



Gambier Island Local Trust Committee

Regular Meeting Revised Agenda

Date: April 27, 2019
Time: 1:30 pm
Location: Gambier Island Community Centre
Andy's Bay Road, Gambier Island, BC

	Pages
1. CALL TO ORDER	1:30 PM - 1:30 PM
"Please note, the order of agenda items may be modified during the meeting. Times are provided for convenience only and are subject to change."	
2. APPROVAL OF AGENDA	
3. COMMUNITY INFORMATION MEETING - CANCELLED	
3.1 Riparian Areas Regulation Project - Next Steps	
4. TOWN HALL	1:30 PM - 1:40 PM
5. MINUTES	1:40 PM - 1:45 PM
5.1 Local Trust Committee Meeting dated January 31, 2019 - for adoption	4 - 12
5.2 Section 26 Resolutions-Without-Meeting Report dated April 18, 2019	13 - 13
5.3 Advisory Planning Commission Minutes - none	
6. BUSINESS ARISING FROM MINUTES	1:45 PM - 2:00 PM
6.1 Follow-up Action List dated April 18, 2019	14 - 16
6.2 Bylaw Enforcement Notification Bylaw Amendments - Staff Report	17 - 39
6.3 Hosting Alt'Kitsem/Howe Sound Forum Follow Up - for discussion	
6.4 Green Shores Working Group Members Government Dues	
7. APPLICATIONS AND REFERRALS	2:00 PM - 2:15 PM
7.1 GM-DVP-2019.1 (Delesalle and Mervin - 564 Vaucroft Rd, Thormanby Island) - Staff Report	40 - 96

8.	LOCAL TRUST COMMITTEE PROJECTS	2:15 PM - 2:30 PM	
8.1	Riparian Areas Regulation Project - for discussion		
8.2	Keats Shoreline Protection Project - verbal update		
9.	DELEGATIONS - none		
10.	CORRESPONDENCE	2:30 PM - 2:35 PM	
	<i>(Correspondence received concerning current applications or projects is posted to the LTC webpage)</i>		
10.1	Email dated January 9, 2019 from Theresa Freasco, Fraser Basin Council regarding Sea to Sky Clean Air Society		97 - 99
11.	NEW BUSINESS	2:35 PM - 2:50 PM	100 - 100
11.1	Logging on Non-Forestry Lands - for discussion		
11.2	Sunshine Coast - 2019 Agricultural Land Use Inventory & Agricultural Water Demand Model - for discussion		101 - 103
11.3	Islands Trust - 2018-2019 Annual Report - Memorandum		104 - 104
12.	WORK PROGRAM	2:50 PM - 3:00 PM	
12.1	Top Priorities Report dated April 18, 2019		105 - 105
12.2	Projects List Report dated April 18, 2019		106 - 107
13.	REPORTS	3:00 PM - 3:20 PM	
13.1	Trustee Reports		
13.2	Chair's Report		
13.3	Trust Conservancy Report dated March, 2019		108 - 109
13.4	Electoral Area Director's Report		
13.5	Applications Report dated April 18, 2019		110 - 112
13.6	Trustee and Local Expense Report dated February, 2019		113 - 113
13.7	Adopted Policies and Standing Resolutions		114 - 115
13.8	First Nations Activities		
13.9	Local Trust Committee Webpage		

14. CLOSED MEETING 3:20 PM - 3:35 PM

14.1 Motion to Close the Meeting

That the meeting be closed to the public in accordance with the Community Charter, Part 4, Division 3, s.90(1) (a) and (m) for the purpose of considering Appointment of Keats Island Shoreline Protection Working Group Members and Adoption of In-Camera Meeting Minutes dated December 13, 2018 and that the recorder and staff attend the meeting.

14.2 Recall to Order

14.3 Rise and Report

15. UPCOMING MEETINGS 3:35 PM - 3:40 PM

15.1 LIVE WEBINAR - Monday, April 29, 2019 700 pm - 8:30 pm - regarding Amendments to the Gambier DP Area 3 - Riparian Areas

Please register online at:

<https://attendee.gotowebinar.com/register/4001464059629646860>

15.2 Next Regular Meeting Scheduled for Thursday, June 13, 2019 at 10:30 am at Gambier Island Community Hall, 721 Andy's Bay Road, Gambier Island, BC

16. ADJOURNMENT 3:40 PM - 3:40 PM



Gambier Island Local Trust Committee Minutes of Regular Meeting

Date: January 31, 2019
Location: John Braithwaite Community Centre
 145 West 1st Street
 North Vancouver, BC

Members Present: Sue Ellen Fast, Chair
 Dan Rogers, Local Trustee
 Kate-Louise Stamford, Local Trustee

Staff Present: Sonja Zupanec, Island Planner
 Jaime Dubyna, Planner 1
 Diane Corbett, Recorder

Also Present: Members of the Public – 4

1. CALL TO ORDER

"Please note, the order of agenda items may be modified during the meeting. Times are provided for convenience only and are subject to change."

Chair Fast called the meeting to order at 10:30 am. She acknowledged that the meeting was being held in Territory of the Coast Salish First Nations.

Chair Fast introduced trustees and staff in attendance and offered introductory and explanatory remarks about the composition and structure of Islands Trust.

2. APPROVAL OF AGENDA

The following addition to the agenda was presented for consideration:

- 10.3 Advocacy Request for New Brighton Dock

By general consent the agenda was approved as amended.

