal Sand ecosystem. From the South Coast Conservation Program (SCCP), “Coastal sand ecosystems occur at the intersection of marine and terrestrial realms where ecological patterns are structured by geomorphic and oceanographic disturbance processes (e.g., sand movement, wind erosion, tides, storm surges, ocean spray, soil development, local climate, and vegetation succession).” (Source: http://www.sccp.ca/species-habitat/coastal-sand-ecosystems) According to the SCCP, coastal sand ecosystems contribute to biodiversity, provide recreational opportunities, and buffer inland areas from flooding and storm damage. Coastal sand ecosystems thrive on natural disturbances; however, human impacts and development are damaging to these natural processes. The SCCP recommends reducing human impacts to allow these natural areas to prosper.

	More information on Coastal Sand Ecosystems can be found at: - Coastal Sand Ecosystem Management Guidelines (March 2016): http://www.sccp.ca/sites/default/files/species-habitat/documents/North%20Thormanby%20CSE%20guidelines%20march%202016.pdf - Coastal Sand Ecosystems (April 2017): http://www.sccp.ca/printpdf/103 - Status Report on Coastal Sand Ecosystems in British Columbia (March 2011): http://www.raincoastappliedecology.ca/wp-content/uploads/2010/09/2011-Coastal-Sand-Ecosystem-Status-Report.pdf  FIGURE 2. ITC Sensitive Ecosystem Mapping (coastal sand ecosystem shown in brown)
Hazard Areas	The Gambier Associated Islands OCP does not designate this area as a steep slope or hazardous development permit area. A geotechnical assessment was undertaken on the subject property by Western Geotechnical Consultants (WGC), dated August 12, 2016. In its report, WGC has identified the following potential hazards at the subject site: inundation by flood waters. WGC performed an oceanic flooding hazard analysis for the site and produced a minimum 1:100 year flood construction level (FCL) of 2.5 m above the current high high water large tide (HHWLT). WGC recommends that, “Permanently habitable structures should be carefully sited with respect to the foreshore environment, and should be set a minimum of 2.5 m above the HHWLT.” WGC also provides recommendations for the type of foundation type at the subject site, due to potential sinkhole activity.
Archaeological Sites	Remote Access to Archaeological Data (RAAD) indicates a known archaeological site at this location. Under the <i>Heritage Conservation Act</i> (HCA), all archaeological sites in British Columbia are protected, whether on public or private land, and whether the presence of a site is documented or unknown. An alteration permit issued under

	Section 12 of the HCA is required for any land alteration where a known archaeological site is located. Staff have requested an update from the applicant regarding an HCA permit.
Climate Change Adaptation and Mitigation	The Provincial “Flood Hazard Area Land Use Management Guidelines” (Guidelines) recommend that requirements for buildings, subdivision and zoning should allow for sea level rise (SLR) to the year 2100. For building setbacks, the Guidelines recommend at least the greater of 15 m from the future estimated Natural Boundary of the Sea at Year 2100, or landward of the location where the natural ground elevation contour is equivalent to the Year 2100 Flood Construction Level (FCL). The Year 2100 FCL should be established for specific coastal areas by a qualified Professional Engineer with experience in coastal engineering. The Sunshine Coast Regional District (SCRD) is currently in the process of acquiring flood hazard mapping for its coastal areas. Storm-surge flooding presents more of a threat to coastal communities, as the risks are expected to increase as sea level rises. Adaptation tools identified in the “Sea Level Rise Adaptation Primer” (MoE, Fall 2013) include, planning tools (policies), regulatory tools (subdivision, land use, buildings), land use change or restriction tools (i.e. conservation covenants), structural tools (armouring shorelines) and non-structural or soft armouring measures (i.e. Green Shores). In its geotechnical assessment, dated August 12, 2016, WGC recommends a minimum FCL of 2.5 m above the HHWLT for any proposed permanently habitable structures on the subject site.
Groundwater Vulnerability	Unconsolidated moderate vulnerability
Shoreline Classification	Sediment Shoreline - Pebble/Sand
Shoreline Data in TAPIS	Islands Trust mapping indicates the presence of eelgrass approx. 8 m offshore of the subject property.



Islands Trust

NOTICE
GM-DVP-2018.2 – TRELOAR
GAMBIER ISLAND LOCAL TRUST COMMITTEE

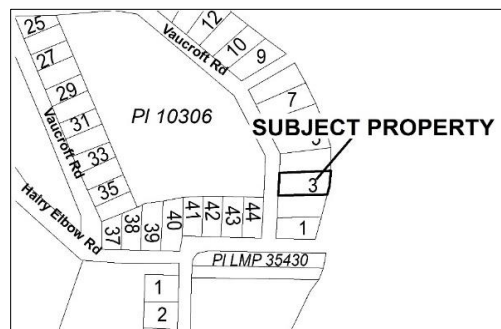
Attachment 2

NOTICE is hereby given that the Gambier Island Local Trust Committee will be considering a resolution allowing for the issuance of a Development Variance Permit, pursuant to Section 498 of the *Local Government Act*, varying the Gambier Associated Islands Land Use Bylaw No. 120, 2013, in general terms, as follows:

- The minimum natural boundary of the sea setback would be varied to permit the siting of an existing rock wall from the required 7.5 metres to 0.0 metres measured from the bottom of the rock wall.
- The maximum area of a deck or platform permitted to be within the natural boundary of the sea setback would be varied to increase the area of the existing deck from 10 m² (108 sq.ft.) to 64.2 m² (691 sq.ft.).
- The maximum lot coverage would be varied from the required 25% maximum lot coverage to 26.6%.
- The minimum front lot line setback would be varied to permit the siting of a proposed single family dwelling from the required 6.0 metres to 0.5 metres from the front lot line.

The property is legally described as: PID 009-414-649 LOT 3, BLOCK A, DISTRICT LOT 1017, PLAN 10306

The general location of the subject area is shown in the following sketch:



A copy of the proposed Permit may be inspected at the Islands Trust Northern Office, 700 North Road, Gabriola Island, BC, V0R 1X3, between the hours of 8:30 am and 4:00 pm, Monday to Friday inclusive, excluding Statutory Holidays, commencing **January 17, 2020** and continuing up to and including **January 29, 2020**. Also, attached for your convenience, is a copy of the proposed Permit.

If you have any questions or comments regarding the proposed Permit, please contact Jaime Dubyna, Planner 2, at 250-247-2212; for Toll Free Access, request a transfer via Enquiry BC: in Vancouver 604-660-2421 and elsewhere in BC at 1-800-663-7867.

Written submissions should be sent to: **Mail:** Islands Trust, 700 North Road, Gabriola, BC V0R 1X3;

Fax: 250-247-7514 or **Email:** jdubyna@islandstrust.bc.ca

Following the end of the notice period, the Gambier Island Local Trust Committee may consider issuance of the proposed Permit at its Regular Business Meeting to be held at 10:30 a.m., Thursday, January 30, 2020, at John Braithwaite Community Centre, Meeting Room 3, 145 West 1st St., North Vancouver, B.C.

All applications are available for review by the public. Written comments made in response to this notice will also be available for public review.



GAMBIER ISLAND LOCAL TRUST COMMITTEE
DEVELOPMENT VARIANCE PERMIT
GM-DVP-2018.2

TO: DEBRA AND WILLIAM TRELOAR

1. This Development Variance Permit applies to the land described below:

PID: 009-414-649

Lot 3 Block A District Lot 1017 Plan 10306

2. Pursuant to Section 498 of the *Local Government Act*, the *Gambier Associated Islands Land Use Bylaw No. 120, 2013* is varied as follows:

- a) **PART 3 – GENERAL REGULATIONS**, Section **3.3 Siting and Setback Regulations**, Subsection **3.3 (3)**: “No building or structure may be constructed, reconstructed, moved, extended or located within 7.5 metres (24.6 feet) of the natural boundary of the sea except:
- (a) one permitted boathouse not exceeding 18.5 m² (200 ft²);
 - (b) propane tanks;
 - (c) utility lines;
 - (d) lifting devices associated with permitted marine uses, including cranes and hoists;
 - (e) stairs, ramps or walkways not exceeding a width of 2.5 metres (8.2 feet), required to access the foreshore or a permitted dock; and
 - (f) decks or platforms which do not exceed a height of 1.2 metres (4 feet) above natural grade, exclusive of railings, and which do not exceed an area of 10 m² (108 ft²) per lot within the setback area”;
- Is varied in order to reduce the natural boundary of the sea setback from 7.5 metres to 0.0 metres for the siting of an existing rock wall, as shown on the Site Plan in Schedule “A” attached to and forming part of this permit;
 - Is varied in order to increase the area of the existing deck from 10 m² (108 ft²) to 64.2 m² (691 sq.ft.), as shown on the Site Plan in Schedule “A” attached to and forming part of this permit.
- b) **PART 5 – ZONES**, Section **5.1 Small Lot Rural Residential (SRR) Zone**, Subsection **5.1 (3)**: “The maximum lot coverage in the SRR zone is 25 percent”;
- Is varied in order to increase the maximum lot coverage in the SRR zone from 25 percent to 26.6 percent.
- c) **PART 5 – ZONES**, Section **5.1 Small Lot Rural Residential (SRR) Zone**, Subsection **5.1 (6)**: “The minimum setback for any building or structure in the SRR zone is:
- (a) Residential 6.0 metres (19.6 feet) from any lot line abutting a highway or private road”;

- Is varied in order to reduce the front lot line setback from 6.0 metres to 0.5 metres (1.6 feet) for the siting of a proposed single family dwelling, as shown on the Site Plan in Schedule "A" attached to and forming part of this permit.

3. All buildings and structures shall be consistent with Schedule "A" – Site Plan, Schedule "B" – Site Plan (Existing Buildings and Structures), Schedule "C1" – Elevation Plan, and Schedule "C2" – Elevation Plan, which are attached to and form part of this permit. This permit is not a building permit and does not remove any obligation on the part of the permittee to comply with all other requirements of the *Gambier Associated Islands Land Use Bylaw No. 120, 2013* including use and density, and to obtain other appropriate approvals necessary for completion of the proposed development.

AUTHORIZING RESOLUTION PASSED BY THE GAMBIER ISLAND LOCAL TRUST COMMITTEE THIS __TH DAY OF ____, 20__.

Deputy Secretary, Islands Trust

Date of Issuance

IF THE DEVELOPMENT DESCRIBED HEREIN IS NOT COMMENCED BY THE __TH DAY OF ____, 20__, THIS PERMIT AUTOMATICALLY LAPSES.

KERMÖDE
DESIGN STUDIO

Schedule "A" Site Plan

KERMÖDE
DESIGN STUDIO

Treloar Family Cabin

Site Plan - Existing

$$15 = 1-0$$

2023-01-07 19:26:17 PM

1/04
762 + 82

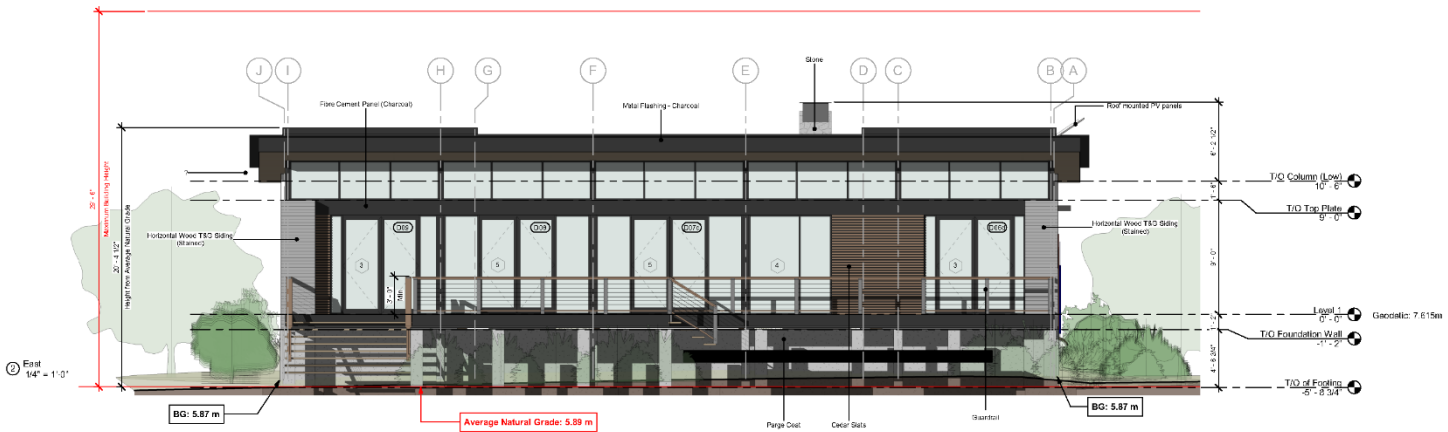
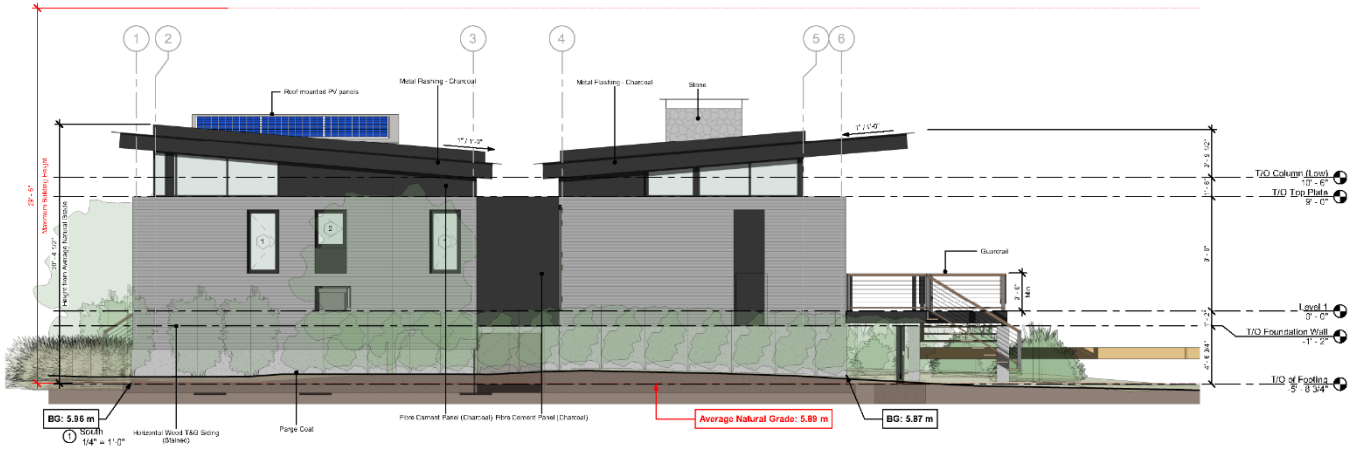
Note: Ground Elevations based on survey by
Seamus Pope BCLS (October 10, 2016)



A005



Schedule "C1"
Elevation Plan



Treloar Family
Cabin

488 Vaucliff Road, Thornbury Island, BC

Elevations

1/4" = 1'-0"

2023-11-17 10:25:55 PM

17064

DVP + SP

Geodetic: 7.615m

A200

Schedule "C2" Elevation Plan

KERMÖDE
DESIGN STUDIO



Treloar Family Cabin

480 Vancourt Road, Thorne Valley, BC

Elevations

Scale	1/4" = 1'-0"
Date	2023-04-07 10:57:00 PM
Sheet	17304
Drawn	3/09 + 3/09

A201

ATTACHMENT 3 – POLICIES

ISLANDS TRUST POLICY STATEMENT

ITPS Policy	Planner Comments
Directive Policy 3.4.5 Local trust committees and island municipalities shall, in their official community plans and regulatory bylaws, address the planning for and regulation of development in coastal regions to protect natural coastal processes.	The following OCP policies address planning for and regulation of development to protect natural coastal processes: 3.9.10, 3.9.11, 4.3.9, 4.3.17, and 4.3.19.
Directive Policy 4.5.10 Local trust committees and island municipalities shall, in their official community plans and regulatory bylaws, address the location of buildings and structures so as to protect public access to, from and along the marine shoreline and minimize impacts on sensitive coastal environments.	The following OCP policies address siting buildings and structures, protecting public access, and minimizing impacts on sensitive coastal environments, along the shoreline: 3.8.3, 3.9.1, 3.9.8, 3.9.9, 3.9.10, and 3.9.11.
Directive Policy 5.2.6 Local trust committees and island municipalities shall, in their official community plans and regulatory bylaws, address the identification of areas hazardous to development, including areas subject to flooding, erosion or slope instability, and strategies to direct development away from such hazards.	The following OCP policies address identification of hazardous areas: 3.9.10, 3.9.11, 3.15.1, 3.15.2, 4.3.9, and 4.3.19.

GAMBIER ASSOCIATED ISLANDS OFFICIAL COMMUNITY PLAN BYLAW No. 109

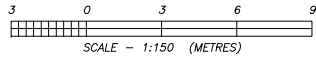
OCP Objective/Policy	Planner Comments
3.2 Residential Land Use Policies	
Policy 3.2.1 The traditional land use in the plan area has been largely seasonal residential and LTC bylaw provisions should preserve the relatively low density residential character of the area.	Support for low density development aligns with preserving the rural and seasonal character of the area. The subject property is currently used as a part-time recreational property, and is proposed to continue being used as a part-time recreational property.
Policy 3.2.4 The LTC may introduce bylaw provisions establishing maximum floor areas for dwellings in higher density locations in order to minimize the impacts of development and preserve community character.	There are currently no bylaw provisions for establishing a maximum floor area for dwellings, however the LUB does specify a floor area ratio and lot coverage to regulate building and structure size in the SRR zone.
3.9 Policies for Marine and Shoreline Uses	
Policy 3.9.1 The LTC should identify and give consideration to protecting ecologically sensitive marine areas.	Islands Trust mapping indicates the subject property is within a Coastal Sand ecosystem. Main threats to coastal sand ecosystems include invasive plants, disruption to coastal sediment transfer, recreation, coastal development and climate change (Source: Status Report on Coastal Sand Ecosystems in British Columbia). Islands Trust mapping indicates the presence of eelgrass within approx. 8 m of the subject property. Best practices in protecting

	eelgrass beds include minimizing shoreline disturbances, reducing physical alteration of the shoreline and retaining vegetative buffers along the shoreline (Source: Final Report Nearshore Eelgrass Inventory).
Policy 3.9.9 The LTC should use bylaw provisions to limit structures within the setback from the sea to those related to permitted marine use and those necessary for access to the foreshore or to permitted docks.	Subsection 3.3(3) of the Land Use Bylaw limits the size and height of decks or platforms within the setback of the natural boundary of the sea. The LTC is asked to consider the existing deck on the subject property, as it exceeds the permitted size (10 m ²) in Subsection 3.3(3).
Policy 3.9.10 The LTC should, through zoning, the use of setbacks and, where there is supporting mapping, the use of development permit areas: (a) protect the integrity of the foreshore, shoreline, and natural coastal and intertidal processes; (b) discourage uses that disrupt natural features and processes; (c) allow for natural erosion and accretion processes, without endangering structures; (d) encourage owners of shoreline properties to retain, wherever possible, natural vegetation and natural features on areas adjacent to the foreshore; and (e) discourage filling, deposit, excavation, or removal of foreshore and seabed materials, except for maintenance of navigational channels and existing facilities.	The Land Use Bylaw requires a 7.5 m setback from the natural boundary of the sea for buildings and structures, with exceptions under Subsection 3.3(3). Currently no development permit area (DPA) is established. A review of setback regulations and designation of a DPA for the purposes of protecting the natural environment, its ecosystems and biological diversity, and protection of development from hazardous conditions, is identified under the LTC project, "Thormanby Islands Foreshore Protection Pilot Project".
Policy 3.9.11 The LTC should only give consideration to permitting structural modification of the shoreline, such as seawalls, where it can be demonstrated to be necessary to support or protect a permitted or existing use or structure. Preference should be given to shoreline structures that have a lesser impact or enhance ecological functions, including vegetation enhancement, drainage control, beach enhancement, anchor trees, and gravel placement. Shoreline stabilization should not interrupt natural processes solely to reduce erosion of undeveloped land. Vegetation which helps stabilise banks, reduce erosion and provide habitat should be retained or enhanced.	The LTC is asked to consider the existing rock wall on the subject property. The geotechnical assessment by Western Geotechnical Consultants (WGC), dated August 12, 2016, WGC states, "The current height of the revetment is reducing the effects of storm and tidal influences." In considering the existing rock wall, the LTC may request the applicant submit an assessment report by a qualified coastal engineer to determine whether there are impacts on the foreshore and natural coastal processes, and that recommends restoration and enhancement measures.
3.11 Culture and Heritage Policies	
Policy 3.11.3 All development applications will be reviewed by planning staff for the presence of known and recorded archaeological sites. Applicants will be notified if the site includes a known, protected archaeological site. Notification may include direction to engage a professional consulting archaeologist to determine if an archaeological impact assessment is necessary to manage development related impacts.	Through Remote Access to Archaeological Data (RAAD) mapping, staff have identified a known archaeological site at this location. Staff have requested an update from the property owner on the <i>Heritage Conservation Act</i> (HCA) permit.
3.15 Natural Hazards Policies	
Policy 3.15.1 The LTC should undertake initiatives to identify areas that are hazardous to development,	OCP Policy 4.3.9 addresses the historic erosion event in the Vaucroft Improvement District.