3. TOWN HALL

Al Duirks of North Vancouver inquired about the organization of Islands Trust.

The Chair referred him to the Islands Trust website. She described the geographic expanse of the Trust, and noted that Islands Trust only addresses land use, including rezoning, subdivision, environmental and ecosystem protection. With thirteen Local Trust Areas (LTA), there are twenty-six trustees, two per LTA. There are around 45 to 50 employees in three different offices.

The Local Trust Committees serve the Islands Trust mandate, directed by the Province through the *Islands Trust Act*. The region is protected and is set aside for nature, recreation, beauty, wildlife, water, ecological services and living sustainably.

Robert Williams, Eastbourne Keats Island, announced he was here to hear about the Shoreline Protection Committee. He reported he is involved with the Keats fire equipment group and inquired about issues of infrastructure on the island provided by the Regional District.

Trustee Rogers responded that he has tried to get improvements. The Local Trust Committee (LTC) has a protocol with the Regional District to meet from time to time. Local Trustees can bring items to the attention of the Regional Director. Trustee Rogers urged the speaker to talk to the Area F Director about such issues.

Mr. Williams noted that there were maintenance items on the dock that had not been attended to. He perceived (as did others on Keats, he noted) that generally Keats does not get its tax dollars (no paved roads, no sewer, no school) and thought increased spending on a few items on Keats would be appropriate.

Trustee Rogers announced he would be happy to speak with members of the community regarding this issue and put more pressure on the Sunshine Coast Regional District (SCRD).

Trustee Stamford noted anyone could advocate to the SCRCD regarding the Keats Landing ramp. The LTC could also bring forward issues to the SCRCD. The Trustee suggested members of the public copy the Area F Director, Mark Hiltz, on any correspondence to the SCRCD.

Tom Fox, Melody Point, Keats Island, commented on the difficulty finding a place to tie up in the summer when he has gone to shop in Gibsons; it is first come first served. There should be some kind of consideration to have a spot where Keats Islanders can go.

Trustee Stamford responded that the trustees could follow up on that.

4. MINUTES

4.1 Local Trust Committee Meeting dated December 13, 2018

The following amendments to the minutes were presented for consideration:

- P. 3, third last bullet: delete last sentence, "This is a difficult situation."

By general consent the minutes of December 13, 2018 were adopted as amended.

4.2 Section 26 Resolutions-Without-Meeting – none

4.3 Advisory Planning Commission Minutes – none

5. BUSINESS ARISING FROM MINUTES

5.1 Follow-up Action List dated January 23, 2019

Island planner Zupanec responded to trustee inquiries regarding the communication project for the *Riparian Areas Regulation* Bylaws Nos. 140 and 141. Staff was working to secure a date, possibly in April, for a Community Information Meeting on Gambier at the Gambier Community Centre, and also looking for a date for a webinar to be delivered from the northern office in April.

There was discussion about the water connection to East Trail Island, mentioned at the last meeting when the SCRCD Water Management Plan was referred to the LTC. Staff reported the SCRCD had not yet responded to verify the water connection on their end.

5.2 Hosting Alt'Kitsem / Howe Sound Forum May 2019

Following up from the delegation at the last meeting, Trustee Rogers reported on his discussions with senior Islands Trust staff about hosting the Howe Sound (Community) Forum on April 26, 2019 (moved from the originally planned date of May 3). He noted Camp Fircom would be willing to make the venue available without a rental charge for

the hall. Staff had indicated this would not require a project charter. The Trustee indicated he and Trustee Stamford would work with the director of the camp and Ruth Simons to put together a budget.

GM-2019-001

It was MOVED and SECONDED

that the Gambier Island Local Trust Committee offer to “host” the April 26, 2019 Howe Sound Forum at Camp Fircom, Gambier Island, and that it directs staff to request a maximum of \$3000 from LTC Project Specific Reserve Fund to cover off expenses related to food, transportation and First Nation attendee costs.

CARRIED

5.3 Passage Island Access

Trustee Rogers reported on access issues being reported by residents of Passage Island, including concerns about losing access to Fisherman’s Cove, and an inadequate landing location on Passage Island. The LTC had done some advocacy around trying to get the island a proper dock. Trustee Rogers indicated he wanted to flag this item as there may be a request for advocacy.

GM-2019-002

It was MOVED and SECONDED

that the Gambier Island Local Trust Committee arrange a protocol meeting with staff and the Director of Area A, Metro Vancouver, when time and staff are available.

CARRIED

6. APPLICATIONS AND REFERRALS – none

7. LOCAL TRUST COMMITTEE PROJECTS

7.1 Keats Island Shoreline Protection Project

Planner Dubyna reviewed the staff report outlining the results of Phase 1 of the Keats Island Shoreline Protection Project. The Planner noted a First Nations consultation event was not held; staff suggested that consultation with First Nations be a substantial part of Phase 2.

Discussion ensued and the following points were made by Trustees:

- Thanks to staff for Phase 1.
- Despite some complaints about the survey, it has given a clear view of the feeling of a lot of people on the island, with a very good response from about half of the properties on the island (168 responses), from all over the island. There were two clear messages:
 - Do not impact peoples’ current docks and structures. There was a strong concern that this would be an effort to have people remove their docks. They don’t want this project to impact their ability to access their property.
 - People want to protect the marine environment and the amenities of the area and special places.
- Those come into conflict from time to time. Need a community discussion about how to resolve competing interests of private values and community values.

- Survey revealed issues such as: What is a nonconforming legal structure on the island? A lot of structures are nonconforming; there is confusion as to what is legal, and what is grandfathered. There is need for education on that.
- Discussion of stakeholders on the Working Group member list
- Question about whether it would be more effective for the LTC to have an island-specific working group moving forward and include in the charter outreach to First Nations. One thing of concern: that there would be a long education process as people learned about each other at this stage; as opposed to the LTC doing a liaison with the First Nations. Varied interests (land versus fishing rights/interests).
- Make it clear that one of the Out of Scope areas of the Working Group is: to impact current legal waterfront structures (docks or walls); that would alleviate some of the tension around this. If they are current and legal, the objective is not to impact this.
- Keep First Nations in the Working Group from the beginning; we have a request from them to consult early and often. It indicates the door is open at any time.
- Are interested in ways of responding to some of the comments on the survey, such as a process “imposed” or questions “leading”, etc.
- For transparency, have comments at the beginning of every survey regarding what has been done to create the survey.
- Note the even split on some of the issues.
- In plain language, outline the difference of what happened at Pender Harbour and what the LTC is looking at, in terms of the process.
- Would like to see a listing of what the LTC or community has more say in, and that we will be required to put certain things in our bylaws. Would like to see clarification of the different options we have; show where the community would have a say, versus where directions come down from higher powers.
- Good to see clear survey results. Like the idea of a Working Group; there is a lot of learning and understanding in the Working Group, community understanding of the issues in the project charter, and of other points of view. Like the idea of the representation from neighbourhoods as opposed to associations, and having a few extra spaces.
- Rescinding of Motion 2018 GM-2018-24 – say what it is
- About half the properties on Keats are waterfront; the only ones that are not water access only are in Eastbourne. Everything outside of Eastbourne, with minor exceptions, is generally water access only.
- In Scope is review of non-compliant structures and Crown leases, by the Local Trust Committee and the Working Group, and options and strategies to address these. The community can look at the analysis and provide input.

GM-2019-003

It was MOVED and SECONDED

that the Gambier Island Local Trust Committee request staff to amend the Keats Island Shoreline Protection Charter by:

- a. amending “In Scope” bullet 3 by adding “Potentially” as the first word; and
- b. by adding a second bullet to “Out of Scope” that reads: “Impact current legal foreshore structures and docks”.

CARRIED

GM-2019-004**It was MOVED and SECONDED**

that the Gambier Island Local Trust Committee endorse the 'Keats Island Shoreline Protection Project Phase 2' Project Charter v.1 dated January 2019, as amended.

CARRIED**GM-2019-005****It was MOVED and SECONDED**

that the Gambier Island Local Trust Committee deem 'Phase 1' of the Keats Island Shoreline Protection Project to be complete and amend the Top Priorities item to read, "Keats Island Shoreline Protection Project Phase 2".

CARRIED**GM-2019-006****It was MOVED and SECONDED**

that the Gambier Island Local Trust Committee request staff to prepare a work plan and budget for the Keats Island Shoreline Protection Project – Phase 2, and request funding confirmation for the 2018/19 and 2019/20 fiscal years.

CARRIED

Discussion ensued on the membership composition for the "Keats Island Shoreline Protection Working Group" Terms of Reference.

GM-2019-007**It was MOVED and SECONDED**

that the Gambier Island Local Trust Committee direct that staff solicit expressions of interest for volunteer members of the "Keats Island Shoreline Protection Working Group" from the following:

- a) Skwxwú7mesh / Squamish Nation
- b) Tsleil-Waututh Nation
- c) xwməθkwəyəm / Musqueam First Nation
- e) Sunshine Coast Conservation Association
- f) Representative of the residents of DL 696
- g) Representative of the residents of Melody Point
- h) Representative of the residents of Plumper Cove
- i) 2 representatives of residents of Eastbourne
- j) 2 members at large who are residents of Keats Island.

CARRIED**GM-2019-008****It was MOVED and SECONDED**

that the Gambier Island Local Trust Committee endorse the 'Terms of Reference' dated January 2019 for the 'Keats Island Shoreline Protection Working Group' with the proviso that it will be amended to reflect the agreed upon number of members and membership.

CARRIED

GM-2019-009

It was MOVED and SECONDED

that the Gambier Island Local Trust Committee rescind motion **GM-2018-024**.

CARRIED

Chair Fast recessed the meeting at 12:25 pm and reconvened the meeting at 12:45 pm.

8. DELEGATIONS – none

Chair Fast moved item 12 to before item 9.

12. Work Program Reports

12.1 Top Priorities Report dated January 23, 2019

Received.

It was noted that the Gambier Official Community Plan (OCP) review needed to be started. Staff reported there was a current lack of senior staff resources to carry the project.

12.2 Projects List Report dated January 23, 2019

Received.

Trustee Rogers reported it was learned at Executive Committee the previous day that, after an invitation for consultation on the Trust Policy Statement, an update had been proposed by the Squamish Nation. There was a proposal to meet with them in February or March. Discussion ensued on Squamish Nation consultation.