including areas subject to flooding, erosion or slope instability.	The LTC has included on its LTC Projects list the “Thormanby Islands Foreshore Protection Pilot Project” that will review setback regulations and potentially designate a DPA for protection of the natural environment, its ecosystems and biological diversity, and for protection of development from hazardous conditions. The application GM-DVP-2018.2 precedes the LTC project.
Policy 3.15.2 The LTC should use appropriate tools, including setbacks and development permit area designations, to restrict and manage development in areas known to be subject to hazardous conditions.	No designated DPA established. A review of setback regulations and designation of a DPA for the purposes of protecting development from hazardous conditions (and protecting the natural environment, its ecosystems and biological diversity) is identified under the LTC project, “Thormanby Islands Foreshore Protection Pilot Project”.
4.3 Policies for North and South Thormanby Islands	
Policy 4.3.6 Density for individual properties and locations on the island should be regulated on a site-specific basis.	In the letter dated September 1, 2018, the applicant states that a portion of the lot was lost during a major subsidence event in November 1971. Historic orthophotos and Islands Trust mapping indicate a portion of the lot is currently within the foreshore and/or marine area.
Policy 4.3.9 Provisions should be made in the zoning regulations for existing buildings and sites. The LTC should consider variance applications for siting new development on lots in the Vaucroft Improvement District impacted by historic erosion events where the applicant can demonstrate that no hazard exists, that there would be no impact on sensitive terrestrial or marine ecosystems or habitat, and that the proposed construction would not create an undue visual impact.	The applicant proposes to remove the existing cabins, and retain the existing deck. The geotechnical assessment by WGC provides recommendations for construction of the proposed dwelling unit, including establishing a minimum 2.5 m FCL, building foundation recommendations to reduce ground disturbance, and site preparation and drainage requirements. The WGC does not include an assessment of environmental hazards or contamination.
Policy 4.3.15 Bylaw provisions establishing a maximum floor area for dwellings may be implemented.	The Land Use Bylaw currently regulates dwelling units by maximum floor area ratio and maximum lot coverage in the SRR zone. Implementation of a maximum floor area for dwelling units could be considered by the LTC during the LTC project, “Thormanby Islands Foreshore Protection Pilot Project.”
Policy 4.3.17 The lands immediately upland from the foreshore may be designated as a development permit area in order to protect development from hazardous conditions and to provide for protection of shoreline ecosystems from development.	No designated DPA established. The LTC project, “Thormanby Islands Foreshore Protection Pilot Project”, will review setback regulations and potentially designate a DPA for protection of the natural environment, its ecosystems and biological diversity, and for protection of development from hazardous conditions.
Policy 4.3.19 The LTC should undertake initiatives to identify sensitive ecosystems, significant features and natural hazards.	Staff note that the LTC could incorporate the subjects of this policy within the “Thormanby Islands Foreshore Protection Pilot Project”.
5.3 Climate Change Adaptation and Mitigation	
Policy 5.3.1 The LTC should, in its bylaw provisions and review of development applications, consider the	The amended Provincial “Flood Hazard Area Land Use Management Guidelines” recommend that requirements for buildings, subdivision and zoning should allow for sea level rise

potential impacts on global climate change and GHG reduction targets.	(SLR) to the year 2100. For building setbacks, it is recommended that local governments require a setback of at least 15 m from the future estimated Natural Boundary of the Sea at Year 2100, or landward of the location where the natural ground elevation contour is equivalent to the Year 2100 FCL. Staff note that the LTC could include updates to the setback requirements and climate change adaptation and mitigation measures within the “Thormanby Islands Foreshore Protection Pilot Project”.
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TOPOGRAPHIC PLAN OF LOT 3, BLOCK A, DL 1017, PLAN 10306.



LOCATION: 460 VAUCROFT ROAD, THORMANBY ISLAND, BC
PID: 009-414-649

CERTIFIED CORRECT
ACCORDING TO LAND TITLE & SURVEY AUTHORITY
RECORDS AND FIELD SURVEY. UNREGISTERED INTERESTS
HAVE NOT BEEN INCLUDED OR CONSIDERED.

SEAMUS POPE, BCLS
OCTOBER 10, 2018

NOTE:

THIS PLAN IS FOR PRELIMINARY DESIGN PURPOSES
ONLY; FINAL BUILDING LOCATIONS MUST BE VERIFIED
IN THE FIELD PRIOR TO CONSTRUCTION.

DISTANCES ARE IN METRES.

CONTOURS ARE IN 1 METRE INTERVALS.

ELEVATIONS ARE REFERENCED TO CHART DATUM.

ELEVATIONS ARE IN METRES.

CHART DATUM WAS OBTAINED BY APPLYING A 3.07m
SHIFT TO GEODETIC ELEVATIONS. SHIFT WAS PROVIDED
BY SERGE PAQUET, HYDROGRAPHER, CANADIAN
HYDROGRAPHIC SERVICES.

GEODETIC ELEVATIONS ARE DERIVED FROM DUAL
FREQUENCY RTK GNSS TIES WITH REAL TIME
CORRECTIONS FROM THE CAN-NET RTN.

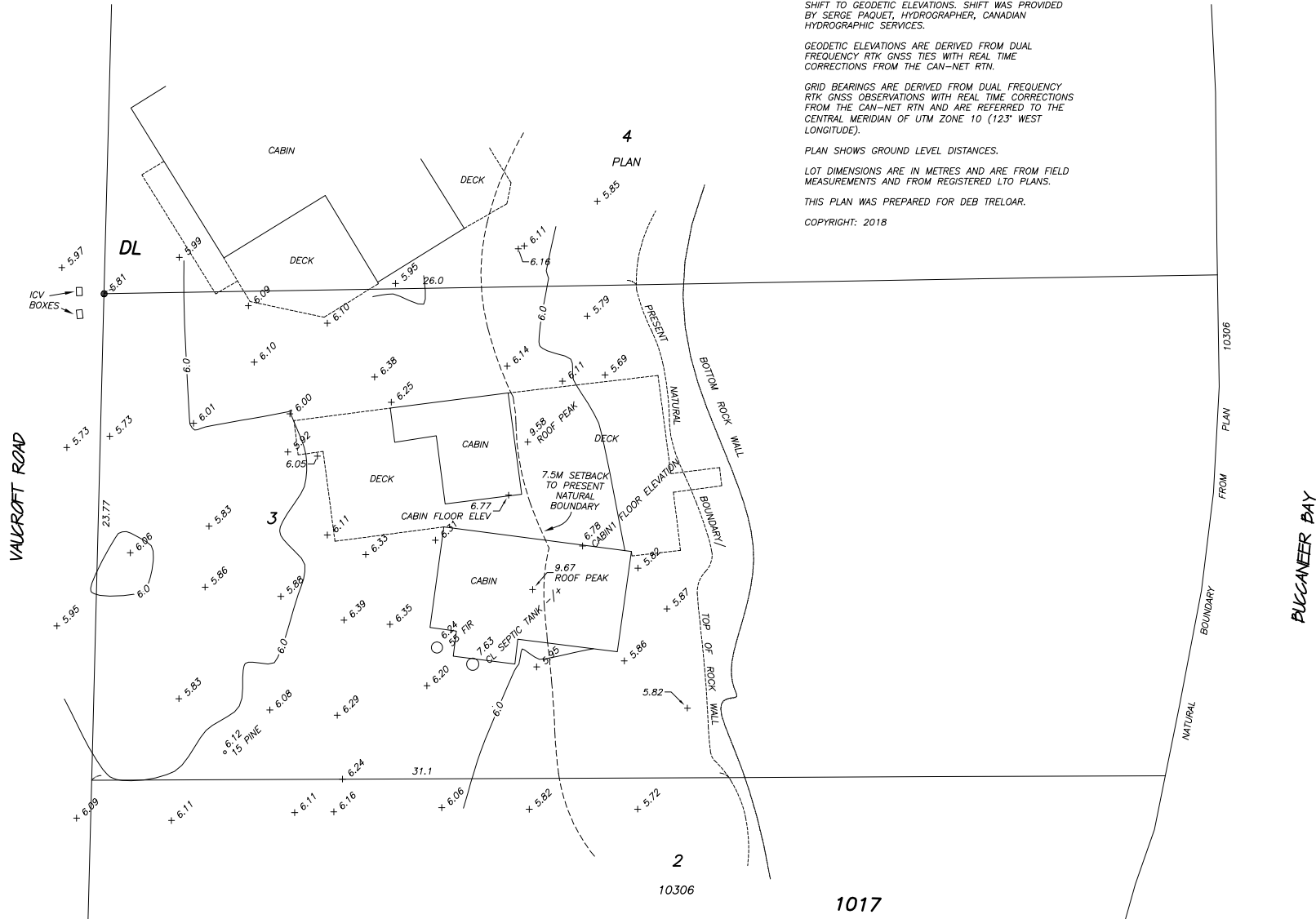
GRID BEARINGS ARE DERIVED FROM DUAL FREQUENCY
RTK GNSS OBSERVATIONS WITH REAL TIME CORRECTIONS
FROM THE CAN-NET RTN AND ARE REFERRED TO THE
CENTRAL MERIDIAN OF UTM ZONE 10 (123° WEST
LONGITUDE).

PLAN SHOWS GROUND LEVEL DISTANCES.

LOT DIMENSIONS ARE IN METRES AND ARE FROM FIELD
MEASUREMENTS AND FROM REGISTERED LTO PLANS.

THIS PLAN WAS PREPARED FOR DEB TRELOAR.

COPYRIGHT: 2018



LEGEND:

45 DENOTES A STANDARD IRON POST FOUND

+00.21 DENOTES GROUND ELEVATION

REVISED:
OCTOBER 10, 2018
OCTOBER 4, 2018

STRAIT LAND SURVEYING INC.
SEAMUS POPE, BCLS
BOX 61 (5689 DOLPHIN ST)
SECHelt, BC - VON JAO
T. 604.885.3237

16088-608



PERMIT TO REDUCE BUILDING SETBACK LESS THAN 4.5 METRES FROM THE PROPERTY LINE FRONTING A PROVINCIAL PUBLIC HIGHWAY

PURSUANT TO TRANSPORTATION ACT AND/OR THE INDUSTRIAL ROADS ACT AND/OR THE MOTOR VEHICLE ACT AND/OR AS DEFINED IN THE NISGA'A FINAL AGREEMENT AND THE NISGA'A FINAL AGREEMENT ACT.

BETWEEN:

The Minister of Transportation and Infrastructure

Sechelt Area Office
Box 356
Sechelt, BC V0N 3A0
Canada

("The Minister")

AND:

Debra Treloar & William Treloar
2942 31 Avenue W
Vancouver, British Columbia V6L2A4
Canada

("The Permittee")

WHEREAS:

A. The Minister has the authority to grant permits for the auxiliary use of highway right of way, which authority is pursuant to both the Transportation Act and the Industrial Roads Act, the Motor Vehicle Act, as defined in the Nisga'a Final Agreement and the Nisga'a Final Agreement Act;

B. The Permittee has requested the Minister to issue a permit pursuant to this authority for the following purpose:

The construction of a building, the location of which does not conform with British Columbia Regulation 513/04 made pursuant to section 90 of the Transportation Act, S.B.C. 2004, namely; to allow the construction of a 2176 sq. ft. house within 4.5m setback from, Vaucroft Rd located at Lot 3, Block A, District Lot 1017, Plan 10306 (460 Vaucroft Road, North Thormanby Island), as shown on drawings submitted by the Permittee.

This permit in no way permits works related to a septic system.

C. The Minister is prepared to issue a permit on certain terms and conditions;

ACCORDINGLY, the Minister hereby grants to the Permittee a permit for the Use (as hereinafter defined) of highway right of way on the following terms and conditions:

1. This permit may be terminated at any time at the discretion of the Minister of Transportation and Infrastructure, and that the termination of this permit shall not give rise to any cause of action or claim of any nature whatsoever.
2. This permit in no way relieves the owner or occupier of the responsibility of adhering to all other legislation, including zoning, and other land use bylaws of a municipality or regional district.
3. The Permittee shall indemnify and save harmless the Ministry, its agents and employees, from and against all claims, liabilities, demands, losses, damages, costs and expenses, fines, penalties, assessments and levies made against or incurred, suffered or sustained by the Ministry, its agents and employees, or any of them at any time or times, whether before or after the expiration or termination of this permit, where the same or any of them are based upon or arise out of or from anything done or omitted to be done by the Permittee, its employees, agents or Subcontractors, in connection with the permit.
4. The rights granted under this permit are for an indefinite period.



Should the said structure be destroyed, removed or dismantled, this permit is automatically cancelled and another permit will not necessarily be granted.

5. The Permittee will at all times indemnify and save harmless Her Majesty the Queen in Right of the Province of British Columbia, as represented by the Minister of Transportation and Infrastructure, and the employees, servants, and agents of the Minister from and against all claims, demands, losses, damages, costs, liabilities, expenses, fines, fees, penalties, assessments and levies, made against or incurred, suffered or sustained by any of them, at any time or times (whether before or after the expiration or termination of this permit) where the same or any of them are sustained in any way as a result of the Use, which indemnity will survive the expiration or sooner termination of this permit.
6. The Permittee will ensure that the works do not, impair, impede or otherwise interfere with; I. public passage on the Highways; II. the provision of highway maintenance services by the Province, or by its servants, contractors, agents or authorized representatives of the Province in connection with the Highways; or III. the operation of the Highways;
7. The Permittee shall take all reasonable precautions to attempt to ensure the safety of the public in connection with the Use. In particular, but not so as to limit this obligation, the Permittee shall, if so required by the Designated Ministry Official on reasonable grounds, prepare and implement a traffic control plan. The contents of the plan and the manner in which it is implemented must meet the reasonable satisfaction of the Designated Ministry Official.
8. This permit in no way relieves the owner or occupier of the responsibility of adhering to all other legislation, including zoning, and other land use bylaws of a municipality or regional district.
9. Permittee to be responsible for the supply of all labour, equipment, materials in connection with these works.
10. All works are to be completed in accordance with the submitted plan provided by the Permittee. It is the responsibility of the Permittee to identify all property lines and ensure the permitted structure is contained within Lot 3, Block A, District Lot 1017, Plan 10306.
11. All final designs are to be submitted to this office upon completion of works.
12. If any BCLS survey posts are removed, moved or damaged during the construction of the said Works they must be replaced by a registered BC Land Surveyor at the expense of the Permittee.
13. In the event that any item of archaeological, heritage, historical, cultural or scientific interest is found on the project site, the Chance Find Procedure found in Section 165 of the 2016 Standard Specifications for Highway construction page shall apply. As unrecorded archaeological material is protected under the Heritage Conservation Act, please contact the Archaeology Branch immediately at (250) 953-3334 if archaeological site deposits are encountered on the subject property.
14. The layout shown on the submitted drawing is a condition of this permit, and any change in layout without the prior consent in writing of the Designated Ministry Official shall render the permit void.
15. It is the permittee's responsibility to obtain permission from the Ministry of Environment, pursuant to Section 7 of the Water Act, for works in or around any natural water-course, as and if required.
16. The Permittee shall ensure all equipment working on or hauling material on to and from the Site does not damage or deposit material onto any part of an existing roadway. Materials spilled onto the public roadways or driveways opened to public traffic shall be cleaned up immediately. The Permittee has the full responsibility to repair any damage to existing highways, local roads and driveways caused by its construction equipment and/or operations.
17. No gates are to be placed within Ministry of Transportation and Infrastructure Right of Way.
18. **No further additions or improvements shall be made to the said structure without prior consent of the Ministry of Transportation and Infrastructure.**
19. Any damage to the Ministry of Transportation and Infrastructure right-of-way as a direct result of the permitted works shall be repaired and maintained by the Permittee in perpetuity.
20. This permit does not cover any works related to a septic system within the Ministry right of way.
21. If the Permittee proceeds on this permit, it is deemed that all terms and conditions have been accepted.

The rights granted to the Permittee in this permit are to be exercised only for the purpose as defined in Recital B on page 1.

Dated at Sechelt, British Columbia, this 24 day of October, 2019

Kattia Woloshyniuk, Development Officer and Operations Technician
On Behalf of the Minister

Sheet List

Sheet Number	Sheet Name
A000	Cover
A001	Perspectives
A002	Building Assemblies
A003	Building Assemblies
A004	Survey
A005	Site Plan - Existing
A006	Site Plan - Proposed
A100	Foundation Plan
A101	Floor Plan
A102	Plan - Clerestory
A200	Elevations
A201	Elevations
A202	Elevations
A300	Sections
A301	Sections
A302	Sections, Door & Window Schedules



1 3D View (Exterior) - Southwest

KERMÖDE
DESIGN STUDIO

Zoning Summary:

PROJECT ADDRESS
460 Vaucroft Road, Thormanby Island, BC

LEGAL DESCRIPTION
Lot 3, Block A, DL 1017, Plan 10006
PID: 018-416-649

AUTHORITY
SCRD + Islands Trust

ZONE
SPR

USES
Residential

SITE AREA
14,006 sq ft**

* Takes to original natural boundary

SETBACKS

Front Yard (West):

Required: 6.0 m (19.6 ft)
Proposed: 4.3 m (14.1 ft)*

Side Yard (North):

Required: 1.5 m (5.0 ft)
Proposed: 2.6 m (8.67 ft)

Side Yard (North & South):

Required: 1.5 m (5.0 ft)
Proposed: 1.5 m (5.0 ft)

Rear Yard (East):

Required: 7.5 m (24.6 ft)**
Proposed: 7.77m (25.5 ft)

* Variance request
**Measured to natural boundary

LOT COVERAGE

Permitted: 25%
Proposed*: 15.5%
2,176 sq ft (Building) / 14,006.6 sq ft (Site)

*Lot coverage does not include new tree draining deck (1,553 sq ft)

F.A.R.

Permitted: 0.20
Proposed: 0.16

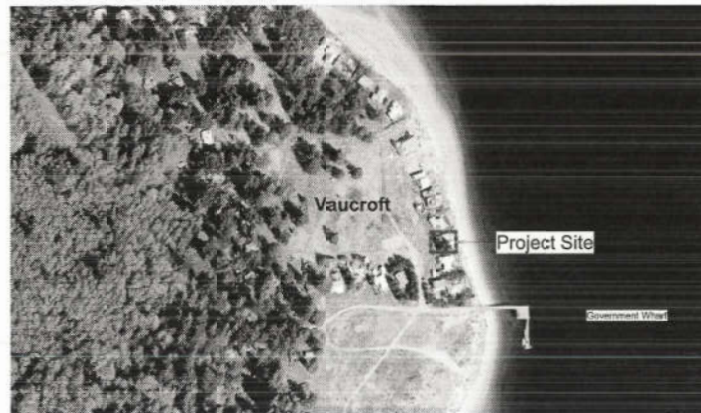
BUILDABLE AREA

Proposed: 2,176 sq ft

HEIGHT

Permitted: 9.0 m (29.5 ft)
Proposed: 5.6 m (18.6 ft)

Context Map:



Treloar Family Cabin

460 Vaucroft Road, Thormanby Island, BC

Cover

1/4" = 1'-0"

2019-09-27 9:05:40 PM

175m

DUP + SP

A000

TOPOGRAPHIC PLAN OF LOT 3, BLOCK A, DL 1017, PLAN 10306.



LOCATION 440 VULCROFT ROAD, THORMAHBY ISLAND, BC
P.O. 009-614-649

NOTE:

THIS PLAN IS FOR PRELIMINARY DESIGN PURPOSES ONLY. FINAL BUILDING LOCATIONS MUST BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION.

DISTANCES ARE IN METRES.

CONTOURS ARE IN 1 METRE INTERVALS.

ELEVATIONS ARE REFERENCED TO CHART DATUM.

ELEVATIONS ARE IN METRES.

CHART DATUM WAS OBTAINED BY APPLYING A 3.07m SHIFT TO GEODETIC ELEVATIONS. SHIFT WAS PROVIDED BY GENSE INC., HYDROGRAPHER, CANADIAN HYDROGRAPHIC SERVICES.

GEODETIC ELEVATIONS ARE DERIVED FROM DUAL FREQUENCY RTK SHOTS TIED WITH REAL TIME CONNECTIONS FROM THE CAN-NET RTK.

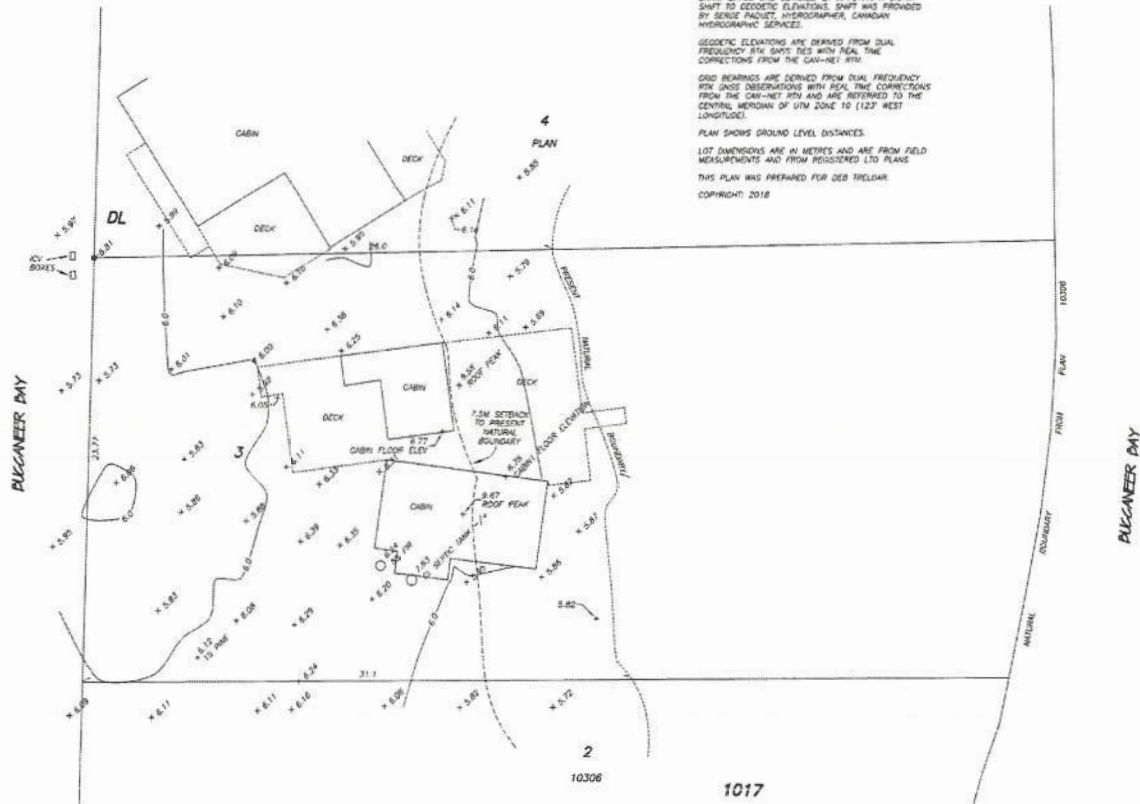
GRID BEARINGS ARE DERIVED FROM DUAL FREQUENCY RTK GNS OBSERVATIONS WITH REAL TIME CORRECTIONS FROM THE CAN-NET RTK AND ARE REFERRED TO THE CENTRAL MERIDIAN OF UTM ZONE 10 (12° WEST LONGITUDE).

PLAN SHOWS GROUND LEVEL DISTANCES.

LOT DIMENSIONS ARE IN METRES AND ARE FROM FIELD MEASUREMENTS AND FROM PROPOSED LTO PLANS.

THIS PLAN WAS PREPARED FOR DEB TRELOAR.

COPYRIGHT 2018



LEGEND:

- DENOTES A STANDARD IRON POST FOUND
- DENOTES GROUND ELEVATION

Treloar Family Cabin

3870th Street, Thormahby Island, BC

Survey

2018-06-27 9:05:50 PM

17104

DVP - GP

REVISED:
OCTOBER 10, 2018
OCTOBER 4, 2018
STANT LAND SURVEYING INC.
SEANUS POPE, BCLS
BOX 61 (5669 DOLPHIN ST)
SECHON, BC V5N 3A0
T. 804.885.3227
16088-608

A004



Johns Hopkins Univ., Baltimore, MD

Site Plan - Proposed

 $1.8^{\circ} \pm 1.4^{\circ}$

118° ± 1.4°

15-06-27 2:05:58 PM

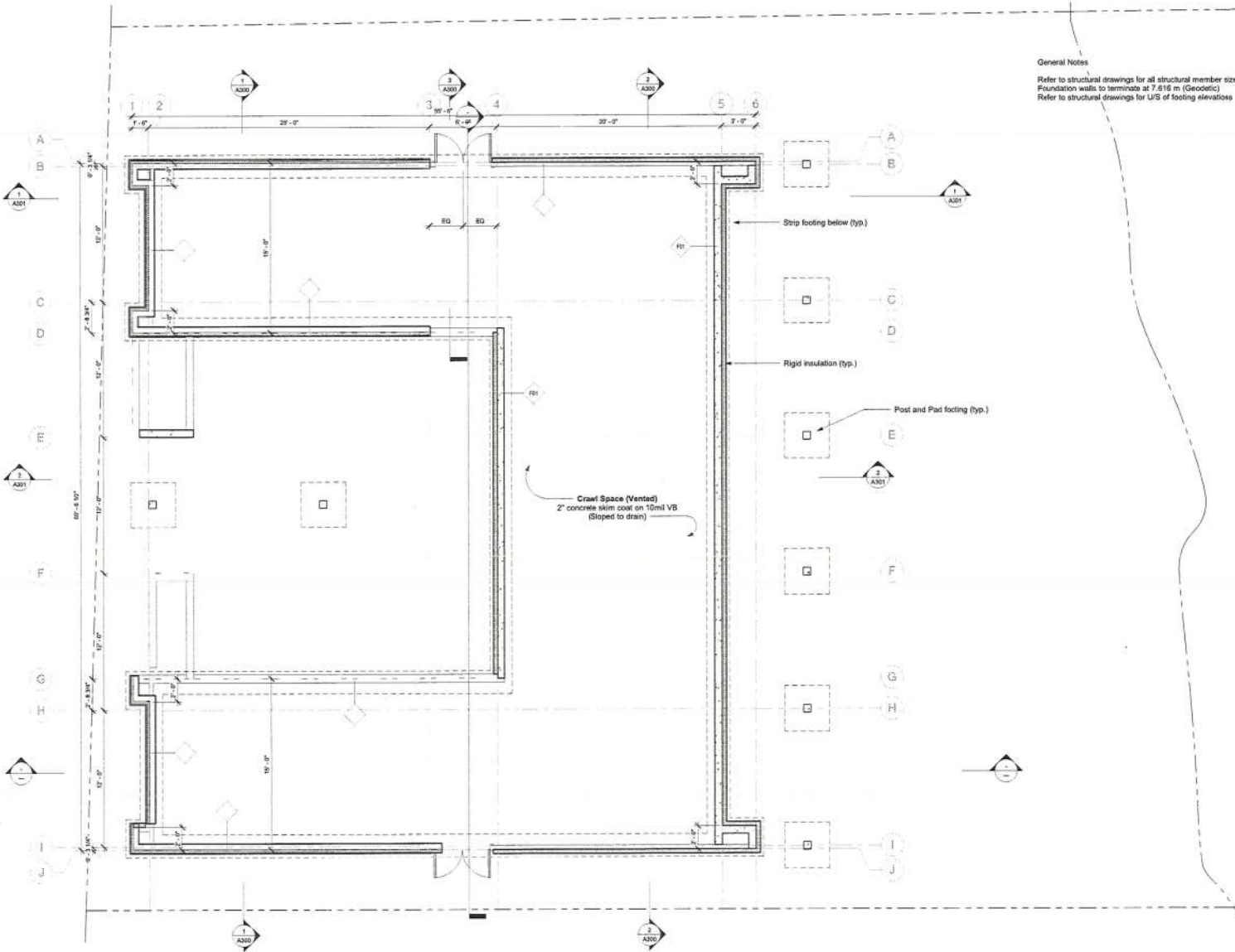
1724

$$Q_{\text{NP}} = Q_{\text{P}}$$

 A006

General Notes

Refer to structural drawings for all structural member sizes, spacing & spans
Foundation walls to terminate at 7.616 m (Geodetic)
Refer to structural drawings for L/S of footing elevations



Treloar Family Cabin

281/Stroud Road, Stroud, NSW 2811

Foundation Plan

As indicated
2019-06-27 3:05:59 PM
1704
DVP - BP

A100

August 12, 2016
Project No.: WG2-0519

Debra Treloar
2942 W 31st Ave
Vancouver, British Columbia
t: 604.785.2942 e: treload.d@gmail.com

Re: GEOTECHNICAL ASSESSMENT
Lot 3 Vaucroft Road, Thormanby Island, British Columbia

Western Geotechnical Consultants Ltd. (WGC) is pleased to present this geotechnical assessment for the above listed property. The intent of this document is to provide the client and other key stakeholders with the information required for the planning and construction of the proposed residential dwelling and subsequent development on the subject site.

We trust this report contains the relevant information required for project continuation at this time. Should you require further information, please do not hesitate to contact our office.

Sincerely,
Western Geotechnical Consultants Ltd.



Richard Creagan BSc.
Engineering Technician



Benjamin A. Smale PEng BEng
Principal | Geotechnical Engineer

British Columbia Locations:
Abbotsford, Burnaby, Sechelt,
Surrey (Head Office), and Squamish.

Alberta Locations:
Calgary



GEOTECHNICAL

GEOLOGICAL

GEOENVIRONMENTAL

August 12, 2016
Project No.: WG2-0519

Debra Treloar
2942 W 31st Ave
Vancouver, British Columbia
t: 604.785.2942 e: treload.d@gmail.com

GEOTECHNICAL ASSESSMENT

Lot 3 Vaucroft Road, Thormanby Island, British Columbia

Submitted By: Richard Creagan BSc

Western Geotechnical Consultants Ltd.
#1877 Field Road (PO Box 624)
Sechelt, BC V0N 3A0
T. 604.866.9438
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Abbotsford, Burnaby, Sechelt,
Surrey (Head Office), and Squamish.

Alberta Locations:
Calgary



GEOTECHNICAL

GEOLOGICAL

GEOENVIRONMENTAL

Contact: #4-1877 Field Road, Sechelt B.C. V0N 3A1 | t. 604.740.0920 | f. 604.385.4245 | e. email@westerngeo.ca | www.westerngeo.ca



EXECUTIVE SUMMARY

Based on the findings of this geotechnical investigation the subject site is prone to the *Inundation by Flood Waters*. ***The proposed subject site may be considered safe for new development considering the information in this report is followed as provided.***

The subject site does not fall within any specific development permit areas (DPA). WGC conducted an investigation into the potential oceanic flooding hazard on the subject site. The analysis performed for the subject site produced a minimum 1:100 year FCL of 2.5 m above the current HHWLT. Permanently habitable structures should be carefully sited with respect to the foreshore environment, and should be set a minimum of 2.5 m above the HHWLT.

The subject site was surveyed on July 19, 2016. The top of the southwest footing had an elevation of 1.4 m above HHWLT. Any proposed permanently habitable structure on the subject site must be placed a minimum of 1.1 m above this elevation. The development of non-permanently habitable structures below the minimum FCL, such as decks, patios, staircases and other recreational structures should be designed with consideration for the effects of inundation by floodwaters and the structural implications of moisture ingress.

Foundation construction within the Vaucroft area of Thormanby Island is typically challenging for three reasons:

1. Sites are often located within the Vaucroft area are often situated within registered archeological zones, which limits the removal and transportation of material for shallow foundation construction.
2. Thormanby Island by nature is a remote site and requires expensive transportation of bulk materials such as concrete or soil for foundation installation.
3. The high water table within the Vaucroft beach reduces bearing capacity for shallow foundations, which can lead to undesirable settlement and damage to the dwelling.

In WGC's experience, it is generally favorable to use helical screw pile foundation units to support houses built in the Vaucroft area on Thormanby as it requires less ground disturbance, attenuates groundwater settlement issues, and requires substantially less barging to complete projects.



TABLE OF CONTENTS

1.0	INTRODUCTION	1
2.0	SCOPE.....	1
3.0	METHODOLOGY	1
4.0	SITE DESCRIPTION	2
4.1	Site Layout.....	2
4.2	Topography	2
4.3	Existing Structures and Proposed Development	2
4.4	Vegetation.....	2
4.5	Soil Stratigraphy	2
4.6	Surface Water and Runoff.....	3
4.7	Groundwater	3
4.8	Seismicity	3
5.0	GEOHAZARD ASSESSMENT	4
5.1	Risk Analysis	5
5.2	Oceanic Flooding.....	6
6.0	DISCUSSION AND RECOMMENDATIONS	7
6.1	Suitable Building Sites	7
6.2	Foundation Recommendations.....	7
6.3	Site Preparation	8
6.4	Site Drainage	8
6.5	Excavation/Trenching	9
6.6	Field Review	9
7.0	CONSTRAINTS AND LIMITATIONS	9
8.0	CLOSURE.....	11
9.0	REFERENCES	12

Appendix A - Project Drawings

Appendix B - Project Photographs

Appendix C - Standard Limitation



1.0 INTRODUCTION

Western Geotechnical Consultants Ltd. (WGC) has conducted a geotechnical assessment of Lot 3 Vaucroft Road, Thormanby Island, British Columbia. The purpose of this assessment was to identify the geotechnical parameters necessary to guide the proposed development of the subject site. This report was prepared in accordance with current geotechnical engineering practices and principles in British Columbia. This report was also prepared in accordance with the Sunshine Coast Regional District's building bylaws and development permit standards. All work performed for this project conforms to WGC's Organizational Quality Management Plan currently registered with the Association of Professional Engineers and Geoscientists of British Columbia.

2.0 SCOPE

The scope of work performed for this assessment included the following tasks:

1. A reconnaissance level site investigation to observe the current conditions at the site, including observations of foundation conditions and existing drainage conditions;
2. Surface and subsurface exploration consisting of hand probing, hand auger, and surficial observation methods;
3. Land survey to determine the suitable elevations for critical elements in respect to High High Water Large Tide (HHWLT);
4. A desktop review of the relevant available background information including published geologic maps, related subsurface information, and available survey data;
5. Evaluation and geotechnical engineering analysis of the collected data; and,
6. Preparation of this summary geotechnical report, which includes recommendations, design parameters, and conclusions of the geotechnical aspects of this project.

The scope of this geotechnical assessment did not include any items pertaining to any other engineering disciplines for this project. This investigation did not include any assessment of environmental hazards or contamination that may be present on or near the site. In addition, no testing or evaluation for the presence of sulphates or other corrosive materials was completed as part of this investigation.

3.0 METHODOLOGY

WGC conducted a reconnaissance level field investigation on July 6, 2016. The site investigation included a visual site profile investigation of notable features such as topography, bedrock conditions, soil stratigraphy, and vegetation characteristics. This investigation also included observations of drainage conditions on the subject site. Soil stratigraphy and groundwater characteristics were developed through a subsurface investigation involving the use of hand auger advanced near the area of proposed development. Hand probing and surficial observation methods were also used to gain an understanding of variations in subsurface conditions throughout the subject site.

A desktop study of the relevant available information was conducted following the field reconnaissance level site investigation. This study included the review of resources such as relevant geological maps,



land usage maps, and geotechnical survey maps to aid in determining site specific geotechnical parameters. In addition, this study included analyses utilizing the aforementioned geotechnical parameters to provide suitable recommendations to guide geohazard risk mitigation.

This report was prepared to summarize the results of the site investigation and desktop study. The intent of this report is to provide the client and contractor with the information required for a development permit application and to facilitate the development of the geotechnical aspects of this project. This report also includes recommendations for site preparation, foundation design, retaining wall design, earthworks, excavation, and drainage.

4.0 SITE DESCRIPTION

4.1 Site Layout

The subject site is a rectangular coastal parcel, 54 m long by 24 m wide, encompassing a total area of approximately 0.13 ha. Developed parcels to the north and south bind the subject site. Vaucroft Road binds the site to the west and the Strait of Georgia binds the site to the east. The subject site can be accessed via Vaucroft Road to the west.

4.2 Topography

The subject site is a slightly benched coastal lot. The parcel slopes from the western property line towards the east at an 80(H):1(V) ratio, extending 27 m. The subject site then transitions to the foreshore environment and location of a 0.6 m high revetment. The foreshore environment then extends towards the eastern property line at an 8(H):1(V) slope ratio.

4.3 Existing Structures and Proposed Development

The subject site contains an existing residential dwelling with dimensions of approximately 12 m by 25 m. It is WGC's understanding that the proposed work will consist of the demolition of the existing and development of a new single family dwelling. Associated landscaping modifications around the home are also anticipated in the proposed works.

4.4 Vegetation

The few examples of native vegetation that remain on the subject site consist of mature growth coniferous trees. The size and variety of these trees indicate second growth conditions. The remaining vegetation that exists on the subject site is predominately grasses with occasional bushes and shrubs.

The existing vegetation on the subject site appears to pose no reasonably conceivable geotechnical issues related to the development of the proposed lot. Care should be taken during demolition and site preparation to mitigate any potentially adverse effects of vegetative clearing.

4.5 Soil Stratigraphy

The subject site lies within the Cordilleran Ice Sheet Glacial Zone, and was affected by the various advances and retreats of its glaciers throughout the Quaternary (Clague, 1989). Thormanby Island is characteristic of the Quadra Sand deposit. The Quadra Sand is a late Pleistocene lithostratigraphic



unit. The unit consists of horizontally and cross-stratified, well sorted sand, minor silt, and gravel. (Clague, 1977)

During the field investigation, the soil stratigraphy observed on the subject site appears to corroborate the findings of the desktop study. Hand auger methods were advanced within the area of proposed development to a depth 1.2 m below surface. The soil stratigraphy consisted on a thin veneer of dark grey sand underlain by loose, well sorted beach sand, which extends to an unknown depth.

4.6 Surface Water and Runoff

Oceanic water was observed within the boundaries of the parcel in the near shore environment. The current height of the revetment is reducing the effects of storm and tidal influences. No excessive surface water or localized ponding was observed within the area of proposed development. Oceanic water has the potential to infiltrate the area of proposed development within the design life of the structure (100 years). The design of the structure should consider this potential hazard. Due to the permeability of the deposits found within the site investigation, it is unlikely that ponding would occur on the subject site. Surface water will most likely infiltrate the well drained sand deposits.

4.7 Groundwater

Groundwater behavior is controlled by local topography, vegetation, and the thickness of soil deposits characterizing a specific site. During the field investigation no traces of groundwater were observed. Due to the site's proximity to the Strait of Georgia and elevations in respect to High High Water Large Tide, the groundwater table is expected to frequent the design elevation. Groundwater has a notable impact on the bearing capacity for shallow footings. The effect of groundwater is a contributing factor to the foundation recommendations outlined within section 6.2 of this document. Any groundwater observed during the development of the parcel should be reported to the geotechnical engineer immediately.

4.8 Seismicity

In consideration of the soil stratigraphy found during the subsurface investigation, *Site Class 'D' – Stiff Soil*, is the most appropriate site classification in accordance with the 2012 BC Building Code. As with most sites in the area, the primary seismic hazard at the site is strong to severe ground shaking expected during a major earthquake event on one or more of the active faults in the region. As interpolated from the 2010 National Building Code Seismic Hazard Calculation, the following criteria apply for this location (Latitude 49.506965 N, Longitude -123.996049 W):

Peak Ground Acceleration: $PGA = 0.406\text{ g}$

Spectral Acceleration Response Values: $S_A(0.2)=0.842\text{g}$, $S_A(0.5)=0.594\text{g}$, $S_A(1.0)=0.319\text{g}$, $S_A(2.0)=0.168\text{g}$

Site Coefficients: $F_a = 1.1$, $F_v = 1.2$



It should be noted that the seismic design tool provided by the 2010 National Building Code of Canada considers only a *Site Class 'C' – Very Dense Soil and Soft Rock*, in determination of mapped acceleration parameters.

5.0 GEOHAZARD ASSESSMENT

The hazard assessment for the subject site has been principally based on the 1993 paper *Hazard Acceptability Thresholds for Development Approvals by Local Government* by Dr. Peter W. Cave (Cave Report), which is acknowledged throughout British Columbia as a defining document in hazard assessment. The Cave Report details eight distinct geotechnical hazards that may pose a risk to a development site. The eight hazards have been summarized in Table 1. A site is rarely subject to all eight hazards; however, depending on location, it may be at risk from any combination of the hazards listed below.

Table 1: Relevant geotechnical hazards.

Hazard	Definition
Inundation by Flood Waters	Characterized by an unusually large volume of water flowing in a channel, a portion of which may flow overbank. Floods are associated with other hazards such as channel erosion and avulsion.
Mountain Stream Erosion and Avulsion	Characterized by the lateral migration of a stream channel (erosion) and/or the abandonment of the channel course to occupy a different position on the alluvial fan (avulsion). This type of hazard may be associated with large flow events.
Debris Flows and Debris Torrents	A rapid, channelized, fluid transport of water saturated debris. A debris flow path can be divided into an initiation zone, a transport and erosion zone, and a deposition zone. Transport often initiates within steep gullies and is conveyed downslope at high velocity which can damage forests and human development.
Debris Floods	A large flood event associated with an unusually high amount of sediment movement consisting of coarse bed load material and organic material such as trees and logs.
Landslides, Small-Scale, Localized	The sudden and rapid or gradual and incremental downslope movement of soil, rock, and other weathered materials.
Snow Avalanche	The sudden and rapid downslope movement of snow and ice. Avalanches develop large amounts of kinetic energy, damaging anything in its path.
Rock Fall	The detachment of individual rock fragments from a steep slope and their gravitational downslope transport.
Landslides, Massive, Catastrophic	The sudden and rapid movement of unusually large amounts of soil, rock and other weathered materials.



5.1 Risk Analysis

The Cave Report describes the appropriate regulatory responses to development application for sites that may be susceptible to geohazards. The regulatory response for a specific site is based on the applicable geohazards, the expected return period of these hazards and the scope of the proposed development. The Approval Rating is quantified in a response range from 1 to 5, with corresponding Approval Responses provided below in Table 2.

Table 2: Hazard-related Responses to development approval applications.