GM-2019-010

It was MOVED and SECONDED

that the Gambier Island Local Trust Committee request the Director of Trust Area Services to consider the addition of the New Brighton dock to an upcoming agenda of a meeting with the Squamish Nation.

CARRIED

9. CORRESPONDENCE – none

(Correspondence received concerning current applications or projects is posted to the LTC webpage)

10. NEW BUSINESS

10.1 Updated Islands Trust Climate Change Webpages

The briefing from the Director of Trust Area Services regarding the update of Islands Trust climate change webpages and the encouragement of the dissemination of the climate change resources contained on the page was received for information.

10.2 District of West Vancouver request for Collaboration on "Collective Impact for Seniors' Project"

The Island Planner reviewed the District of West Vancouver request that the Local Trust Committee be a collaborating partner in the "Seniors Connection Project". Discussion ensued.

GM-2019-011

It was **MOVED** and **SECONDED**

that the Gambier Island Local Trust Committee request staff to respond to Jill Lawlor via email indicating the Gambier Island Local Trust Committee interest in participating in the Seniors Connection Project as a collaborating partner.

CARRIED

10.3 Advocacy Request for New Brighton Dock – Discussed under 12.2.

11. REPORTS

11.1 Trustee Reports

Trustee Stamford reported on the following:

- Attended Ministry of Forests Lands, Natural Resource Operations & Rural Development (FLNRORD) webinar on forestry initiatives on Vancouver island
- Application to be a member of West Howe Sound Advisory Planning Commission
- Attended Islands Trust Council meeting in Nanaimo
- Helped organize a strategic action planning session for Ocean Watch Task Force January 25
- Will attend Vancouver Aquarium for the upcoming second edition of Ocean Watch Howe Sound Report to be held mid February

Trustee Rogers reported on the following:

- Attended informal meeting on December 21 with new SCRD Chair, Area F Director and Alternate Director
- Eelgrass planting at Plumper Cove under auspices of Sea Watch
- Attended meeting with Passage Island residents
- Had discussions around Howe Sound Forum
- Survey on air quality in the Sea to Sky corridor being conducted by the Fraser Basin Council in conjunction with the Sea to Sky Clean Air Society
- Trust Programs Committee agreed to fund the Baines Sound Forum, planned for March, on the basis of almost no staff time involved
- Update on the secretariat proposal and Trust Programs Committee: a report likely would come out in June
- Suggestion for a motion for the next budget to extend the current funding for the Task Force group and Howe Sound Forum.

11.2 Chair's Report

Chair Fast reported on the following:

- Islands Trust Conservancy (ITC) discussion about Regional Conservation Plan (RCP)

- Attended meeting January 19 on Bowen: presentation about the Hornby Island Marine Conservation Atlas. A lot of people on Bowen are interested in doing something like this.
- Executive Committee approved some special project funding for a translation dictionary of terms for Saturna area. One of the islands has a heritage registry that has First Nations involvement.

11.3 Trust Conservancy Report dated November, 2018

11.3.1 Regional Conservation Plan

Trustee Stamford reported that:

- ITC met this week. The group has two new staff, a covenant monitoring outreach specialist and acting property management specialist.
- ITC is looking at putting together a fund development committee and how to respond to ongoing concerns of a growing Conservancy with a limited budget.
- RCP is continuing to develop how Local Trust Committees can be utilized in OCPs and other processes.

11.4 Electoral Area Director's Report

Trustee Stamford reported that Electoral Area F Director, Mark Hiltz' focus in communications was about groundwater and water for the Sunshine Coast; SCRD is looking at high yield wells in Granthams Landing area.

SCRD Directors endorsed a provincial referral for private year round moorage on the south side of Plumper Cove, Keats Island, serving two upland strata lots.

11.5 Applications Report dated January 23, 2018

Received.

11.6 Trustee and Local Expense Report dated November, 2018

Received.

11.7 Adopted Policies and Standing Resolutions

Received.

11.8 Local Trust Committee Webpage – none

11.9 First Nations Activities

GM-2019-012

It was MOVED and SECONDED

that the Gambier Island Local Trust Committee request staff to specifically invite the local First Nations to the Gambier Island Local Trust Committee business meetings.

CARRIED

Trustee Stamford reported she had received correspondence from the Member of Parliament and the Member of the Legislative Assembly who both stated that the New Brighton dock was not within their authority.

13. CLOSED MEETING – none

14. UPCOMING MEETINGS

14.1 Next Regular Meeting Scheduled for Thursday, March 21, 2019 at 10:30 am at John Braithwaite Community Centre, Meeting Room 3, 145 West 1st Street, North Vancouver, BC

15. ADJOURNMENT

By general consent the meeting was adjourned at 1:47 pm.