Approval Rating	Approval Response
1	Approval without conditions relating to hazards.
2	Approval, without siting conditions or protective works conditions, but with a covenant including "save harmless" conditions.
3	Approval, but with siting requirements to avoid the hazard, or with requirements for protective works to mitigate the hazard.
4	Approval as (3) above, but with a covenant including "save harmless" conditions as well as siting conditions, protective works or both.
5	Not approvable.

WGC and the client discussed that the proposed of development is of a new single family residential dwelling. As per the Cave Report, the site was analyzed based on the criteria for *New Development*. Estimates of the annual return frequencies of site relevant geohazards and the appropriate approval responses to these probabilistic estimations are listed in Table 3.

Table 3: Estimated annual return frequency for geotechnical hazards.

Hazard	Return Frequency	Approval Rating
Inundation by Flood Waters	1:40 - 1:200	3
Mountain Stream Erosion/Avulsion	n/a	1
Debris Flows and Debris Torrents	n/a	1
Debris Floods	n/a	1
Landslides, Small-Scale, Localized	n/a	1
Snow Avalanche	n/a	1
Rock Fall	n/a	1
Landslides, Massive, Catastrophic	n/a	1

It is important to note that accurately defining annual return frequencies and probabilities of occurrence in terms of qualitative values is extremely complex. In accordance with standard geotechnical principles and practices, the estimation of these values is based on the observed site conditions, engineering judgment, and all the information available to WGC at the time the report was written. The estimated probabilities of occurrences are based on the estimated annual return frequencies described in the Cave Report.



Based on the proximity of the subject site to the Strait of Georgia, an approval rating of '3' is appropriate for *Inundation by Flood Waters*. The corresponding approval response requires all permanently habitable residential structures on the site to be constructed above a minimum flood construction level relative to HHWLT with consideration for storm surge, wave effect, regional adjustment due to isostatic rebound and global sea level rise.

5.2 Oceanic Flooding

The oceanic flooding hazard on the subject site is due to its proximity to the Strait of Georgia. Oceanic flooding can cause damage to permanent structures from water force and moisture. A minimum Flood Construction Level (FCL) must be established in the design of shoreline and structural components.

There are five primary parameters to consider when developing the minimum FCL required for the development of a coastal property: 1) Sea Level Rise; 2) Regional Adjustment; 3) Storm Surge; 4) Wave Effect; and, 5) Freeboard. The following provides a brief summary of how each of these affects construction considerations.

1. **Sea Level Rise:** The predicted regional sea level rise for coastal British Columbia equates to around 1.0 m for 100 years and 2.0 m for 200 years. In the area around the subject site, these predictions more closely approximate 0.8 m for 100 years (Bornhold, 2008). It is generally accepted that residential structures have a reasonable design life of less not exceeding 100 years, and structures older than 100 years generally have structural repair greater than 75 %, necessitating further professional engineering review and the reestablishment of the flood construction guidelines. Therefore, a vertical offset of 0.8 m above the current HHWLT can be considered acceptable for the subject site.
2. **Regional Adjustment:** Measurements for the minimum FCL are made based on the global HHWLT. This datum is not static with respect to the study area due to post-glacial rebound resulting in large-scale ground movement. Thus, as the ground level changes with respect to sea-level, an adjustment is required to account for this movement in the flood construction guidelines. Most areas of the Sunshine Coast are under post-glacial rebound (continental uplift) of 2.1 mm/yr. Over a 100 year return period, this equates to a conservative adjustment of 0.2 m below current HHWLT.
3. **Storm Surge:** Storm surge for the subject area can be considered 1.3 m above current HHWLT.
4. **Wave Effect:** Effective wave run-up for the subject site, with consideration for the reach provided by the Strait of Georgia to the site, can be conserved as 0.3 m above current HHWLT.
5. **Freeboard:** The Canadian standard of 0.3 m above current HHWLT, considering the uncertainty of the above measurements.

Summarizing the above components into a single FCL, any proposed permanently habitable structure on the subject site must be placed a minimum of 2.5 m above current HHWLT. This includes any internal porous structural or architectural components that may be subject to mold or water damage, such as, but not limited to: framing, ducting, insulation, drywall, and flooring. This does not include concrete foundation components, weather protected beams and columns or other resistant structural



elements that assist in raising the first habitable level of the structure. Exterior recreational components such as decks, patios, fences and retaining walls may be constructed below this elevation based on reasonable design and consideration to the near shore environment.

The subject site was surveyed on July 6, 2016. The top of the southwest footing of the existing residence has an elevation of 1.4 m above HHWLT. Any proposed permanently habitable structure on the subject site must be placed a minimum of 1.1 m above this elevation.

6.0 DISCUSSION AND RECOMMENDATIONS

6.1 Suitable Building Sites

The oceanic flooding hazard analysis performed for the subject site produced a minimum 1:100 year FCL of 2.5 m above the current HHWLT. Permanently habitable structures should be carefully sited with respect to the foreshore environment, and should be set a minimum of 2.5 m above the HHWLT.

The top of the southwest footing of the existing residence has an elevation of 1.4 m above HHWLT. Any proposed permanently habitable structure on the subject site must be placed a minimum of 1.1 m above this elevation. The development of non-permanently habitable structures below the minimum FCL, such as decks, patios, staircases and other recreational structures should be designed with consideration for the effects of inundation by floodwaters and the structural implications of moisture ingress.

6.2 Foundation Recommendations

Foundation construction within the Vaucroft area of Thormanby Island is typically challenging for three reasons:

4. Sites are often located within the Vaucroft area are often situated within registered archeological zones, which limits the removal and transportation of material for shallow foundation construction.
5. Thormanby Island by nature is a remote site and requires expensive transportation of bulk materials such as concrete or soil for foundation installation.
6. The high water table within the Vaucroft beach reduces bearing capacity for shallow foundations, which can lead to undesirable settlement and damage to the dwelling.

In WGC's experience, it is generally favorable to use helical screw pile foundation units to support houses built in the Vaucroft area on Thormanby as it requires less ground disturbance, attenuates groundwater settlement issues, and requires substantially less barging to complete projects.

In addition, anecdotes provided by local residents indicates that the site has previously experience the development of sink holes and damage of small portions of previous structures on the site. While such anecdotes should be treated with caution (as with most small communities, rumors around old sites on Thormanby can be proven to be either resoundingly true or false, sometimes both simultaneously), it is important to consider the possibility of a similar event occurring in the future. Since the soils below the subject site would be prone to sink hole development during adverse geotechnical conditions, and



because our investigation is limited in application due to the location of the site, it would be generally favorable to use a deep foundation type (such as screw piling) to drill through potentially troublesome sink hole areas.

Design of helical pile foundations requires an intricate understanding of many different structural and geotechnical engineering parameters. It is impractical to provide general design parameters for helical piles without simultaneously reviewing structural loading requirements. It is recommended that WGC be provided the opportunity to discuss the loading requirements and subsequent resistance values directly with the structural designer.

Generally, it is not typical construction in island communities to construct buildings with slab-on-grade floors. However, where designed, to minimize the chance of undesirable floor wetness, the required import fill beneath all non-structural, interior slab-on-grade components should consist of a minimum of 150 mm thick, 19 mm free draining gravel that serves as a capillary barrier between the subgrade material and the slab. An impermeable membrane should be placed over the gravel such as 7 mil polypropylene sheeting or an approved equivalent. The membrane should be covered with 50 mm of sand to protect it during construction and to mitigate any undesirable effects that the membrane may have on the curing properties of the concrete. Slabs should be appropriately reinforced according to structural requirements using reinforcing bar only, instead of wire mesh; concentrated loads and special conditions may require additional reinforcing. Any concentrated loads or special loading conditions may require additional reinforcing.

6.3 Site Preparation

As the first stage of development of the subject site involves the demolition of the existing exterior recreational structures and super structural elements followed by all existing hardscape and foundations. Temporary disconnection or re-location of the existing utilities may also be required, with new lateral connections installed at the completion of the work. All construction surfaces should be properly stripped as required to locally remove any surface vegetation and weeds that may be present, as well as all loose, soft, saturated and deleterious material to expose native soil.

Following any clearing that occurs, there may be requirements for erosion protection on the property to prevent erosion and deposition of fine materials in the sensitive foreshore habitat. Further details may be provided on this item during implementation of site clearing in a site specific manner to accommodate for material specific conditions. Water collected in the excavation during construction must be properly conveyed and discharged in accordance with local bylaws and environmental regulations.

6.4 Site Drainage

Perimeter drainage for helical screw pile type foundations is not explicitly required, especially where slab-on-grades are not utilized, as there is not requirement for reducing water level for either bearing capacity nor for undesirable floor wetness. In such case, following review of the proposed



development drawings, WGC may provide permission to omit perimeter drainage from the design as per Section 9 of the BC Building Code 2012.

All rainwater collected on the roof of the buildings should be transported through gutters, downspouts and closed (non-perforated) pipes and should similarly be conveyed to either appropriate discharge facilities or an approved ocean outfall location. T-fittings and riprap aprons should be used at any discharge points on natural ground to dissipate concentrated runoff, minimize erosion and disperse the flow of water.

6.5 Excavation/Trenching

Where excavation is required in depths of excess of 1.2 m, Work Safe BC guidelines for stable excavations should be closely adhered to. The geotechnical engineer should be notified in advance to review the excavation plan if Work Safe BC guidelines cannot be followed as a result of site restrictions.

6.6 Field Review

The conclusions and recommendations presented in this report are given with the understanding that this office will be retained to provide any required design consultations and to review the geotechnical engineering aspects of the final project plans, including all foundation and retaining wall plans as well as those required for site drainage installations. In addition, for the conditions in this report to be considered accurate, our office must be provided the opportunity to provide field inspections during construction, including, but not limited to:

- Demolition, site clearing, site preparation and grading;
- Temporary construction dewatering (if required);
- Site grading to meet flood protection requirements;
- Foundation installation;
- Compaction of engineered fill and backfill review; and,
- Drainage installation and permanent site dewatering.

Following any clearing that occurs, there may be requirements for erosion protection on the property to prevent deposition of fine materials in the sensitive foreshore habitat. Further details may be provided on this item during implementation of site clearing in a site specific manner to accommodate for slope and material specific conditions.

7.0 CONSTRAINTS AND LIMITATIONS

The recommendations in this report are provided on the assumption that the contractor will be suitably qualified and experienced to perform the proposed works. The analysis and recommendations submitted in this report are based in part on a reconnaissance level site investigation and on published subsurface data available at the time of the investigation. The nature and extent of variations across the site may not become evident until construction. If variations then become apparent that affect the work, it may become necessary to re-evaluate the recommendation of this report. In the event of



report revisions, additional funds may be required. Stratigraphic variations in ground conditions are expected due to the depositional nature of soils. As such, all explorations involve an inherent risk that some subsurface conditions will not be detected. It is the contractor's responsibility to notify this office in the case that unforeseen subsurface conditions are encountered during any stage of the proposed demolition and subsequent development of the subject site.

No other warranty, either expressed or implied, is made. If the project does not start within two years of the report date, the report may become invalid and further review may be required. This report has been prepared for the exclusive use of Debra Treloar and her "Approved Users". WGC and its employees accept no responsibility to any other party for loss or liability incurred as a result of use of this report. Any use of this report for purposes other than the intended should be approved in writing by WGC. Contractors should rely upon their own explorations for costing purposes.

This report is based on the information provided by the client and/or the client's consultant. WGC cannot accept responsibility for inaccuracies, misstatements, omissions and/or deficiencies in this report resulting from the sources of this information. This report assumes that WGC will be retained to review the geotechnical aspects of construction during the demolition and subsequent development of the lot.



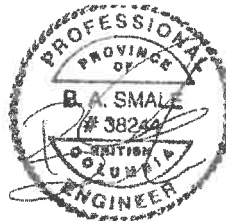
8.0 CLOSURE

We trust that the information provided in this report meets the project requirements at this time, and we appreciate the opportunity to be of service on this project. If you have any questions, concerns or comments regarding this report, please feel free to contact our office at your earliest convenience.

Best Regards,

Western Geotechnical Consultants Ltd.

Richard Creagan BSc
Engineering Technician



Benjamin A. Smale PEng BEng
Principal | Geotechnical Engineer



9.0 REFERENCES

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APPENDIX A

Project Drawings



SCRD Maps

Property Report

460 VAUCROFT RD

7/12/2016

Folio: 746.01660.000 **PID:** 009-414-649

Address: 460 VAUCROFT RD

Jurisdiction: SCR D

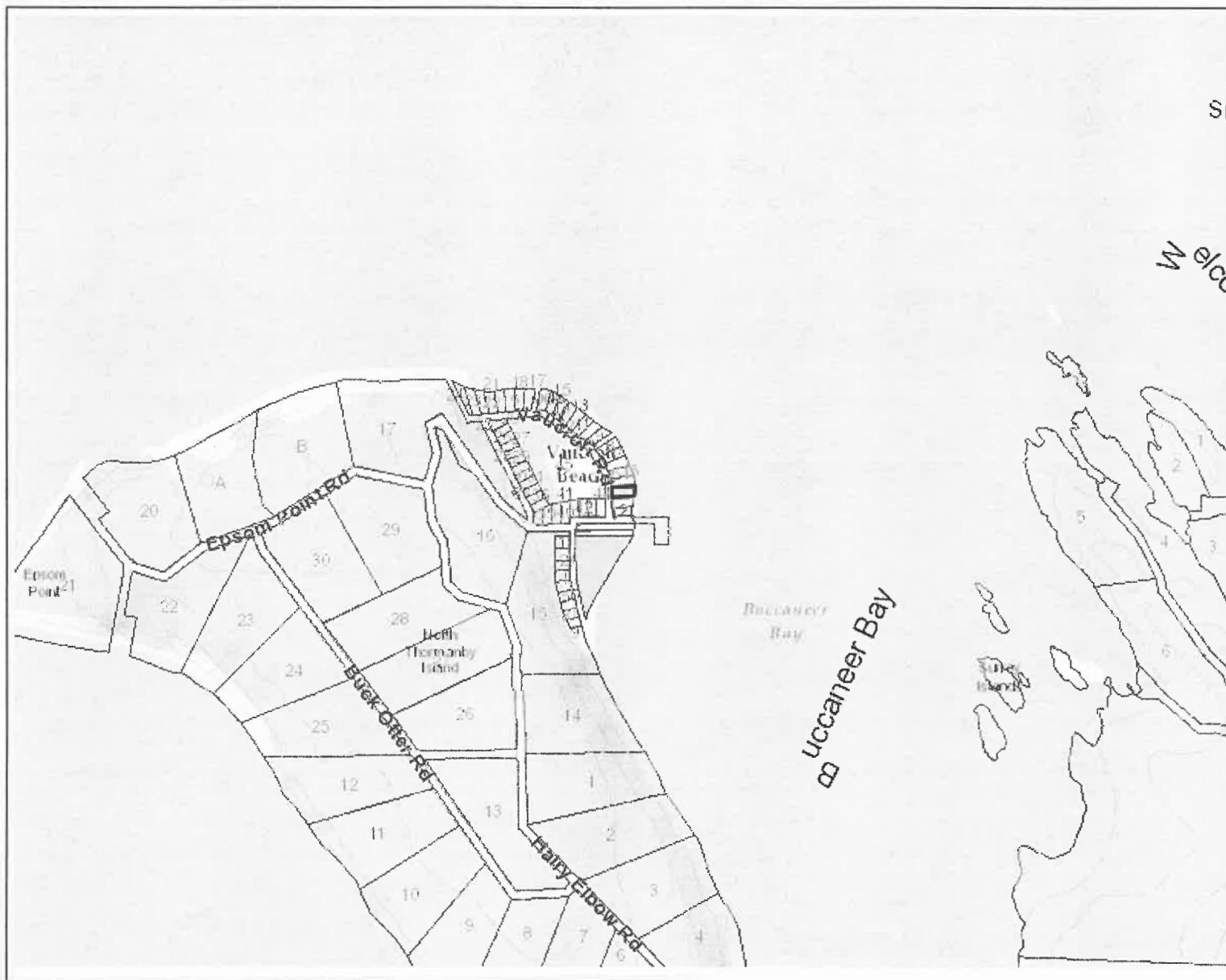
Lot: 3 **Block:** A **Plan:** VAP10306 **District Lot:** 1017

2015 Assessed Value: 870000 **Land Value:** 833000 **Improvement Value:** 37000

Approximate Lot Size (BC Assessment): 14214 SQUARE FEET



Vicinity Map



Legend

- Parcels
- Jurisdiction
- Golf Courses
- Parks**
 - SCRD Park
 - Other Parks
 - Cemetery

1,067.8 0 533.90 1,067.8 Meters

This information has been compiled by the Sunshine Coast Regional District (SCRD) using data derived from a number of sources with varying levels of accuracy. The SCRD disclaims all responsibility for the accuracy or completeness of this information.

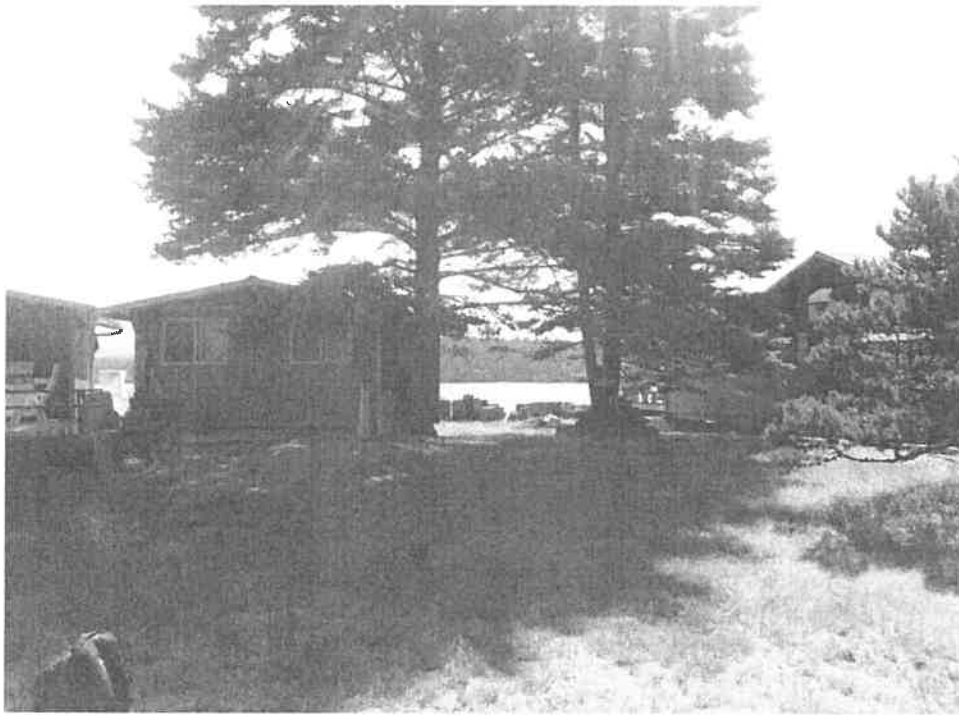


7/12/2016
1: 21,020



APPENDIX B

Project Photographs



Photograph 1: Area of proposed development from west of the existing residence.



Photograph 2: View of the existing residence from the east.



Photograph 3: Breakwater structure found east of the area of proposed development.



Photograph 4: Hand auger depth of sand deposits within the area of proposed development.



APPENDIX C

Standard Limitations

STANDARD LIMITATIONS



1. **General:** *Western Geotechnical Consultants Ltd. (WESTERNGEO)* shall render the Services, as specified in the attached Scope of Services, to the client for this Project in accordance with the following terms of engagement. WESTERNGEO may, at its discretion and at any stage, engage sub-consultants to perform all or any part of the Services.
2. **Representatives:** Each party shall designate a representative who is authorized to act on behalf of that party and receive notices under this Agreement.
3. **Authorization to Proceed:** Ordering of work over the telephone or by written instructions will serve as authorization for WESTERNGEO to proceed with the services called for in this proposal and agreement with the terms. This Agreement, including attachments incorporated herein by reference, represents the entire agreement between WESTERNGEO and Client. This Agreement may be altered only by written instrument signed by authorized representatives of both Client and WESTERNGEO.
4. **Extent of Agreement:** Work beyond the scope of services or redoing any part of the project through no fault of WESTERNGEO, shall constitute extra work and shall be paid for on a time-and-materials basis in addition to any other payment provided for in this Agreement. If, during the course of performance of this Agreement, conditions or circumstances are discovered which were not contemplated by WESTERNGEO at the commencement of this Agreement, WESTERNGEO shall notify Client in writing of the newly discovered conditions or circumstances, and Client and WESTERNGEO shall renegotiate, in good faith, the terms and conditions of this Agreement.
5. **Compensation:** Charges for the Services rendered will be made in accordance with WESTERNGEO Schedule of Fees and Disbursements in effect from time the services are rendered. WESTERNGEO Schedule of Fees and Disbursements are included in WESTERNGEO Budget Estimate. All charges will be payable in Canadian Dollars. WESTERNGEO shall invoice the Client on a monthly basis for the services performed under this Agreement and shall provide a monthly summary of costs to date. The Client shall pay such invoice upon receipt. Invoices not paid within thirty (30) days of the invoice date shall be subject to a late payment charge of 1.5 percent per month (18% per annum) from date of billing until paid. The invoice amounts shall be presumed to be correct unless Client notifies WESTERNGEO in writing within fourteen (14) days of receipt. Overdue accounts over 90 days will be forwarded to a collections agency.
6. **Probable Costs:** WESTERNGEO does not guarantee the accuracy of probable costs for providing Engineering Services. Such probable costs represent only WESTERNGEO *judWesternGeont* as a Professional and are supplied only for the general guidance of the Client.
7. **Standard of Care:** WESTERNGEO shall perform its services in a manner consistent with the standard of care and skill ordinarily exercised by members of the profession practicing under similar conditions in the geographic vicinity and at the time the services are performed. This Agreement neither makes nor intends a warranty or guarantee, expressed or implied.
8. **Indemnity:** Client waives any claim against WESTERNGEO, its officers, employees and agents and agrees to defend, indemnify, protect and hold harmless WESTERNGEO and its officers, employees and agents from any and all claims, liabilities, damages or expenses, including but not limited to delay of the project, reduction of property value, fear of or actual exposure to or release of toxic or hazardous substances, and any consequential damages of whatever nature, which may arise directly or indirectly, to any party, as a result of the services provided by WESTERNGEO under this Agreement, unless such injury or loss is caused by the sole negligence of WESTERNGEO.
9. **Limitation of Liability:** Client agrees to limit WESTERNGEO and its officers, employees, and agents liability due to professional negligence and to any liability arising out of or relating to this Agreement to Fifty Thousand Dollars (\$50,000) or the amount of WESTERNGEO fee, whichever is less. This limit applies to all services on this project, whether provided under this or subsequent agreements, unless modified in writing, agreed to and signed by authorized representatives of the parties. No claims may be brought against WESTERNGEO in contract or tort more than two (2) years after Services were completed or terminated under this engagement. Note: WESTERNGEO will not be responsible for water ingress related problems as our insurance policy contains an Absolute Water Ingress Exclusion.
10. **Additional Limits:** For special projects, higher liability limits are available from our underwriter for an additional fee.
11. **Insurance:** WESTERNGEO warrants it is protected by WorkSafe BC Insurance, General Liability Insurance, Professional Errors and Omissions Insurance, and Automobile Liability Insurance. Certificates for such policies of insurance shall be provided to the Client upon request.
12. **Responsibility:** WESTERNGEO is not responsible for the completion or quality of work that is dependent upon or performed by the Client or third parties not under the direct control of WESTERNGEO, nor is WESTERNGEO responsible for their acts or omissions or for any damages resulting therefrom. WESTERNGEO shall not be responsible for:
 - a. The failure of a contractor, retained by the Client, to perform the work required for the Project in accordance with the applicable contract documents;
 - b. The design of or defects in equipment supplied or provided by the Client for incorporation into the Project
 - c. Any cross-contamination resulting from subsurface investigations;
 - d. Any damage to subsurface structures and utilities which were identified and located by the Client;
 - e. Any Project decisions made by the Client if the decisions were made without consultation of WESTERNGEO or contrary to or inconsistent with WESTERNGEO recommendations;
 - f. Any consequential loss, injury, or damages suffered by the Client, including but not limited to loss of use, earnings, and business interruption; and,

STANDARD LIMITATIONS



- g. The unauthorized distribution of any document or report prepared by or on behalf of WESTERNGEO for the exclusive use of the Client.
- 13. Exclusive Use:** Services provided under this Agreement, including all reports, information or recommendations prepared or issued by WESTERNGEO, are instruments of service for the execution of the Project. WESTERNGEO retains the property and copyright in these documents, whether the Project is executed or not. No other use of these documents is authorized under this Agreement without the prior written agreement of WESTERNGEO.
- 14. Samples:** All non-consumed samples shall remain the property of the Client, and Client shall be responsible for and promptly pay for the removal and lawful disposal of samples, cuttings and hazardous materials, unless otherwise agreed in writing. If appropriate, WESTERNGEO shall preserve samples obtained for the project for not longer than thirty (30) days after the issuance of any document that includes the data obtained from those samples.
- 15. Environmental:** WESTERNGEO's field investigation, laboratory testing and engineering recommendations will not address or evaluate pollution of air, soil and/or groundwater, unless otherwise specifically listed in the attached Scope of Services. WESTERNGEO will co-operate with the Client's environmental consultant during field work phase of the investigation.
- 16. Field Services:** Where applicable, field services recommended for the Project are the minimum necessary, in the sole discretion of WESTERNGEO, to review whether the work of a contractor retained by the client is being carried out in general conformity with the intent of the Services. Any reduction from the level of services recommended will result in WESTERNGEO not providing qualified certifications for the work.
- 17. Termination:** This Agreement may be terminated by either party upon ten (10) days written notice to the other. In the event of a termination, the Client shall pay for all reasonable charges for work performed and demobilization by WESTERNGEO to the date of notice of termination. The limitation of liability and indemnity obligations of this Agreement shall be binding notwithstanding any termination of this Agreement.
- 18. Dispute Resolution:** If requested in writing by either the Client or WESTERNGEO, the Client and WESTERNGEO shall attempt to resolve any dispute between them arising out of or in connection with this Agreement by entering into structured, non-binding negotiations with the assistance of a mediator on a without prejudice basis. The mediator shall be appointed by agreement of the parties. If a dispute cannot be settled within a period of thirty (30) calendar days with the mediator, the dispute shall be referred to and finally resolved by arbitration under the rules of British Columbia or by an arbitrator appointed by agreement of the parties or by reference to a Judge of the Supreme Court of British Columbia.
- 19. Governing Law:** This Agreement is governed by the law British Columbia, and any litigation shall be brought and tried in, the judicial jurisdiction of the WESTERNGEO office that entered this Agreement, as stated herein.
- 20. Non-Solicitation:** The Client agrees they shall not recruit for employment or hire any WESTERNGEO employees who provide services pursuant to this Agreement during the term of this Agreement and for a period of one (1) year following its termination.

[REDACTED]
Vancouver, BC, V6L 2A4

January 13, 2020

Amendment to previous letter of Sept 1, 2018

In consultation with Jaime Dubyna, planner with Islands Trust, we have made some changes to our building and request for variances. This amendment will address the changes to the original letter September 1, 2018.

After much discussion with Ms. Dubyna we have decided against renovating our existing building that goes into the 25 foot set back area from the HHTWL. Instead of asking for a variance to keep that structure we have decided to build a new building behind the setback and start fresh following the by-law requiring this. We are asking to keep the present deck/platform that we have in the setback area as this acts as our access onto the beach and is one of the features that our family treasures in our present cabin. The front 25 feet is not flat but an undulating surface and the deck basically levels this surface and has allowed access to the stairs that go down off the front platform off the deck.

We have requested a variance to go to a 0 foot setback to the lot line abutting Thormanby Road. We now have a permit from the MOTI allowing this from their point of view. As explained in the previous letter, the owners of Lot 3-8 tried to acquire land from the MOTI by having the 50 foot road allotment designated as a laneway giving us the ability to own an extra 30-35 feet. While the MOTI was sympathetic to the difficulties we face with building on our lots they did not feel they could make the change as the process would be too costly and unwieldy but instead they would be willing to look at changing setbacks.

Since the letter of Sept 1/18 Ms. Dubyna and I have had much discussion around the concept of making our building 2 stories to decrease the footprint. I have presented photos and explained that for the people in the back row the impact of having 2 story buildings on the front row is great. It has changed their view of the water markedly and has not been appreciated. We consulted with many of our neighbours all of whom asked us not to go to 2 stories but to keep the building as low as we could. We have taken this into consideration with the design of our build.

If further clarity is needed on any of these requests please feel free to contact me.

Sincerely,

[REDACTED]
Deb Treloar.
[REDACTED]

[REDACTED]
Vancouver, BC,
V6L 2A4

Sept 1, 2018



To whom it may concern,

We are requesting a development variance permit for our recreational property, Lot 3, Vaucroft on Thormanby Island. We are requesting the variance because of various factors that limit our ability to build a cabin that multiple generations of our family can enjoy together but in a way that respects and considers the people around us.

In November of 1971 there was a major subsidence that occurred affecting Lots 3, 4, 5 and slightly into 6. A major portion of our lot was lost. At that time various community initiatives were looked at to compensate the owners for their loss but none were ever passed unanimously. Due to these circumstances for a number of years the size of building allowed was determined from the original lot size. Last year the owners of lots 3-7 applied to the Highways Ministry to buy 30-35 feet of the highways land at the back of our properties to enlarge our lots to make it easier to comply with the bylaws for building. In the end the Ministry decided that although there would never be a highway on the land that it was too complicated to go through with a sale of the property but they would be open to having variances on the land instead.

In designing our renovation and addition we wanted to be able to keep part of an existing 520 square foot building that we presently use as our main cabin with 2 bedrooms, a bathroom, a kitchen and living area, as part of the plan to allow us to have room for a living area, dining and kitchen area, bedrooms, bathrooms, storage and an office all on one floor. Keeping a low profile is very important to us as we understand and appreciate the impact of a 2 story building in the front row of cabins on the people with cabins at the back of Vaucroft. Over the past few years, four 2 story cabins have been built which has really changed the sight lines to the water for the cabins behind them. We have also spent the last 18 years in this building and if we can keep part of the building it is important to us.

Another consideration for us in designing our addition was the encroachment of our neighbours' deck to the north of us onto our lot and the proximity of their building to our lot line. We value our relationship with these neighbours and have done our best to create enough space to allow easy access between buildings but this again meant we were unable to use the full lot that we are allowed to use.

We are requesting the zero variance on our rear lot line to allow our engineered septic system to be built and to allow a slight encroachment by our addition. We are

requesting that our present building and deck at the front be allowed to stay as they are in the 25 foot set back from the HHWLT.

We have consulted with our immediate neighbours as well as numerous members of the community and have received support and encouragement from those we have talked to. We have been given support from the neighbours to the north and south of us as well as those at the back or west of us who our building would impact. Everyone is aware that we have done our best to try and consider the impact of our building on our neighbours' sight lines and they have expressed appreciation for that.

We are keen to have an independent water collection system and to run on solar power to limit our environmental impact.

I hope this gives some clarity on our situation. If you have any other questions please feel free to contact me.

Regards,

Deb Treloar





front of present cabin



back view of present cabin



view of 2 story cabins



impact of view from back row of front row 2 story cabins

From: DAVID BULLUS [REDACTED]
Sent: Wednesday, August 8, 2018 10:11 AM
To: northinfo <northinfo@islandstrust.bc.ca>
Cc: Bill treloar [REDACTED]
Subject: Application for renovation Lot 3, Plan 10306. Vaucroft , North Thormanby

This is a letter of support for the application made by Deb and Bill Treloar for the renovation of their beach cabin at Vaucroft.

In the past, many new cabins have been built as two storey homes that cover much of the lot. The Treloar's proposal, however, keeps the roof profile low and sets the building on the lot as you would expect for a beach cabin. The look of the new building matches the original building in roof pitch and materials.

As co-owners of lot 35, we will look directly at this project and are appreciative of the efforts of the Treloar's to fit into the community We are very supportive of this project.

Regards

David and Nancy Bullus
Lot 35, Vaucroft

Sent from my iPad

To whom it may concern,

I am one of three trustees for the Vaucroft Improvement District on North Thormanby Island. My wife and I have been owners on Thormanby for over 20 years and are active members of the community. I am writing this note in support of the Treloar's application to build on their property on Lot 3.

Bill and Deb Treloar are well-liked long time members of our Vaucroft community. They have been working on the process of building a new cabin for 2 years and have thoughtfully asked for input from their neighbours and various people in the community to ensure that they were sensitive to peoples' concerns. They expressed their concern to me about the height of their building and the impact that would have on the people behind them and were looking at ways to keep it low profile. At present they have 2 very small cabins on their property and it is obvious with their growing family that they are often stretched to accommodate all of them at the same time. Thormanby is a very special place for all of us and we look forward to spending time with our families and mixing with all the generations in the community. It is understandable that the Treloar's would want to build a place where their family can gather and enjoy.

I am fully supportive of their application to build on their property and appreciate their consideration of those around them in designing their building. I wish all of our neighbours that have built over the past 10 years had undertaken as thoughtful a process of community sharing and listening as the Treloars have.

Sincerely,

Steven Rechtschaffner
Chairman and Trustee of the Vaucroft Improvement District (VID)

From: Debra Treloar [REDACTED]
Sent: Friday, January 17, 2020 3:35 PM
To: Jaime Dubyna
Subject: Fwd: letter of support

Hi Jaime,
The attached is a letter of support from one of our neighbours, Errin Poyner. She and her brothers and sister are the owners of the cabin to the south of us.
Can you include this in our package as well please. Thank you.
Have a good weekend.
Deb

Deb Treloar
Physiotherapist
BSR, FCAMPT
[REDACTED]

Begin forwarded message:

From: Errin Poyner [REDACTED]
Subject: RE: letter of support
Date: January 15, 2020 at 12:02:29 PM PST
To: 'Debra Treloar' [REDACTED]

Hi Deb,

I'm happy to provide a note of support in relation to your new cabin.

You've shown me your building plans and I am satisfied that your new cabin will not unduly impede our view or that of our neighbours. I appreciate that you wish to maximize the space that you have available to accommodate your growing family, as we all do. While I'm fond of your existing cabin (as it is a "Thormanby original") it seems to have outlived its purpose and is ready for a refresh. I believe that the community only benefits from the upgrading of our more elderly structures, and yours would fall into that category.

I hope this assists you and Bill. Please don't hesitate to let me know if anything further is required.

Yours truly,

Errin

From: Graham Maclean [REDACTED]
Sent: Monday, January 20, 2020 1:11 PM
To: Jaime Dubyna
Cc: Debra Treloar
Subject: north thormanby island DVP application GM-DVP-2018.2 Treloar

Good morning

My wife (Kathleen)and myself are owners of Lot 5 Vaucroft on Thormanby Island and have been since 1989 . I have served terms as a Trustee on VID for approximately 9 years during our ownership and presently am on the Fire Safety Committee helping instruct our community on fire safety

My wife and I totally support the Treloar's DPV application and their plans for their new house ----in fact our whole family does (3 adult children---one who has also been a trustee)

The necessity for these applications for variances has been brought about by a sudden dramatic loss of land in 1972 caused partly by non -authorized groins further up the beach (Golder Brawner report 1973 .) not natural erosion but an overnight event)---without this dramatic loss of land these variances would not be required .

Vaucroft is a community ----in the most part people help and look out for each other . Many of us long time owners have kids and grandkids and there is a need for a bit more space and in the meantime being able to make the house more environmentally friendly(and safer) ----use less water(we are on an artesian well collectively) ---solar power ---better septic tanks --not relying on gas lights . To deny the ability to improve would possibly deny the ability for a multi generation use of the property ----our kids have grown up together in the summer and now the grandkids are doing the same.!

Thank you for your time and appreciate your consideration .

Regards

Graham and Kathleen Maclean

From: Dan Walsh [REDACTED]
Sent: Monday, January 20, 2020 4:24 PM
To: Jaime Dubyna
Cc: Treloar Debra
Subject: GM -DVP-2018.2 Vaucroft Lot 3

Given the severe erosion of land experienced by the Treloar's cabin over time, I support the Development Variance Permit application to relax setbacks and the minor increase in lot coverage. This seems reasonable given the circumstances.

Daniel Walsh
Part Owner Lot 44 Vaucroft

Sent from my iPad

From: Jason Wubs [REDACTED]
Sent: Tuesday, January 21, 2020 8:40 AM
To: Jaime Dubyna
Cc: 'Jeff Wubs'; Carolyn Nichols; Matt Wubs
Subject: Proposed New Cabin for Lot #3 at VID - North Thormanby

Hi Jamie,

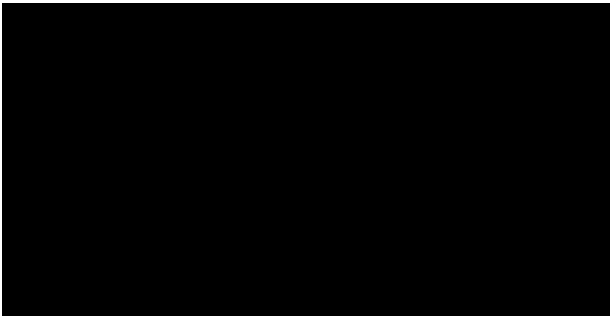
I'm sending you a quick note as I received a letter from Island's Trust regarding the proposal for Deb and Bill Treloar to build a new cabin on their existing lot at North Thormanby Island.

I'm writing to communicate our full support for the project; the draft drawings of the cabin look really good! Our property is a few lots to the west of Bill & Deb, Lot #8, our extended family has two other lots as well, Lots #6 & #7. I've cc'd them as I know they will offer full support of this project too.

Thank you,

Jason Wubs (& Matthew Wubs)

.....
Jason Wubs MBA



This e-mail message is confidential, for the exclusive use of the addressee. Any unauthorized disclosure, use or dissemination, either whole or partial, is prohibited. If you are not the intended recipient of the message, please notify the sender immediately by return e-mail.

File No.: 6500-20 (Keats Island
Shoreline Protection Project)

DATE OF MEETING: January 30, 2020
TO: Gambier Island Local Trust Committee
FROM: Jaime Dubyna, Planner 2
Northern Team
SUBJECT: Keats Islands Shoreline Protection Project 'Phase 2' – Update and Revised Project Charter

RECOMMENDATION

1. That the Gambier Island Local Trust Committee endorse the revised 'Keats Island Shoreline Protection Project Phase 2' Project Charter v.3 dated January 30, 2020.

REPORT SUMMARY

This staff report provides an update and introduces a revised Project Charter for 'Phase 2' of the Gambier Island Local Trust Committee (LTC) top-priority project, 'Keats Island Shoreline Protection'. Amendments have been made to the Budget, Objectives and Workplan Overview, which includes the project deliverables/milestones and (estimated) completion dates.

BACKGROUND

Foreshore protection and stewardship have been identified as a top priority in the Gambier Island Local Trust Area. For Keats Island, the LTC has expressed interest in exploring options to regulate docks and other foreshore development through a review and update to the existing Keats Island Official Community Plan (OCP) Bylaw No. 77 and Keats Island Land Use Bylaw No. 78 (LUB).

While community outreach and education and voluntary stewardship continue to be valuable tools for shoreline protection, the objectives and scope identified in the Project Charter (see Attachment 1) favour medium and high level protection measures for shoreline protection. An update to policies and regulations for increased shoreline protection aligns with Trust Council direction, provincial policies regarding updating flood protection levels and sea level rise, and would incorporate First Nations and community interests in protecting archaeological resources, sensitive ecosystems and species at risk.

'Phase 1' of the project initiated community consultation with the broader Keats Island community through a public survey and two community information meetings (CIM) in 2018. A summary of responses from the surveys and CIMs was provided in the [Staff Report](#) dated January 31, 2019.

'Phase 2' of the project has involved establishing a Working Group with the objective of providing advice and recommendations to the LTC on draft policy and regulation amendments. Staff are currently developing a summary of information to provide background on relevant topics identified by the Working Group. The summary is intended to provide some clarity to the Working Group on these topics prior to presenting any proposed changes to the OCP and LUB. To advance the project and achieve the proposed target dates, staff are proposing to conduct up to three more Working Group meetings, with the intent to share the Working Group's recommendations to the LTC at a regular business meeting in spring/summer 2020.

Staff have removed “consistency with Squamish Nation’s Marine Use Plan” from the project charter objectives, as staff have learned this document will not be publicly released. It is noted that there are other public resources developed in partnership with First Nations, specifically in Atl’ka7tsem/Howe Sound, that could inform the project.

Staff are in discussions with the Islands Trust’s Senior Intergovernmental Policy Advisor on opportunities to consult with First Nations in accordance with the [Reconciliation Declaration](#) adopted by Trust Council in 2019, and the [First Nations Engagement Principles Policy](#). It is noted that while the Workplan Overview and Budget does not reflect consultation beyond the referral process typically undertaken during bylaw development, further revisions to the project charter would be required should the LTC provide direction to do so.

Staff are recommending that additional broader community consultation beyond the legislated responsibilities in the *Local Government Act*, be removed from the ‘Phase 2’ deliverables. Staff are recommending that the project continue to focus on addressing shoreline protection by updating policies and regulations that align with Trust Council direction and provincial policies, and that address protection of archaeological resources, sensitive ecosystems and species at risk.

Rationale for Recommendation

Amendments to the project timeline were made to accommodate three additional Working Group meetings, to revise deliverables and dates, and to advance the project. See staff’s recommendation on Page 1 of the report.

ALTERNATIVES

1. Amend the project charter

The LTC may wish to consider amending the project charter. Recommended wording for the resolution is as follows:

That the Gambier Island Local Trust Committee request staff to amend the ‘Keats Island Shoreline Protection Phase 2’ project charter, timeline, ... [specific details to be provided by LTC].

NEXT STEPS

If the LTC concurs with staff’s recommendation, staff will proceed with the project as proposed.

Submitted By:	Jaime Dubyna Planner 2	January 10, 2020
Concurrence:	Heather Kauer, RPP, MCIP, AICP Regional Planning Manager	January 21, 2020

ATTACHMENTS

1. Attachment 1 – Revised Project Charter, dated January 30, 2020

Keats Island Shoreline Protection 'Phase 2' - Charter **DRAFT** v3

Gambier Island Local Trust Committee

Date: April 19, 2018 **Revised:** June 13, 2019; January 30, 2020

Purpose: To review and update relevant Official Community Plan (OCP) policies and Land Use Bylaw (LUB) regulations to strengthen opportunities for protection of archaeological resources, sensitive ecosystems, shoreline integrity and function, and public access on Keats Island.