Sue Ellen Fast, Chair

Certified Correct:

Diane Corbett, Recorder



Islands Trust

Print Date: April 18, 2019

Resolutions Without Meeting

Gambier Island

Resolution #	Action	Resolution Description	Resolution Date
2019-01	In Favour	"THAT the Gambier Island Local Trust Committee cancel the regular business meeting scheduled for March 21, 2019."	13-Mar-2019
2019-02	In Favour	THAT the Gambier Island Local Trust Committee cancel the regular business meeting scheduled for May 2, 2019 and reschedule to April 27, 2019 on Gambier Island.	18-Mar-2019

Follow Up Action Report

Gambier Island

27-Apr-2017

Activity	Responsibility	Target Date	Status
Staff to prepare written communication materials for distribution to Gambier Island residents regarding the adoption of Bylaws 140 and 141. Update: pending DPA 3 minor amendments	Sonja Zupanec	31-Aug-2017	On Going

19-Apr-2018

Activity	Responsibility	Target Date	Status
LTC requests staff to coordinate a meeting with Trustees and MOTI Sechelt branch staff.	Sonja Zupanec Wil Cottingham		On Going

28-Jun-2018

Activity	Responsibility	Target Date	Status
Gambier Official Community Plan Comprehensive Review Project: -post revised, endorsed project charter to project website with June 2018 staff report -prepare budget work plan for Director's approval -notify LTC of status of budget approval and commence Phase 1 work. -incorporate Howe Sound Sustainable Development Framework (ie goals)	Sonja Zupanec		On Going

03-Oct-2018

Activity	Responsibility	Target Date	Status
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Follow Up Action Report

SCRD Water Sourcing Policy: LTC requests staff to investigate the existence of a water pipe to any Associated Islands for the purposes of the responding to the SCRD water sourcing policy on potential impacts.

Sonja Zupanec

On Going

13-Dec-2018

Activity	Responsibility	Target Date	Status
Bring forward a revised project charter for the Gambier OCP review to address LTC request (Dec 2018) to take projects on the projects list related to Gambier and add to OCP review project - including review of shipping container regulations; DAI for Gambier; review of water zones and recreational/institution zones. As these are part of a comprehensive LUB review, the current OCP project charter does not include a LUB review and would need to be expanded.	Sonja Zupanec		On Going

31-Jan-2019

Activity	Responsibility	Target Date	Status
LTC request staff to coordinate a meeting with Metro Vancouver staff and Area A Elected Officials.	Sonja Zupanec Wil Cottingham		On Going
Keats Island Shoreline Protection Project: LTC amended and endorsed the project charter. Post to web and archive Phase 1 Project material to 'completed projects' webpage. Prepare workplan for phase 2 budget and submit for approval. Prepare notice and letters inviting expressions of interest to participate in the project working group to approved list (see LTC resolution). Amend Terms of Reference and post to web with invitation for expressions of interest. Return to LTC for appointments in a closed meeting March 21. Work with Lisa Wilcox on invitations to three First Nations.	Sonja Zupanec Jaime Dubyna		Done
Staff to prepare a poster with the object of the Trust and bring to LTC meetings for public display.	Sonja Zupanec Wil Cottingham		On Going

Follow Up Action Report

LTC resolution requesting staff send a notice of each LTC agenda to local First Nations with an invitation to participate in the meetings.

Becky McErlean
Ann Kjerulf

On Going

DRAFT

GAMBIER ISLAND LOCAL TRUST COMMITTEE BYLAW NO. 151

A BYLAW TO AMEND THE GAMBIER ISLAND LOCAL TRUST AREA BYLAW ENFORCEMENT NOTIFICATION BYLAW, NO. 116, 2011

The Gambier Island Local Trust Committee, being the Local Trust Committee having jurisdiction on and in respect of the Gambier Island Local Trust Area, under the *Islands Trust Act*, in open meeting assembled, enacts as follows:

1. Gambier Island Local Trust Committee Bylaw cited as “Gambier Island Local Trust Committee Bylaw Enforcement Notification Bylaw, No. 116, 2011” is hereby amended as follows:
 - i. By deleting the words “A BYLAW TO RESPECT THE ENFORCEMENT OF BYLAW NOTICES WITHIN THE GAMBIER ISLAND LOCAL TRUST AREA” and substituting the words “A BYLAW WITH RESPECT TO THE ENFORCEMENT OF BYLAW NOTICES WITHIN THE GAMBIER ISLAND LOCAL TRUST AREA”;
 - ii. By deleting the words “North Shore Bylaw Notice Adjudication Registry” within section 1.2 and substituting the words “Islands Trust”;
 - iii. By deleting the words within section 4.0(2) and substituting the following: “if received by Islands Trust within 14 days of the person receiving or being presumed to have received the bylaw violation notice, is the Discounted Penalty Amount set out in column A2 of Schedule “A”, Schedule “B”, Schedule “C” and Schedule “D” as attached to this bylaw applies”
 - iv. By deleting the words within section 4.3 and substituting the following: “if more than 28 days after the person has received or is presumed to have received the bylaw violation notice, is subject to a late payment surcharge in addition to the penalty under paragraph (1) , and is the Late Payment Penalty Amount set out in column A3 of Schedule “A”, Schedule “B”, Schedule “C” and Schedule “D” as attached to this bylaw or”;
 - v. By deleting the words within section 6.2 and substituting the following: “The civic address of the Registry is Suite 200 – 1627 Fort Street, Victoria, BC V8R 1H8”;
 - vi. By deleting the words “Bylaw Enforcement Coordinator” within subsection 7.2(2) and from within section 8.0(a) and substituting the following: “Bylaw Enforcement Manager”;
 - vii. By adding Section 10.0(d) “Schedule D – Gambier Associated Islands Land Use Bylaw No. 120, 2013 Contraventions and Penalties”;
 - viii. By removing Schedule A – Gambier Island Land Use Bylaw No. 86, 2004 Contraventions and Penalties and substituting the attached: Schedule A – Gambier Island Land Use Bylaw No. 86, 2004, Contraventions and Penalties;

- ix. By removing Schedule B – Keats Island Land Use Bylaw No. 78, 2002 Contraventions and Penalties and substituting the attached: Schedule B – Keats Island Land Use Bylaw No. 78, 2002 Contraventions and Penalties;
- x. By removing Schedule C – Bowyer and Passage Islands Land Use Bylaw No. 114, 2011 Contraventions and Penalties and substituting the attached: Schedule C – Bowyer and Passage Islands Land Use Bylaw No. 114, 2011 Contraventions and Penalties;
- xi. By adding the attached: Schedule D – Gambier Associated Islands Land Use Bylaw No. 120, 2013 Contraventions and Penalties.

2. This Bylaw may be cited as “Gambier Island Local Trust Committee Bylaw Enforcement Notification Bylaw, No. 116, 2011, Amendment No. 1, 2019.”

READ A FIRST TIME THIS	DAY OF	,20__
READ A SECOND TIME THIS	DAY OF	,20__
READ A THIRD TIME THIS	DAY OF	,20__

APPROVED BY THE EXECUTIVE COMMITTEE OF ISLANDS TRUST THIS	DAY OF	,20__
ADOPTED THIS	DAY OF	,20__

SECRETARY

CHAIR

Schedule A
GAMBIER ISLAND LAND USE BYLAW NO. 86, 2004
CONTRAVENTIONS AND PENALTIES

Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
3.1(1)	Non Permitted Use In Nature Reserve/Marine General/Marine Conservation Zones	\$500.00	\$375.00	\$750.00	Yes	100%
3.1(1)(g)	No Valid Permit/Exceed Maximum Occupancy Time Period For Temporary Residence On Lot Where Dwelling Being Built	\$350.00	\$262.50	\$525.00	Yes	100%
3.1(1)(i)	Saw Milling And Planing Of Timber Not From Lot/On Lot/Outside Permitted Hours	\$350.00	\$262.50	\$525.00	Yes	100%
3.1(2)	Non Permitted Building/Structure In Nature Reserve/Marine General/Marine Conservation Zones	\$350.00	\$262.50	\$525.00	Yes	100%
3.1(2)(b)	Temporary Structure On Construction Site Not Removed Within Time Period	\$350.00	\$262.50	\$525.00	Yes	100%
3.2(1)(a)	Non Permitted Paved/Unpaved Airstrip/Heliport Use For Use Of Aircraft Flying Non-Scheduled Flights	\$350.00	\$262.50	\$525.00	Yes	100%
3.2(1)(b)	Non Permitted Recreational Vehicle Campgrounds And Trailer Parks	\$350.00	\$262.50	\$525.00	Yes	100%
3.2(1)(c)	Non Permitted Manufactured Home Parks	\$350.00	\$262.50	\$525.00	Yes	100%
3.2(1)(d)	Non Permitted Offensive Uses	\$350.00	\$262.50	\$525.00	Yes	100%
3.2(1)(e)	Non Permitted Rental Of Personal Watercraft/All Terrain Vehicles/Motorcycles/Limited Speed Motorcycles	\$200.00	\$150.00	\$300.00	Yes	100%
3.2(1)(f)	Non Permitted Use Located Partially/Totally In Tent/Travel Trailer/Motor Home/Camper	\$350.00	\$262.50	\$525.00	Yes	100%
3.2(1)(g)	Non Permitted Casinos And Commercial Bingo Halls	\$350.00	\$262.50	\$525.00	Yes	100%
3.2(1)(h)	Non Permitted Land Fill Sites	\$350.00	\$262.50	\$525.00	Yes	100%
3.2(1)(i)	Non Permitted Salvage Yard/Storage Of Derelict Vehicles And Junk	\$350.00	\$262.50	\$525.00	Yes	100%
3.2(1)(j)	Non Permitted Intensive Agriculture	\$350.00	\$262.50	\$525.00	Yes	100%

Schedule A
GAMBIER ISLAND LAND USE BYLAW NO. 86, 2004
CONTRAVENTIONS AND PENALTIES

Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
3.2(1)(k)	Non Permitted Use Of Shipping Container	\$350.00	\$262.50	\$525.00	Yes	100%
3.3(1)	Encroachment Of Building/Structure Into Setback Of Natural Boundary Of Sea/Lake/Wetland/Watercourse	\$350.00	\$262.50	\$525.00	Yes	100%
3.3(1)(a)	Encroachment Of Animal Enclosures/Pens/Feeding Troughs/Animal Runs/Manure Piles Into Setback From Natural Boundary Of Sea/Lake/Wetland/Watercourse	\$350.00	\$262.50	\$525.00	Yes	100%
3.3(2)	Encroachment Of Private Floats And Docks Within Setbacks From Upland Lot	\$350.00	\$262.50	\$525.00	Yes	100%
3.3(3)	Encroachment Of Animal Enclosures/Pens/Feeding Troughs/Animal Runs/Manure Piles Into Setbacks From Any Lot Line/Dwelling Unit	\$350.00	\$262.50	\$525.00	Yes	100%
3.3(5)	Encroachment Of Building Into Setback From Lot Line That Abuts A Highway	\$350.00	\$262.50	\$525.00	Yes	100%
3.3(6)	Non Permitted Landscape Screen/Landscaping/Building/Structure Planted/Erected One Metre Above Established Grade Of Adjacent Highway	\$350.00	\$262.50	\$525.00	Yes	100%
3.3(8)	Dwelling Located Within Ten Metres Of Any Other Dwelling Unit Located On Same Lot	\$350.00	\$262.50	\$525.00	Yes	100%
3.4(2)	Retaining Wall Within Setback From The Natural Boundary Of The Sea	\$350.00	\$262.50	\$525.00	Yes	100%
3.4(4)	Flag Pole/Lawn Ornaments/Similar Landscape Features Encroaching Lot Line Setback	\$350.00	\$262.50	\$525.00	Yes	100%
3.4(5)	Pump/Utility House Within Setback From The Natural Boundary Of The Sea	\$350.00	\$262.50	\$525.00	Yes	100%
3.4(6)	Boathouse/Stairs/Walkways For Access To Foreshore/Ramp Within 15 Metre Setback From The Natural Boundary Of The Sea	\$350.00	\$262.50	\$525.00	Yes	100%