Background: 'Phase 1' of the project involved community consultation to solicit input on policy, regulation and voluntary stewardship options to address shoreline protection on Keats Island. 'Phase 2' of the project is strongly aligned with Trust Council direction, provincial policy regarding updating flood protection levels and sea level rise, and First Nations and community interest in ensuring the OCP policies and LUB regulations are updated to allow for continue access to waterfront properties while protecting archaeological resources, sensitive ecosystems and species at risk.

Objectives

Conduct a comprehensive review of and update for OCP policies and LUB regulations to address:

- Sea level rise and flood protection;
- Protection of archaeological resources, sensitive ecosystems and species at risk;
- Consistency with AtI'ka7tsem/Howe Sound cumulative effects studies, conservation and marine use planning documents; ITC Regional Conservation Plan and Coastal Douglas-fir Ecosystem Protection Toolkit.

In Scope

1. Establish a Keats Island Shoreline Protection Working Group.
2. Review and update relevant OCP policies and schedules; LUB setback and flood protection levels; dock regulations; marine zones; flood protection bylaw.
3. Potentially develop a shoreline development permit area.
4. Minor 'housekeeping' bylaw amendments.

Out of Scope

- Green Shores for homes workshop.
- Impact current legal foreshore structures and docks.

Workplan Overview

Deliverable/Milestone	Date
LTC endorsed revised project charter and Working Group TOR.	June 2019
Appointments to Working Group.	June 2019
Working Group meetings – referral to review targeted topics.	July 2019 – ongoing
LTC review of staff and Working Group recommendations. Direction to draft bylaw language.	Spring/Summer 2020
Legal review. Draft bylaw(s) presented to LTC for review.	Fall 2020
Community consultation, early referrals of draft bylaw(s).	Winter 2020
Legislative process for proposed bylaw(s).	Winter 2020/ Spring 2021
Adoption of proposed bylaw(s) and communication materials.	Spring/Summer 2021

Project Team

Planner 2	Project Manager
Island Planner	Project Support
Islands Trust GIS Technician	Mapping Support
Islands Trust Admin. Staff	Administrative Support
RPM Approval: Heather Kauer Date: 21 Jan 2020	LTC Endorsement: Resolution #: Date:

Budget

Budget Sources:		
Fiscal	Item	Cost
2019-2020	Working Group meetings	\$200
2020-2021	Legal Review	\$3000*
2020-2021	Legislative Process (CIM, public hearing, advertising)	\$2000*
	Total (*pending approval)	\$5200*

	PROJECT CHARTER WORK PLAN OVERVIEW		
Meeting	Deliverable/Milestone	Target Date	Cost
LTC regular business meeting	Revised project charter to LTC for consideration; LTC provides direction.	January 30, 2020	n/a
Working Group meeting (phone)	Staff provide information on 'areas of focus' to Working Group for next meeting; SeaChange presentation and discussion.	February 2020	TBD
Working Group meeting (phone)	Staff present potential draft policy and regulation amendments to Working Group, in relation to 'areas of focus.'	March 2020	n/a
LTC regular business meeting	Staff provide update to LTC.	March 26, 2020	n/a
Working Group meeting (in person)	Staff and Working Group discuss potential draft policy and amendments, Working Group provides recommendations.	April 2020	\$200
LTC regular business meeting	Staff presents Working Group recommendations. LTC direction to draft bylaw language.	May 28, 2020	n/a
LTC regular business meeting	Staff present draft bylaw language, LTC direct staff to draft bylaws and proceed with legal review.	July 23, 2020	n/a
n/a	Legal review.	August/September 2020	Approx. \$2000 (pending approval)
LTC regular business meeting	Draft bylaws considered by LTC.	October 1, 2020/November 19, 2020	n/a
LTC meeting, CIM, public hearing, Executive Committee meeting	Legislative process – includes 1 st , 2 nd , 3 rd reading by LTC; referrals to agencies; Community Information Meeting and Public Hearing; Executive Committee review; referral to Ministry; etc.)	December 2020/January-March 2021	Approx. \$3000 (pending approval)
LTC regular business meeting	Adoption of proposed bylaws.	Spring 2021	n/a
TOTAL			\$5200 (pending approval)



MANAGED
FOREST COUNCIL

January 7, 2020

MLT Capital Corporation
65 Rogers Street
Vancouver, British Columbia V6A 3N2

Attn. Rob Errington

Dear Mr. Errington

Re: Rezoning /Zoning Variance of parcels DL2469 Blocks 5,12,15,16,28,29 and 30 on Gambier Island

The Managed Forest Council (the "Council"), in a letter to your attention dated September 11, 2019, rejected the inclusion of seven (7) parcels within MLT Capital Corporations("MLT") management commitment application dated April 18, 2019 on the basis that they did not meet the requirements of s. 9(1)(b) of the *Private Managed Forest Council Regulation*. Council's letter outlined its review of several background documents and its analysis for rejecting the inclusion of DL2469 Blocks 5,12,15,16,28,29 and 30 from your management commitment application.

On December 2, 2019 Paul Tingley submitted an e-mail request to our office asking Council the following question, "if a variance / or rezoning is approved to allow forestry to be carried out on these lots, will the Council then support the application?" In answer to this question, Council would support an amendment to include DL2469 Blocks 5,12,15,16,28,29, and 30 into Managed Forest 539 should the rezoning or a variance in the current zoning of these parcels allow MLT to satisfy s. 9(1)(b) of the *Private Managed Forest Land Council Regulation*.

Sincerely,

Rod L. Davis, PhD, PAg
Chair

cc. British Columbia Assessment Authority
Islands Trust
Paul Tingley

Islands Trust Conservancy Report to Local Trust Committees and Bowen Island Municipality October 2019

Regional Conservation Plan Updates

The science-based and community-informed Regional Conservation Plan guides the work the Islands Trust Conservancy (ITC). The ITC continues to work towards four long-term goals and 25 objectives that further conservation in the entire Trust Area. For more information, visit www.islandstrustconservancy.ca/media/84821/itc_2018-11_rcp-2018-2027-web_final.pdf.

Goal 1 – Science-based Conservation Planning

- The ITC Board held a special meeting to discuss the Climate Change Emergency and forwarded its recommendations to Trust Council.

Goal 2 – Strong relationships with First Nations

- The ITC Board adopted a reconciliation declaration at its July meeting and wrote to First Nations to share the Reconciliation Declaration which is available at www.islandstrustconservancy.ca/about-us/first-nations-and-reconciliation.

Goal 3 – Protection of core conservation areas

Property Management

- The ITC has completed management plans for three Nature Reserves (Thetis and Gambier) and is working on the completion of five more (Denman, Gambier, Lasqueti and Thetis).
- Property monitoring for all conservation covenants (including NAPTEP – Natural Area Protection Tax Exemption Program covenants) and nature reserves was completed.

Land Acquisition and Covenants

- The ITC successfully completed the transfer of the Salish View Nature Reserve on Lasqueti Island in partnership with the Lasqueti Island Nature Conservancy. See <http://www.islandstrustconservancy.ca/protected-places/places-protected-in-the-islands/all/lasqueti-island/salish-view-nature-reserve/> for more information.

Goal 4 – A strong voice for nature conservation

- The ITC Board gave final reading to Bylaw No. 2, the “Islands Trust Conservancy Meeting Procedures Bylaw, 2019.” The new bylaw reflects the ITC name change, allows for the election of a Vice Chair and adds reference to committee meetings. The Board also amended Policy 1.2 Islands Trust Conservancy Board and Committee Elections.
- The ITC Board elected Sue-Ellen Fast to serve as Vice-Chair for the ITC Board.
- The ITC Board approved the Audited Financial Statements for the 2018-2019 fiscal year at its July meeting. See www.islandstrustconservancy.ca/about-us/our-financials.
- The ITC Board and the Islands Trust Executive Committee met in July to discuss items of mutual interest.

Activities by Local Trust Area/Island Municipality

Ballenas-Winchelsea

Property monitoring on South Winchelsea Island has been completed for 2019.

Bowen

Property monitoring on Bowen has been completed for 2019.

Denman

Management planning for three nature reserves, including the Inner Island, Lindsay Dickson and Valens Brook Nature Reserves, is under way and an open house for community feedback was held in September. Property monitoring on Denman has been completed for 2019. Invasive species management activities continue at Inner Island, Lindsay Dickson, and Morrison Marsh nature reserves.

Gabriola

Expansion of the boardwalk over wet areas and exposed roots on the west side of the loop trail in Elder Cedar Nature Reserve has been completed and construction of a 93-ft boardwalk across a seasonally flooded section of trail in the northeast corner is planned for 2019. Property monitoring on Gabriola has been completed for 2019.

The ITC hosted a celebration event for the Swift Family Link Island NAPTEP Covenant at the Islands Trust Victoria Office. The event was attended by Islands Trust staff and ITC Board members and trustees and other staff were invited to attend remotely by GoTo Meeting.

Galiano

Trail maintenance is being planned for Vanilla Leaf Land Nature Reserve in partnership with the Galiano Conservancy Association. Invasive species removal and annual cormorant nest monitoring are being planned for Trincomali Nature Sanctuary in partnership with the Habitat Acquisition Trust. Property monitoring on Galiano has been completed for 2019.

Gambier

Management plans for Brigade Bay Bluffs and Long Bay Wetland nature reserves has been completed and the Management Plan for the Mount Artaban Nature Reserve is nearing completion. Completed management plans are available on the ITC website at <http://www.islandstrustconservancy.ca/protected-places/places-protected-in-the-islands/full-list/>. ITC is concurrently working on a parallel management planning process for areas of cultural heritage and sacred significance within its nature reserves.

Property monitoring on Gambier has been completed for 2019.

Please feel free to contact the Islands Trust Conservancy for more details.

Kate-Louise Stamford, Chair kstamford@islandstrust.bc.ca

Islands Trust Conservancy itcmail@islandstrust.bc.ca

Hornby

Property monitoring on Hornby has been completed for 2019.

Lasqueti

The ITC and the Lasqueti Island Nature Conservancy (LINC) completed the campaign for the Salish View Nature Reserve and the land has been transferred to the ITC. The ITC held a celebration event in July and an open house to inform management planning. Management planning continues and is anticipated to complete in early 2020.

Property monitoring on Lasqueti has been completed for 2019.

North Pender

Property monitoring on North Pender has been completed for 2019.

Salt Spring

The ITC Board considered and approved a conservation proposal for 200 Collins Road. ITC staff are working with the applicant to develop a conservation covenant for the property and will return to the ITC Board for final approval once the covenant language is finalized. Development of management plans for the Lower Mt. Erskine and Deep Ridge nature reserves is underway and public consultation will begin soon. ITC staff also participated in recent meeting for the Mount Tuam Special Management Area Resource Team.

Property monitoring on Salt Spring has been completed for 2019.

Saturna

Property monitoring on Saturna has been completed for 2019.

South Pender

Property monitoring on South Pender has been completed for 2019.

Thetis

Trail building on the Fairyslipper Forest Nature Reserve has begun and will continue into the new year. Property monitoring on Thetis has been completed for 2019.

Please feel free to contact the Islands Trust Conservancy for more details.

Kate-Louise Stamford, Chair kstamford@islandstrust.bc.ca

Islands Trust Conservancy itcmail@islandstrust.bc.ca



Islands Trust Conservancy Report to Local Trust Committees and Bowen Island Municipality November 2019

Islands Trust Conservancy New Board Member

Trustee Dr. Susan Hannon joined the Board November 2019. Susan Hannon is a retired Ecology Professor from University of Alberta, currently living on Salt Spring Island. Dr. Hannon's research expertise is in forest ecology, impacts of habitat fragmentation, forest birds and conservation. Active in her community, Dr. Hannon is a Commission Member for The Advisory Planning Commission for Islands Trust. She has also served on the boards of The Salt Spring Island Conservancy, The Nature Trust of BC, Bird Studies Canada, and the Garry Oak Ecosystem Recovery Team Society. Dr. Hannon has worked in land stewardship with private landowners, runs the nest box program on Salt Spring, worked in Garry oak ecosystem restoration and removal of invasive plants. She holds a Doctor of Philosophy in Ecology from the University of British Columbia.

Islands Trust Conservancy Staff Changes

Islands Trust Conservancy is pleased to welcome Kathryn Martell as the acting Ecosystem Protection Specialist, replacing Wayne Bourque.

Carla Funk is acting ITC Communications and Fundraising Specialist while Crystal Oberg is on education leave until August, 2020.

Goal 1 – Science-based Conservation Planning

Goal 2 – Strong relationships with First Nations

The Islands Trust Conservancy Board received a letter from Lyackson First Nation in regards to the Salish View Nature Reserve for information.

Goal 3 – Protection of core conservation areas

Property Management

Mt. Artaban Nature Reserve Management Plan

Islands Trust Conservancy Board approved the 2019 update of the Mount Artaban Nature Reserve Management Plan. The plan will be made available online once it is approved by the covenant holders.

Land Acquisition and Covenants

Covenant Modification Agreement – Woodwinds NAPTEP Covenant

The Islands Trust Conservancy Board agreed to modify the Woodwinds NAPTEP covenant on North Pender Island to address an existing septic field.

Goal 4 – A strong voice for nature conservation

1. Islands Trust Conservancy Board directed staff to consider including a Note Disclosure highlighting the importance of natural assets to the mandate of Islands Trust and the services they provide for island communities, starting with the current fiscal year's annual financial reporting.
2. Islands Trust Conservancy Co-Chair, Sue-Ellen Fast and three staff attended the biennial Land Trust Alliance of BC Seminar Series. The ITC Manager co-presented with the Coastal Douglas-fir and Associated Ecosystems Conservation Partnership (CDFCP) regarding the CDFCP conservation planning tool.
3. Staff provided an update to the ITC Board regarding the status of the website renewal project and the integration of the ITC website into the Islands Trust site.

Activities by Local Trust Area/Island Municipality

Gambier

The Islands Trust Conservancy Board approved the Mount Artaban Nature Reserve Management Plan.

The Islands Trust Conservancy Board reviewed the Public Acquisitions Report for information. Discussion ensued on the Sandy Beach acquisition history and current project details.

North Pender

Islands Trust Conservancy Board directed staff to write a letter to the North Pender Island Local Trust Committee describing concerns regarding potential long-term impacts of contaminated runoff, and alternative designs such as containment of any point source runoff or spills related to a Temporary Use Permit extension application adjacent to the Medicine Beach Nature Sanctuary.

Please feel free to contact the Islands Trust Conservancy for more details.

Kate-Louise Stamford, Chair kstamford@islandstrust.bc.ca

Islands Trust Conservancy itcmail@islandstrust.bc.ca



Development Variance Permit

File Number	Applicant Name	Date Received	Purpose
GM-DVP-2002.1	Land Plan Group Inc.	24-Jan-2002	PID: 014-385-694\nKeats Island - Keats Camp cottage lots - siting variances\nDL 696

Planner: Sonja Zupanec

Planning Status

Status Date: 10-Apr-2008

still on hold pending rezoning

Status Date: 13-Aug-2007

on hold pending rezoning application

Status Date: 16-May-2006

Met with applicant. Outstanding items forwarded for attention. May be add'l fees.

File Number	Applicant Name	Date Received	Purpose
GM-DVP-2018.2	Treloar, DEBRA	15-Oct-2018	PID: 009-414-649 Adding on to cabin, need to vary set backs Civic address: 460 Vaucroft Road, Thormanby Island, BC

Planner: Jaime Dubyna

Planning Status

Status Date: 08-Jan-2020

Copy of revised site plan received.

Status Date: 02-Jan-2020

Copy of MoTI Permit and revised topographic plan received.

Status Date: 17-Sep-2019

Revised site plans received.

**Applications****Rezoning**

File Number	Applicant Name	Date Received	Purpose
GM-RZ-2004.1	LandPlan Group Inc.	16-Jun-2004	PID: 014-385-694 Keats Island - Keats Camp rezoning application DL 696

Planner: Sonja Zupanec**Planning Status****Status Date:** 28-Dec-2018

Bylaw 143 given 1st, 2nd, 3rd readings and approved by Executive Committee. X-ref GM-SUB-2018.1 subdivision referral conditions. Applicant advised of next steps before bylaw can be adopted.

Status Date: 25-May-2017

CIM scheduled for July 27th to provide draft bylaw amendments to enable a comprehensive development zone; transfer LUC provisions and enable subdivision.

Status Date: 20-Apr-2017

Revised draft ToR for hydro.assessment sent to applicant for review.

File Number	Applicant Name	Date Received	Purpose
GM-RZ-2019.1	South Keats Investments Ltd.	16-Jan-2019	PID: 008-861-102 Civic address: 255 Esplanade Road, Keats Island, BC. LUB No. 78 Amendment

Planner: Bronwyn Sawyer**Planning Status****Status Date:** 10-Jul-2019

Applicant in process of providing staff with additional project details

Status Date: 24-Jun-2019

Planner review started

**Applications****Subdivision**

File Number	Applicant Name	Date Received	Purpose
GM-SUB-2018.1	Gambier Island Sea Ranch c/o Miller Thomson Planner: Sonja Zupanec	08-Nov-2018	PIDs: Various (29) Subdivision application - Gambier Island Sea Ranch
Planning Status			
Status Date: 31-Dec-2019 Referral response sent to MOTI and applicant. Several conditions listed for PLA which must be met prior to final subdivision approval.			
File Number	Applicant Name	Date Received	Purpose
GM-SUB-2018.2	CONVENTION OF BAPTIST CHURCHES OF BC Planner: Sonja Zupanec	14-Dec-2018	PID: 014-385-694 110 lot subdivision Civic address: 900 Keats Road, Gibsons, BC
Planning Status			
Status Date: 28-Dec-2018 Referral response sent to MOTI and applicant. Several conditions for PLA must be met prior to final subdivision approval.			
File Number	Applicant Name	Date Received	Purpose
GM-SUB-2019.1	G.L. Development Corp. Planner: Bronwyn Sawyer	10-Sep-2019	PID: 012-824-941 Two lot subdivision. Civic address: 650 Dulcie Road, Gambier Island, BC.
Planning Status			
Status Date: 21-Oct-2019 Referral response sent to MOTI			

Islands Trust
LTC EXP SUMMARY REPORT F2020
Invoices posted to Month ending November 2019

630 Gambier	Invoices posted to Month ending November 2019	<u>Budget</u>	<u>Spent</u>	<u>Balance</u>
65000-630	LTC "Trustee Expenses"	657.00	522.30	134.70
LTC Local				
65200-630	LTC - Local Exp - LTC Meeting Expenses	4,578.00	2,179.05	2,398.95
65210-630	LTC - Local Exp - APC Meeting Expenses	411.00	0.00	411.00
65220-630	LTC - Local Exp - Communications	250.00	0.00	250.00
65230-630	LTC - Local Exp - Special Projects	294.00	0.00	294.00
TOTAL LTC Local Expense		<u>5,533.00</u>	<u>2,179.05</u>	<u>3,353.95</u>
Projects				
73001-630-3003	Gambier RAR	2,000.00	2,718.64	-718.64
73001-630-4094	Gambier Keats Island Shoreline Protection Review	5,000.00	798.96	4,201.04
73001-630-4099	Gambier Howe Sound Forum	3,000.00	2,000.00	1,000.00
TOTAL Project Expenses		<u>10,000.00</u>	<u>5,517.60</u>	<u>4,482.40</u>

Gambier Island Local Trust Committee Policies & Standing Resolutions

No	Meeting Date	Resolution No.	Issue	Policy
1.	October 6, 2010	GM-082-2010	Guidelines for the appointment of members to the advisory planning commission	It was MOVED and SECONDED that the Gambier Island Local Trust Committee endorses the following guidelines for the appointment of members to the advisory planning commission and requests that such guidelines be posted on the Islands Trust website and are used in any posting to solicit expressions of interest from candidates for advisory planning commission membership: “The Gambier Island Local Trust Committee shall make all reasonable efforts, in the consideration of appointments to the advisory planning commission that members are: - Representative of a broad cross section of the geographical areas of the Gambier Island Local Trust Committee area; - Representative of a range of backgrounds and expertise that is supportive to each other in the consideration of matters referred to the advisory planning commission; - Where feasible and practical of a balanced representation of gender and age groups. Consideration shall be given to the following criteria in any appointment: • Previous experience as a member of a Board of Variance; • Experience on a local government council, board, local trust committee, commission or other body; • Experience with other volunteer boards, commissions or committees; • Experience and credential in a planning, design or related profession; • Experience and credentials in a building or design trade; • Educational background; • Length of residency in the local trust area; • Availability, and willingness to travel between local trust areas.
2.	March 26, 2015	GM-2015-018	Amend APC appointment guidelines	It was MOVED and SECONDED, that the Gambier Island Local Trust Committee amend the APC appointment guidelines to allow for representation of members to be weighted to a geographic area subject to a current top priority project.

3.	October 26, 2017	GM-2017-065	Development Permit Area)DPA) No. 3: Riparian Areas administration	It was MOVED and SECONDED that the Gambier Island Local Trust Committee adopt a Standing Resolution which directs staff to administer Development Permit Area (DPA) No. 3: Riparian Areas in the interim before formal amendments are made to the DPA, as follows: a. The “Designated Area” provisions of Section 12.3.1 of Gambier Island Official Community Plan No. 73 should be used to determine whether or not a proposed development is subject to DPA No. 3: Riparian Areas; b. When development is proposed within the “Designated Area”, applicants shall be required to have a Qualified Environmental Professional assess the water feature to determine whether or not it is subject to the Riparian Areas Regulation; c. When development is proposed within the “Designated Area” of a water feature which is determined to be subject to the Riparian Areas Regulation, a DPA No. 3: Riparian Areas Development Permit shall be required; d. When development is proposed within the “Designated Area” of a water feature which is determined not to be subject to the Riparian Areas Regulation, a DPA No. 3: Riparian Areas Development Permit shall not be required.
4.	December 11, 2017	GM-2017-078	Adding item to agenda	It was MOVED and SECONDED that the Gambier Island Local Trust Committee request staff to add to each agenda “First Nations Activities” under the Reports section.
5.	January 25, 2018	GM-2018-009	First Nations Words, Phrases and Place Names	It was MOVED and SECONDED that the Gambier Island Local Trust Committee adopt the following standing resolution: a) That staff incorporate First Nations’ words, phrases, and place names in Local Trust Committee communications, as appropriate.

6.	November 21, 2019	GM-2019-061	First Nations Reconciliation engagement	It was MOVED and SECONDED that the Gambier Island Local Trust Committee adopt the following standing resolution with respect to First Nations in the Local Trust Area: Whereas the Local Trust Committee seeks to engage in Reconciliation with local First Nations, governments and the island community by honouring the Truth and Reconciliation Commission Calls to Action, United Nations Declaration on the Rights of Indigenous Peoples, Draft Principles that Guide the Province of British Columbia's Relationship with Indigenous Peoples, and Islands Trust First Nations Engagement Principles, the Local Trust Committee endeavors to: a) Annually, write a letter to First Nations, (re)introducing trustees and staff and provide a schedule of known Local Trust Committee meetings for the upcoming year, as well as, provide an update of current projects and advocacy activities; b) For various Local Trust Committee meetings, invite elders from local First Nations to attend and provide a traditional welcome to the territory; c) Work with First Nation governments on cooperative initiatives, including and not limited to, language, place names, territorial acknowledgements, and community education on Coast Salish and local First Nations' cultural heritage and history; d) Work with First Nation governments on engagement principles for inclusive land use, marine use, and climate change planning; advocacy, protection and stewardship; and knowledge and information sharing protocols; e) Establish and maintain government-to-government dialogue with First Nations, now and into the future, based on respect and recognition of Aboriginal rights and title, treaty rights, and First Nations' traditional territories within the Islands Trust Area.
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Top Priorities Report

Gambier Island

1. *Riparian Areas Regulation*

Implement RAR and protect all watercourses across the Gambier Island Local Trust Area

Responsible

Marnie Eggen

Dates

Rec'd: 26-Oct-2011

2. *Gambier OCP Comprehensive Review*

Revised Project Charter scope Dec. 2018

Responsible

Jaime Dubyna

Dates

Rec'd: 12-Feb-2015

3. *Keats Island Shoreline Protection Project - Phase 2*

Review of OCP and LUB to implement shoreline protection measures.

Responsible

Jaime Dubyna
Marnie Eggen

Dates

Rec'd: 31-Jan-2019

4. *OCP Advocacy Policies - Implementation & Support*

Supporting the advocacy policies of the Gambier, Keats, and Associated Islands
OCPs, and Islands Trust Strategic Plan (e.g. woodlots, industrial facilities, Howe Sound)

Responsible

Dan Rogers
Kate-Louise
Stamford

Dates

Rec'd: 24-Oct-2013



Projects Report

Gambier Island

1. Development Approval Information Bylaw

Responsible

Date Received

Develop and adopt a D.A.I bylaw for the Gambier Trust Area.

2. Squamish First Nation Consultation

Responsible

Date Received

Scope interim strategies pending completion of a possible protocol agreement to address protection of archaeological and heritage resources.

31-Jan-2012

3. Gambier LUB Review

Responsible

Date Received

Review Gambier LUB to address:

- definition of breakwater
 - trams (currently silent)
 - advocacy policies around pump out stations
 - review of title Wilderness Conservation
 - 2013: REVIEW KEATS AND GAMBIER LUBS FOR ACCOMMODATION of OCEAN LOOP GEO-EXCHANGE SYSTEMS
 - 2010: GHG Emissions (a more proactive approaches to plan for GHG reductions especially in relation to Policies 6.1 and 6.2 in consultation with SCRD.) Initiative arises from recommendation of SCRD in comments about bylaws 111 & 112.
-

22-May-2014

4. Gambier Site-specific Water Zones

Responsible

Date Received

Staff to research the history of Site-Specific water zones on Gambier.

26-Sep-2013



Projects Report

Gambier Island

5. *Recreational Camp and Private Institutional Regulation Review*

Responsible

Date Received

Review Recreational Camp and Private Institutional regulations in all Local Trust Area land use bylaws.
Review to ensure that regulations properly balance ecological protection with current realities re: rentals as income source for rec camps.

28-Jul-2016

6. *Keats Island LUB review*

Responsible

Date Received

review definition of 'structure' to ensure adequate regulation of the siting of underground sewage disposal systems with setbacks to lot lines and the natural boundary of the sea
-review regulations for accessory uses, buildings and structures occurring on parcels where no principal use exists (April 2018 LTC resolution).

11-Dec-2017

7. *Thormanby Islands Foreshore Protection Pilot Project*

Responsible

Date Received

Review of setback regulations and designation of a development permit area for the purposes of protecting the natural environment, its ecosystems and biological diversity and protection of development from hazardous conditions.

26-Jul-2018

From: Marine Special Advisor ENV:EX <MarineSpecialAdvisor@gov.bc.ca>
Sent: Thursday, November 21, 2019 3:34 PM
To: Clare Frater <cfrater@islandstrust.bc.ca>
Subject: Marine Special Advisor Fall Progress Report

EMAIL RESPONSE

Reference: 350844

November 21, 2019

Clare Frater
Director - Trust Area Services
Islands Trust
Email: cfrater@islandstrust.bc.ca

Dear Clare Frater:

Thank you for meeting with me and/or ministry staff this past summer. Your comments on and feedback to our questions provided us with valuable information and ideas for lasting solutions. I very much appreciate your participation and contribution.

I have produced a [Fall Progress Report](#) which presents a snapshot of what we've heard during our conversations. My next step will be reviewing the findings from the summer and reflecting on previous calls for action. I anticipate submitting my report with recommendations to the Honourable George Heyman, Minister of Environment and Climate Change Strategy, by the end of the year.

To stay informed of progress on this initiative, I invite you to visit <http://gov.bc.ca/MarineDebrisProtection>.

Sincerely,

Sheila Malcolmson
MLA, Nanaimo
Parliamentary Secretary for Environment

Addressing Abandoned Vessels, Marine Debris and Marine-sourced Plastics

FALL 2019 PROGRESS REPORT

Introduction

Marine debris pollutes our waterways and threatens the health and economies of coastal communities. Thousands of abandoned vessels are deteriorating in B.C.'s marine waters, dangerously close to sinking, along with all the pollutants they carry. Our ocean floor and shores are littered with marine-sourced debris and plastics. So much of the pollution we create sits just beyond our view, beneath the surface.

That's why the Ministry of Environment and Climate Change Strategy is exploring ways to prevent vessels from being abandoned in the first place and find recycling solutions to keep salvaged marine debris out of landfills. Sheila Malcolmson, MLA for Nanaimo and parliamentary secretary for environment, was tasked by Premier Horgan to investigate the solutions the Union of BC Municipalities has been proposing for years: vessel licensing, end-of-life recycling, old boat turn-in programs, and better regulation of debris from docks and aquaculture.

Visiting coastal communities this summer to learn about innovative solutions that address abandoned vessels and marine debris, we are encouraged by what we are hearing. Innovative research into fibreglass recycling is coming to light. There is inspiring collaboration happening between industry and non-profits to clean-up debris.

And although there's been some federal action on marine debris lately, we are hearing that there might be a role for the Province to play too. People are encouraging us to use our prevention, reduction and recycling tools to their full capacity, so we can help remove roadblocks for communities and organizations. For example, we've heard marine debris might challenge landfill capacity – we want to learn more about that.

Snapshots of What We Have Heard

ACTIONS UNDERWAY

- Coastal Restoration Society and Clayoquot CleanUp removed over 1.5 million pounds of marine debris from the ocean last year.
- Ocean Legacy's *Marine Debris Solutions Centre*TM in Delta sorts marine debris from around the world, finding markets and repurposing as much as possible, cleaning and grinding marine-sourced plastics to create marketable products, such as packaging for Lush Cosmetics and alternative fuel.
- The Association for Denman Island Marine Stewards removed tonnes of marine plastics in 2017 and stewarded the reuse and recycling of all but one truckload.
- The Dead Boat Disposal Society has removed 60 boats from BC shorelines and plans to remove another 29 shortly.



- While *Styrofoam*™ continues to be a problem in recreational and legacy docks, encased foam is now the industry standard for commercial docks and shellfish aquaculture.
- There is increased consumer awareness about marine debris and an impressive movement for community beach cleanups.
- Projects tackling ghost fishing gear are locating lost nets and raising the profile of this issue.
- Transport Canada is funding select abandoned vessel removals and has now regulated penalties for abandonment in the new *Wrecked, Abandoned and Hazardous Vessels Act*.
- Plastic, fishing gear and fibreglass recycling research is occurring around the world, and the Province could help foster innovation in this area.
- Alternatives to landfilling boats and marine debris exist but challenges (e.g., technology and transportation) are still present in connecting these networks.
- Improving vessel licensing and tackling unauthorized mooring buoys has been suggested by some local governments, community groups and recreational boaters. Both are federal government tools.
- A B.C. boat dismantling industry could provide lasting jobs, but transportation and disposal/recycling issues need to be examined.
- Extended producer responsibility programs are tools that some jurisdictions are employing to tackle marine plastics.

FOR ACTION

Over the next several weeks, Parliamentary Secretary Malcolmson will be reviewing the findings of this summer's conversations and site visits, and further analysing previous calls for action from the BC Chamber of Commerce, the Association of Vancouver Island and Coastal Communities, and Union of BC Municipalities. She will then prepare her recommendations to Minister Heyman. Join the conversation at: gov.bc.ca/MarineDebrisProtection or email: MarineSpecialAdvisor@gov.bc.ca.

This work is being done in parallel with Minister Heyman's broader work on plastics. Through the Province's [engagement on plastics](#), options to further prevent, reduce and recycle plastic waste from all sources are being explored.

Visit cleanbc.ca/plastics to have your say.



BRITISH
COLUMBIA



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Elsewhere in BC **1.800.663.7867**
Email: information@islandstrust.bc.ca
Web: www.islandstrust.bc.ca

January 10, 2020

File Number: 6000-30

Via Email: ClimateReadyBC@gov.bc.ca

The Honourable George Heyman
Minister of Environment and Climate Change Strategy
Room 112 Parliament Buildings
Victoria, BC V8V 1X4

Dear Minister Heyman:

Re: Input to Help B.C. Prepare for Climate Change

Please accept this letter as part of the Islands Trust's contribution to the Ministry of Environment and Climate Change's call for input into developing a new strategy that will better prepare B.C. communities for the impacts of climate change.

On March 25th, 2019, the Islands Trust Council declared a climate emergency.
(<http://www.islandstrust.bc.ca/media/347410/2019-09-it-climatechageemergencydeclaredfinal.pdf>).

The declaration is rooted in deep concern for the future of the islands and waters of the Salish Sea. Climate change in the Salish Sea can be seen through more extreme and unpredictable weather patterns, sea level rise, increasingly acidic oceans, and drier summers characterized by smoke-filled air due to forest-fires in nearby jurisdictions. These shifting aspects of the environment have contributed to seaside erosion, poor air quality, reduced water supply, saltwater intrusion, power outages, trees dying and being uprooted, changes in growing and harvesting seasons and other changes directly influencing the natural environment and the lives of Island residents.

With respect to the natural environment, we are deeply concerned about increasing pressures on species at risk. The loss of habitat and migration of species at risk to new changing environments will likely create greater loss of those listed species and add many more flora, fauna, marine species and terrestrial wildlife to the already significant list of lost species and species at risk.

The Islands Trust is playing an important role in climate mitigation for the Province and is turning our mind toward strengthening our climate change resilience. Through the Islands Trust Conservancy, we are protecting forest contributing to the sequestration of 190,506 tonnes of carbon per year, which equates to emissions from 40,240 passenger vehicles per year. On the adaptation side, water sustainability is a big challenge for the Islands Trust. We are currently engaged in a study of the water quantity and quality on a number of islands in an effort to make more informed land use decisions around water collection, storage, and use.

.../2

Preserving **island** communities, culture and environment

Bowen Denman Hornby Gabriola Galiano Gambier Lasqueti Mayne North Pender Salt Spring Saturna South Pender Thetis

There is only so much we can do on our own. We need the Province to:

Provide data. We need help collecting the data needed to effectively assess our adaptation needs over time. This could involve the Province providing us with access to updated data, such as sea level rise mapping, or supporting us to develop our own data sets.

Provide tools to help us understand our risks and vulnerabilities and how to address them. An easy to use risk and vulnerability assessment tool could help individual islands, and the Islands Trust as a whole, develop a clearer sense of where to focus climate adaptation efforts. An updated online reference guide to planning processes and case studies would enhance the ability to address risks and vulnerabilities.

Create funding programs. While addressing the climate emergency is becoming top of mind for the Islands Trust it will require us to go above and beyond our day to day business. We need funding to help us effectively gather and update data, undertake risk and vulnerability assessments and integrate adaptation strategies into our policies and regulations. It would be beneficial if some of this funding could be directed at solutions-centered work emerging from communities themselves.

Provide training for staff and elected officials. Regionally-focused training can help orient both staff and elected officials to the challenges we are faced with and the opportunities that exist to address these challenges. We would like to learn from other rural, coastal jurisdictions that face similar challenges. Training could be both web-based and in person.

Integrate Indigenous knowledge into climate action. The Islands Trust, through its Reconciliation Declaration and local trust committees' standing resolutions on First Nations Engagement, has committed to the implementation of UNDRIP and the TRC Calls to Action. This commitment means that we are working to strengthen understanding and collaborate with Indigenous community and First Nations governments to integrate our commitment to "preserve and protect" the Trust Area with these guiding principles. We expect the Province to support these efforts.

Take an integrated climate change resilience approach to addressing the climate emergency. The Islands Trust will continue climate mitigation efforts while addressing climate impacts. We encourage the Province to strengthen mitigation support for local government and build on existing greenhouse gas reduction programs while providing new programs, funding and training to address adaptation.

Take a leadership role in convening annual intergovernmental forums. These forums could be designed to enable elected officials and their staff to work through emerging climate change related issues in local contexts. Such regionally organized secretariats could provide a way to be proactive about an integrated climate change resilience approach.

Ten years have passed since the Province published its first adaptation strategy "Preparing for Climate Change". It appears that very little has been done to support the visions of: building a foundation of knowledge and tools; making adaptation a core part of provincial business; or assessing risks and implementing priority adaptation actions in key climate sensitive sectors. Addressing climate change needs to be done collaboratively and in an integrated way. The Islands Trust looks forward to working with the Province to strengthen our collective climate resilience.

.../3

January 10, 2020
The Honourable George Heyman
Page 3

Thank you for considering our recommendations.

Sincerely,



Peter Luckham
Chair, Islands Trust Council
pluckham@islandstrust.bc.ca

cc: BOKEĆEN (Pauquachin) First Nation
Cowichan Tribes
Halalt First Nation
Homalco First Nation
Klahoose First Nation
K'ómoks First Nation
Lake Cowichan First Nation
Lekwungen (Songhees) Nation
Lyackson First Nation
MÁLEXEŁ (Malahat) Nation
Penelakut Tribe
Qualicum First Nation
Scia'new (Beecher Bay) First Nation
SEMYOME (Semiahmoo) First Nation
shíshálh First Nation
Snuneymuxw First Nation
Skwxwú7mesh (Squamish) Nation
Snaw-naw-as (Nanoose) First Nation
SĀÁUTW (Tsawout) First Nation
Stz'uminus First Nation

SXIMEŁEŁ (Esquimalt) Nation
Tla'amin (Sliammon) Nation
Tsawwassen First Nation
Tsleil-Waututh Nation
T'Sou-ke Nation
Wei Wai Kum (Campbell River) First Nation
We Wai Kai (Cape Mudge) First Nation
WJOŁEŁP (Tsartlip) First Nation
WŚIKEM (Tseycum) First Nation
xʷməθkʷəy̓əm Musqueam
First Nations Leadership Council
Hul'qumi'num Treaty Group
Laich-kwil-tach Treaty Society
Nanwakolas Council
Naut'sa mawt Tribal
Te'mexw Treaty Association
Bowen Island Municipal Council
Islands Trust Council
Islands Trust website



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Web www.islandstrust.bc.ca

January 17, 2020

File Number: 0400-20

Via Email: marc.garneau@parl.gc.ca

The Honourable Marc Garneau
Minister of Transport
330 Sparks Street
Ottawa ON K1A 0N5

Dear Minister:

Re: Working Together in the Islands Trust Area

Congratulations on your recent re-election and re-appointment as the federal Minister of Transport. I am very pleased that you have been re-appointed to work with the Government of Canada in this capacity.

As Chair of Islands Trust Council, I can tell you that Islands Trust was created through the provincial *Islands Trust Act*, and is a federation of special-purpose local government bodies elected by 26,000 people living within the Islands Trust Area and approximately 10,000 non-resident property owners. The Islands Trust Area is located within Coast Salish territory and is the homeland to over 28,000 Coast Salish Peoples who have called this place home since time immemorial. The Islands Trust area covers the islands and waters of the Salish Sea between the British Columbia mainland and southern Vancouver Island. The area includes 13 major and more than 450 smaller islands covering 5,200 square kilometers reflecting the beauty and vitality of the Salish Sea.

The Islands Trust mandate is to preserve and protect the unique environment and amenities of the Islands Trust Area through planning and regulating land use, development management, and education. We fulfil this role in cooperation with First Nations and other agencies and through advocacy with organizations and community.

The region is more than a scenic archipelago; it provides habitats for an exceptional variety of species: more than 200 types of migratory and resident birds; more than 90 species at risk (according to the Federal *Species at Risk Act*); numerous species of fish; the iconic Southern Resident killer whale; migrating gray whales; diverse intertidal life; terrestrial wildlife and vegetation. The significance and sensitivity of the region, and the need for protective measures were internationally recognized in 1973. At that time, an International Joint Commission proposed that the islands and waters adjacent to the British Columbia-Washington State border be protected as an international park in order to maintain water quality, curb development, preserve and protect marine and land-based wildlife habitats and preserve and protect the cultural heritage of archaeological and cultural sites. We cherish this place and govern it in trust for all Canadians.

It is for this reason that Islands Trust would like to work closely with your Ministry on the Transportation 2030 strategic plan; on ways to create infrastructure to support the climate change emergency within the islands area; and ensure that the Ports Modernization Review includes ways to address tanker traffic and anchorages within the Islands Trust Area. We also note that your mandate letter asks you to continue to work with the

.../2

Minister of Fisheries, Oceans and Canadian Coast Guard to implement the Oceans Protection Plan to deliver 24/7 emergency response for incident management; to increase on-scene environmental response capacity; and to develop near real-time information on marine traffic with First Nation communities and Islands Trust communities. We would like to support you in this mandate and look forward to finding opportunities to work together.

Extra vigilance and special measures are warranted in this region. The Islands Trust Area is among the most productive marine ecosystems in the world and includes the highest density of species at risk in Canada. Its preservation and protection is fundamental to Canada now and into the future. If time permits, I invite you to visit the islands where I would be more than happy to show you, first-hand, the beauty and significance the Islands Trust Area.