Schedule A
GAMBIER ISLAND LAND USE BYLAW NO. 86, 2004
CONTRAVENTIONS AND PENALTIES

Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
3.5(1)	Features Permitted To Exceed Height Restrictions Exceed 1% Of Lot Coverage Or 10% Of Roof Area Of The Building On Which It Is Located	\$350.00	\$262.50	\$525.00	Yes	100%
3.5(2)	Principal Building Exceeds Height Restriction	\$350.00	\$262.50	\$525.00	Yes	100%
3.5(3)	Accessory Building/Structure Exceeds Height Restriction	\$350.00	\$262.50	\$525.00	Yes	100%
3.6(1)	Accessory Building Used For Temporary Overnight Accommodation	\$350.00	\$262.50	\$525.00	Yes	100%
3.6(2)	Accessory Buildings Exceed Total Floor Area Restriction	\$350.00	\$262.50	\$525.00	Yes	100%
3.7(1)(a)	Home Occupation Occurring When There Is No Single Family Dwelling On Lot Or Home Occupation Not Operated By Resident Of Dwelling On Lot	\$200.00	\$150.00	\$300.00	Yes	100%
3.7(1)(b)	Temporary Overnight Accommodation Outside Principal Dwelling	\$200.00	\$150.00	\$300.00	Yes	100%
3.7(1)(d)	Home Occupation Exceeds Non-Resident Employees	\$200.00	\$150.00	\$300.00	Yes	100%
3.7(1)(e)	Alteration To Dwelling/Accessory Building Made For Home Occupation That Is Not In Ordinary Course Of Its Use For Exclusively Residential/Accessory Purposes	\$200.00	\$150.00	\$300.00	Yes	100%
3.7.1(f)	Inadequate Landscape Screen For Outside Storage Of Material/Equipment	\$200.00	\$150.00	\$300.00	Yes	100%
3.7.1(g)	Non Permitted Goods Sold From Home Occupation	\$200.00	\$150.00	\$300.00	Yes	100%
3.7.1(h)	Temporary Overnight Accommodation Exceeds Four Bedrooms	\$200.00	\$150.00	\$300.00	Yes	100%
3.7.2(a)	Home Occupation Offensive Use/Causes Noise/Dust/Unsightliness Or Intrusive Activities That Impact Neighbours	\$200.00	\$150.00	\$300.00	Yes	100%
3.7.2(b)	Storage Of Non Permitted Toxic/Flammable Materials	\$350.00	\$262.50	\$525.00	Yes	100%

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GAMBIER ISLAND LAND USE BYLAW NO. 86, 2004
CONTRAVENTIONS AND PENALTIES

Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
3.7.2(c)	Home Occupation, With Non Permitted Hazardous Materials	\$350.00	\$262.50	\$525.00	Yes	100%
3.7.2(d)	Salvage Yard As Home Occupation	\$200.00	\$150.00	\$300.00	Yes	100%
3.7.2(e)(i)	More Than Three Vehicles Licenced To Owners Other Than Residents Of Lot Being Maintained Or Vehicles Not Maintained Within A Building	\$200.00	\$150.00	\$300.00	Yes	100%
3.7.2(e)(ii)	More Than One Vehicle Owned By Resident Of Lot Being Maintained Or Vehicle Not Maintained Within A Building	\$200.00	\$150.00	\$300.00	Yes	100%
3.7.2(f)	Restaurant As Home Occupation	\$200.00	\$150.00	\$300.00	Yes	100%
3.7.2(g)	Use Of Sawmill As Part Of Home Occupation	\$200.00	\$150.00	\$300.00	Yes	100%
3.8.1	Fence Exceeds Height Restriction On Lots Less Than 0.5 Hectares	\$350.00	\$262.50	\$525.00	Yes	100%
3.8.2	Fence On Corner Lot Adjacent To Highway Exceeds Height Restriction	\$350.00	\$262.50	\$525.00	Yes	100%
3.8.3	Non-Agricultural Use Fencing Exceeds Height Restriction/Sited Within Setback From Natural Boundary Of Sea	\$350.00	\$262.50	\$525.00	Yes	100%
3.9.1	Inadequate Landscape Screen	\$200.00	\$150.00	\$300.00	Yes	100%
3.10.1	Wrecking/Storage Of Derelict Automobiles/Junk	\$200.00	\$150.00	\$300.00	Yes	100%
3.13.1(a)	Exceed Maximum Floor Area For Retail Sales Ancillary To Licenced Winery/Cidery	\$350.00	\$262.50	\$525.00	Yes	100%
3.13.1(b)	Exceed Maximum Floor Area For Food And Beverage Service Lounge Ancillary To Licenced Winery/Cidery	\$350.00	\$262.50	\$525.00	Yes	100%
3.13.1(c)	Operating Indoor/Outdoor Food And Beverage Service Lounge Ancillary To Licenced Winery/Cidery Outside Permitted Hours	\$200.00	\$150.00	\$300.00	Yes	100%
3.13.2	Non Permitted Non-Farm Uses In Provincial Agricultural Land Reserve	\$350.00	\$262.50	\$525.00	Yes	100%