Yours sincerely,



Peter Luckham
Chair, Islands Trust Council
pluckham@islandstrust.bc.ca

Attach: Map of Islands Trust Area

cc: BOKÉCEN (Pauquachin) First Nation
Cowichan Tribes
Halalt First Nation
Homalco First Nation
Klahoose First Nation
K'ómoks First Nation
Lake Cowichan First Nation
Lekwungen (Songhees) Nation
Lyackson First Nation
MÁLEXEL (Malahat) Nation
Penelakut Tribe
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Scia'new (Beecher Bay) First Nation
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Nanwakolas Council
Naut'sa mawt Tribal
Te'mexw Treaty Association
Bowen Island Municipal Council
Islands Trust Council
Islands Trust website





Islands Trust

Strategic Plan 2018-2022

*The Islands Trust Council 2018-2022 Strategic Plan was adopted
December 4, 2019 on Lekwungen treaty and traditional territory, Victoria, British Columbia.*

TABLE OF CONTENTS

Statement of Trust Council 2018-2022	1
Islands Trust Council 2018-2022	2
The Islands Trust Area.....	3
Purpose and Principles of the Islands Trust.....	4
How to Read the Strategic Plan.....	5
Strategic Plan 2018-2022 Objectives & Strategies	
<i>Land Stewardship</i>	6
<i>Marine and Freshwater Stewardship</i>	7
<i>Climate Change</i>	8
<i>Community and Communication</i>	9
<i>Governance</i>	11
Gross Budget & Schedule of Implementation	12



Peter Luckham
Thetis Island Local
Trustee, Chair, Islands Trust



Sue Ellen Fast
Bowen Island Municipal
Trustee, Executive Vice Chair,
Vice Chair, Islands Trust
Conservancy



Laura Patrick
Salt Spring Island Local
Trustee, Executive Vice Chair



Dan Rogers
Gambier Island Local
Trustee, Executive Vice Chair



Kate-Louise Stamford
Gambier Island Local
Trustee, Chair, Islands Trust
Conservancy



Deb Morrison
North Pender Island Local
Trustee, Chair, Trust Programs



Scott Colbourne
Gabriola Island Local
Trustee, Vice Chair, Trust
Programs



Laura Busheikin
Denman Island Local
Trustee, Chair, Local Planning



Peter Grove
Salt Spring Island Local
Trustee, Chair, Financial
Planning



Michael Kaile
Bowen Island Municipal
Trustee



Kees Langereis
Gabriola Island Local
Trustee



Jane Wolverson
Galiano Island Local
Trustee



Grant Scott
Hornby Island Local
Trustee



Peter Johnston
Lasqueti Island Local
Trustee



Jeanine Dodds
Mayne Island Local
Trustee



Benjamin McConchie
North Pender Island Local
Trustee



Lee Middleton
Saturna Island Local
Trustee



Cameron Thom
South Pender Island Local
Trustee



Steve Wright
South Pender Island Local
Trustee



Doug Fenton
Thetis Island Local
Trustee

Statement of Trust Council 2018-2022

This plan represents the priorities of Trust Council and the Islands Trust and provides a framework to guide decision-making and allocate resources. It has been informed by island communities through local trust committee and Bowen Island meetings and the election process itself. It is the result of significant research, reporting and debate and best represents what we consider the work that we must do.

The object clause in the *Islands Trust Act* provides our mandate to ‘preserve and protect’ the Trust Area and the Policy Statement remains a primary guide in our goal setting and decision-making. We acknowledge however, that the Policy Statement does not fully contemplate much of what we face. First Nations must be acknowledged. The climate crisis is affecting the environment and our lives. Island demographics have changed. Development pressures are more complex. The marine environment is increasingly at risk from oil tanker traffic, plastic pollution, and industrial uses.

As we are successful in achieving our strategic goals, we will be collaborative leaders in coastal zone management. We will understand the freshwater resources on our islands and make land use decisions accordingly. We will amend our bylaws to maximize our ability to address a changed and changing climate. We will tell people who we are and why we exist and ask for their help in achieving the object of the Islands Trust. We will strive to ensure that we enact the guiding principles of Reconciliation creating mutually respectful and collaborative relationships with First Nations. And finally, - we will work together - as local trustees and as members of Trust Council, to be efficient and effective in what we achieve and to do it with respect and spirit.



David Maude
Mayne Island Local
Trustee, Vice Chair, Local
Planning



Paul Brent
Saturna Island Local
Trustee, Vice Chair, Financial
Planning



David Critchley
Denman Island Local
Trustee



Tahirih Rockafella
Galiano Island Local
Trustee



Alex Allen
Hornby Island Local
Trustee



Timothy Peterson
Lasqueti Island Local
Trustee



Doug Fenton
Thetis Island Local
Trustee

STRATEGIC PLAN 2018-2022

ISLANDS TRUST COUNCIL 2018-2022

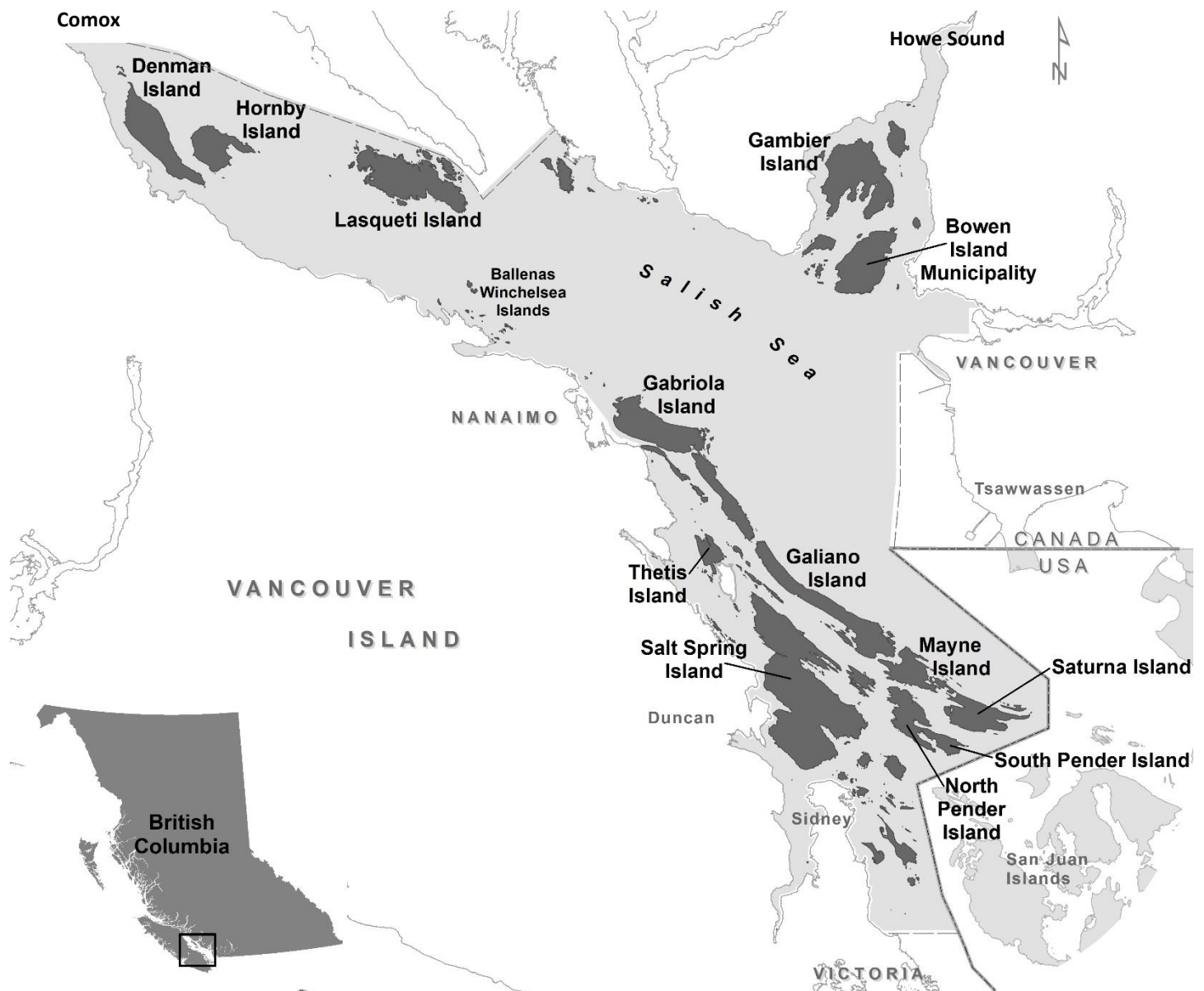
The Islands Trust Council has a unique mandate, to preserve and protect the amenities and environment of the Islands Trust Area, for the benefit of residents and all British Columbians.

Trust Council consists of the 26 locally-elected trustees who also sit on 12 local trust committees and one island municipality. Trust Council meets quarterly to make decisions about the Islands Trust's overall policy, advocacy positions, staff resources and budget. Local trust committees are responsible for land use planning and regulatory decisions that are separate, but complementary to their role at the Islands Trust Council.



THE ISLANDS TRUST AREA

The Islands Trust Area covers the islands and waters between the British Columbia mainland and southern Vancouver Island including Howe Sound and as far north as Comox. This is a unique and special place composed of 13 major islands and more than 450 smaller islands covering approximately 5200 square kilometres.



STRATEGIC PLAN 2018-2022

PURPOSE AND PRINCIPLES OF THE ISLANDS TRUST

OBJECT OF THE ISLANDS TRUST

The Object clause, Section 3 of the Islands Trust Act, provides the purpose of the Islands Trust.

The object of the trust is to preserve and protect the trust area and its unique amenities and environment for the benefit of the residents of the trust area and of British Columbia generally, in cooperation with municipalities, regional districts, improvement districts, other persons and organizations and the government of British Columbia.

THE POLICY STATEMENT

The Policy Statement is the foundational guiding document of the Islands Trust. It translates the broad goals of the Province and the Islands Trust into specific actions.

The Policy Statement establishes a position or philosophy of Trust Council, directs local trust committees and island municipalities in the Trust Area to address certain matters, or recommends actions to other agencies or to the public.

GUIDING PRINCIPLES

The guiding principles are in the Policy Statement and function to guide Trust Council and the Islands Trust in decision-making and operations.

The primary responsibility of the Islands Trust Council is to provide leadership for the preservation, protection and stewardship of the amenities, environment and resources of the Trust Area.

When making decisions and exercising judgment, Trust Council will place priority on preserving and protecting the integrity of the environment and amenities in the Trust Area.

Trust Council will seek information from a broad range of sources in its decision-making processes, recognizing the importance of local knowledge in this regard.

Trust Council believes that to achieve the Islands Trust object, the rate and scale of growth and development in the Trust Area must be carefully managed and may require limitation.

Trust Council believes that open, consultative public participation is vital to effective decision-making for the Trust Area.

Trust Council will implement a plan for the advancement of the Policy Statement as part of its annual budget process, and the Executive Committee of Trust Council will report to Council on progress in achieving the goals of the Policy Statement.

STRATEGIC PLAN 2018-2022

HOW TO READ THE STRATEGIC PLAN

For the purposes of the Strategic Plan, **Goals**, **Objectives** and **Strategies** are defined as follows:

GOALS

Goals describe long-term outcomes that are broad and not easily measured. In the context of the Strategic Plan, the primary goals are derived from Parts III, IV and V of the Policy Statement:

1. To foster ecosystem preservation and protection of the Trust Areas ecosystems
2. To ensure that human activity and the scale, rate and type of development in the Trust Area are compatible with maintenance of the integrity of Trust Area ecosystems
3. To sustain island character and healthy communities

Most of the strategic plan objectives and strategies advance these goals. The exceptions relate to emerging issues such as climate change, contemporary community engagement and governance, and First Nations reconciliation, areas the Policy Statement does not fully contemplate.

OBJECTIVES

Objectives are measurable steps to achieve a goal. They are specific and tangible actions that have a medium time frame. They are the heart of the Strategic Plan and where Trust Council most clearly exercises its discretion and governance. In the 2018-2022 Strategic Plan, there are eight objectives to advance the work of the Islands Trust.

STRATEGIES

Strategies represent the actions - or 'means to achievement' - of long-term goals or objectives. They tend to be short-term and may change due to circumstance and opportunity. Staff will recommend strategies to Trust Council to advance its priorities. The Strategic Plan identifies 24 strategies that will require resources, time and effort over the course of the 2018-2022 term.

IMPLEMENTATION

The Strategic Plan is supported by an Implementation Plan, which identifies costs, implications to the five-year Financial Plan and staff resources. The Implementation Plan also schedules the Strategic Plan work over the course of the term and identifies performance targets for each objective.

In developing the 2018-2022 Strategic Plan, Trust Council considered many issues, projects and challenges and in the end identified the following areas as most important: **Land Stewardship, Marine and Freshwater Stewardship, Climate Change, Community and Communication, and Governance**. Each of these is detailed in the pages that follow.



STRATEGIC PLAN 2018-2022

LAND STEWARDSHIP

OBJECTIVE

Preserve, protect and advocate for forest and terrestrial ecosystems

STRATEGY

1. Map contiguous tracks of the Coastal Douglas fir zone (CDF) and associated ecosystems to aid in protection of that zone and its associated ecosystems.
2. Create a model development permit for Local Trust Committee-Bowen Island Official Community Plans bylaws to protect Coastal Douglas fir zones throughout the Trust Area.
3. Amend legislation to increase the percentage of the Natural Area Protection Tax Exemption Program (NAPTEP) to act as an incentive for the protection of forest cover for climate change mitigation and adaptation in the Islands Trust Area.



STRATEGIC PLAN 2018-2022

MARINE AND FRESHWATER STEWARDSHIP

OBJECTIVE

STRATEGY

To preserve and protect marine ecosystems

4. Advocate to minimize the impact of commercial activities on the marine environment and participate in Canada's Southern Resident Killer Whale (SRKW) recovery plan.
5. Map the extent of eelgrass and kelp beds throughout the Trust Area.
6. Undertake a review of Local Trust Committee-Bowen Islands Municipality foreshore policies and regulatory bylaws and develop model policy and regulatory bylaws for the protection of the foreshore and nearshore.

Protect quality and quantity of fresh water resources of the Trust Area

7. Develop a regional freshwater management strategy that addresses responsibilities under the Water Sustainability Act, identifies water resources throughout the Trust Area, integrates water resource management into land use decision-making, and accounts for the impacts of climate change on island water resources.
8. Map and develop water budgets for groundwater aquifers in the Trust Area.
9. Develop a model land use regulation regarding freshwater sustainability including groundwater, rainwater catchment and greywater recycling.



STRATEGIC PLAN 2018-2022

CLIMATE CHANGE

OBJECTIVE

Mitigate and adapt to climate change impacts

STRATEGY

10. Amend the Islands Trust Policy Statement to add climate change mitigation, adaptation and resiliency policies.
11. Amend Official Community Plans and land use bylaws to foster climate change resilience, including measures to protect Coastal Douglas fir, foreshore and nearshore environments and groundwater.
12. Develop i) a set of climate change, demographic and environmental data and ii) performance criteria in order to identify the effects of climate change in the Trust Area and to measure mitigation and adaption efforts.



STRATEGIC PLAN 2018-2022

COMMUNITY AND COMMUNICATION

OBJECTIVE

STRATEGY

Improve community engagement and participation in Islands Trust work

13. Develop the capacity to broadcast public meetings of Local Trust Committees, Council Committees and Trust Council.
14. Develop a new website and initiate a social media program.
15. Develop and implement a stewardship education program directed towards the public, industry and stakeholders in the Trust Area.

Strengthen housing affordability throughout the Islands Trust Area

16. Implement the following high priority actions outlined in the Affordable Housing in the Trust Area: Strategic Actions for Islands Trust previously referred by Trust Council.
 - i. Review the Islands Trust Policy statement and give consideration to: a) giving affordable housing a greater profile for its role in sustainable communities b) including a reference to affordable housing in its policy direction to LTCs and municipalities.
 - ii. Review the Islands Trust Policy statement to ensure that it: a) includes clear and well-thought out definition of 'affordability' b) includes clearly articulated vision, goal and objectives for affordable housing c) gives affordable housing a greater profile for its role in sustainable communities d) includes a reference to affordable housing in its policy direction to LTCs and municipalities.
 - iii. Develop model bylaws that use floor area ratio as a density metric for consideration of implementation in local trust area land use bylaws.

STRATEGIC PLAN 2018-2022

- iv. Develop model density bonus bylaws for consideration of implementation in local trust area land use bylaws.
- v. Develop model bylaws to address the use of building stratas as a tool for affordable housing.

Strengthen relations with First Nations

- 17. Adopt a Reconciliation Declaration.
- 18. Adopt and implement a Reconciliation Action Plan.
- 19. Develop a Trust Area-wide archaeological impact strategy and establish a Cultural Working Group.



STRATEGIC PLAN 2018-2022

GOVERNANCE

OBJECTIVE

STRATEGY

To improve and modernize the ability of the Islands Trust to regulate land use activity and work with others

20. Amend the *Islands Trust Act* or other legislation to:
 - i. Allow for entry warrants
 - ii. Grant authority to use municipal ticketing for development permit enforcement
 - iii. Enable adoption of development approval information bylaws by local trust committee
 - iv. Add First Nations to the list of bodies with whom the Trust works in cooperation
 - v. Enable delegation to staff the issuance of development permits
 - vi. Clarify foreshore zoning authority

To amend the Policy Statement

21. Provide a secretariat role to forums within the Trust Area.
22. Amend the Policy Statement introductory and definitions sections.
23. Determine if additional changes to the Policy Statement are desired by Trust Council.



GROSS BUDGET & SCHEDULE OF IMPLEMENTATION

Strategy	2019	2020	2021	2022	2023	Total \$
1. Mapping of contiguous tracks of the Coastal Douglas-fir	\$15,000					15,000
2. Amendment of plans to protect Coastal Douglas-Fir zones			\$15,000			15,000
3. Amend legislation to increase the percentage of NAPTEP exemption						
4. Advocate to minimize the impact of commercial activities on the marine environment and Participate in Canada's Southern Resident Killer Whale (SRKW) recovery plan.						
5. Map eelgrass and kelp beds		\$50,000				50,000
6. Undertake a review of foreshore policies and regulatory bylaws and develop model policy		\$10,000				10,000
7. Develop a regional freshwater management framework		\$4,000				4,000
8. Map and develop water budgets for groundwater aquifers						
9. Develop a model land use regulation regarding freshwater sustainability including groundwater, rainwater catchment and greywater recycling.			\$25,000	\$25,000		50,000
10. Amendment of the Islands Trust Policy Statement to add climate change policies						
11. Amendment of OCPs and LUBs to address climate change, CDF, foreshore and groundwater			\$30,000	\$30,000		60,000
12. Develop a set of climate change, demographic and environmental data		\$5,000	\$25,000			30,000

STRATEGIC PLAN 2018-2022

13. Broadcast public meetings		\$7,100				7,100
14. Develop a new website and initiate a social media program	\$115,000					115,000
15. Develop and implement a stewardship education program	\$10,000	\$15,000	\$15,000	\$15,000	\$10,000	65,000
16. Implement the high priority actions outlined in the Affordable Housing in the Trust Area: Strategic Actions for Islands Trust previously referred by Trust Council.		\$10,000	\$10,000	\$10,000	\$10,000	40,000
17. Adopt a Reconciliation Declaration						
18. Adopt and implement a Reconciliation Action Plan		\$17,550	\$10,000	\$10,000	\$5,000	42,550
19. Develop a Trust Area wide archaeological impact strategy and establish a Cultural Working Group						
20. Amend the Islands Trust Act						
21. Provide a secretariat role to forums within the Trust Area		\$ 12,000				12,000
22. Amend the Policy Statement introductory and definitions sections	\$60,000	\$45,000				105,000
23. Determine if additional changes to the Policy Statement are desired by Trust Council						
TOTALS	\$200,000	\$175,650	\$130,000	\$90,000	\$25,000	\$620,650

September 6, 2019

2019-22-IT

ISLANDS 2050: THE FUTURE OF THE TRUST AREA

What will the Islands Trust Area of British Columbia look like in 30 years?

Lekwungen territory, Victoria — Today, the Islands Trust announced the launch of Islands 2050, a major public engagement process designed to help the Trust plan for the challenges and opportunities that the Islands Trust Area will face in the next 30 years, particularly as it prepares for the realities of climate change.

In communities throughout and around the Trust Area, the Islands Trust will engage the public and First Nations through open houses, community events, onboard BC Ferries and online conversations. Opportunities to provide input on questions relevant to climate change and the public's vision for the future of the Islands Trust Area will be available through www.islandstrust.bc.ca/islands2050.

The goal is to give everyone with an interest in the Islands Trust Area opportunities to have their say. From September through November, Islands Trust will be visiting communities to seek opinions.

Findings of the Islands 2050 engagement process will help the Islands Trust update the Policy Statement, the foundational document that guides the preserve and protect mandate of this special-purpose government. The document guides policy decisions about island landscapes and the waters surrounding them. It includes recommendations to other levels of government. Notably, it informs how local official community plans (OCPs) and land use bylaws are created – changes to this document could affect local OCPs.

“It’s been 25 years since the Islands Trust last reviewed the Policy Statement,” explained Peter Luckham, Chair of the Islands Trust. “That was a generation ago and the world has changed dramatically. Globally, we’re confronting a climate crisis; locally, we’re experiencing changes in island demographics. The Salish Sea, which unites all the islands in the Trust Area, is at increasing risk from pollution and industrial uses, including increased numbers of freighters and oil tankers.

“These changes will have impact on the environment and our way of life. So, the question we’re asking now is: are the policies of 1994 the right ones to guide us into a changed world?”

Encompassing the waters and islands of the Salish Sea between southern Vancouver Island and the mainland, the Trust Area of British Columbia features spectacular beauty, vibrant communities, and some of the world’s most endangered and precious ecosystems. The special nature of this region was recognized when the B.C. Government, in 1974, designated the region as a protected area.

The Policy Statement contains policies that must be addressed when local trust committees and Bowen Island Municipality are developing or amending official community plans. The current Policy Statement contains no mention of the climate crisis and does not appropriately acknowledge First Nations or the Islands Trust Council’s commitment to Reconciliation.

The Islands Trust is a federation of local government bodies representing 26,000 people living within the Islands Trust Area and another 10,000 non-resident property owners. The Islands Trust is responsible for preserving and protecting the unique environment and amenities of the Islands Trust Area through planning and regulating land use, development management, education, co-operation with other agencies, and land conservation. The area covers the islands and waters between the British Columbia mainland and southern Vancouver Island. It includes 13 major islands and more than 450 smaller islands, covering 5,200 square kilometres.

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