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GAMBIER ISLAND LAND USE BYLAW NO. 86, 2004
CONTRAVENTIONS AND PENALTIES

Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
3.13.3(a)	Non Permitted Operation Of Temporary Saw Mill In Agricultural Land Reserve	\$350.00	\$262.50	\$525.00	Yes	100%
3.13.3(b)	Unpaved Airstrip/Helipad For Use Of Aircraft Flying Non-Scheduled Flights	\$350.00	\$262.50	\$525.00	Yes	100%
3.14.1(a)	Non Permitted Associated Secondary Dwelling On Lots Less Than 0.4 Hectares	\$350.00	\$262.50	\$525.00	Yes	100%
3.14.1(b)(i)	Associated Secondary Dwelling On Lots Between 0.4 And 2 Hectares Exceeds Maximum Floor Area Restriction	\$350.00	\$262.50	\$525.00	Yes	100%
3.14.1(b)(ii)	Associated Secondary Dwelling On Lots Greater Than 2 Hectares Exceeds Maximum Floor Area Restriction	\$350.00	\$262.50	\$525.00	Yes	100%
5.1.1	Non Permitted Use In Settlement Residential Zone	\$500.00	\$375.00	\$750.00	Yes	100%
5.1.2	More Than One Single Family Dwelling On Lot Less Than 0.4 Hectares In Area In Settlement Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.1.3	More Than One Single Family Dwelling And One Associated Secondary Dwelling On Lots 0.4 Hectares Or Greater In Settlement Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.1.5	Exceed Maximum Lot Coverage Restriction In Settlement Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.1.6	Exceed Density On Lots With Multiple Owners Registered On Title Prior To 1969 That Are More Than 2 Hectares And Less Than 4 Hectares In Settlement Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.1.7	Exceed Density On Lots Having A Registered Covenant Providing For Not More Than One Single Family Dwelling Per Two Hectares In Settlement Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%

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CONTRAVENTIONS AND PENALTIES

Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
5.1.9	Encroachment Of Building/Structure Into Setback In Settlement Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.1.10	Exceed Maximum Height Restriction In Settlement Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.1.11	Non Permitted Domestic Agriculture Use In Settlement Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.1.12	Keeping Of Livestock As Part Of Domestic Agriculture On Lots Less Than 0.4 Hectares In Settlement Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.1.13	Non Permitted Agriculture Use On Lots Less Than 2 Hectares In Settlement Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.2.1	Non Permitted Use In Rural Residential Zone	\$500.00	\$375.00	\$750.00	Yes	100%
5.2.2	More Than One Single Family Dwelling On Lot Less Than 0.4 Hectares In Area In Rural Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.2.3	More Than One Single Family Dwelling And One Associated Secondary Dwelling On Lots 0.4 Hectares Or Greater In Rural Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.2.5	Exceed Maximum Lot Coverage Restriction In Rural Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.2.6	Exceed Density On Lots Having A Registered Covenant Providing For Not More Than One Single Family Dwelling Per Four Hectares In Rural Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.2.8	Encroachment Of Building/Structure Into Setback In Rural Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.2.9	Exceed Maximum Height Restriction For Accessory Building/Structure In Rural Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.2.10	Exceed Maximum Height Restriction For Agriculture Building In Rural Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%

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CONTRAVENTIONS AND PENALTIES

Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
5.2.11	Keeping Of Livestock On Lots Less Than 0.5 Hectares In Rural Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.2.12	Non Permitted Agriculture Use On Lots Less Than 1 Hectares In Rural Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.2.15	Fail To Meet Site Specific Regulations In Rural Residential Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.3.1	Non Permitted Use In Agriculture Zone	\$500.00	\$375.00	\$750.00	Yes	100%
5.3.2	Non Permitted Structure In Agriculture Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.3.3	Exceed Density On Lots Less Than 0.4 Hectares In Area In Agriculture Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.3.4	Exceed Density On Lots 0.4 Hectares Or Greater In Area In Agriculture Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.3.5	Exceed Maximum Total Lot Coverage Restriction In Agriculture Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.3.6	Encroachment Of Building/Structure Into Setback In Agriculture Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.3.7	Encroachment Of Building/Structure Used For Agriculture Into Setback In Agriculture Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.3.8	Exceed Maximum Height Restriction For Agricultural Building In Agriculture Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.3.9	Exceed Maximum Height Restriction For Accessory Building/Structure In Agriculture Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.4.1	Non Permitted Use In Forestry Zone	\$500.00	\$375.00	\$750.00	Yes	100%
5.4.2	More Than One Single Family Dwelling In Forestry Zone			\$525.00		
5.4.4	Exceed Maximum Lot Coverage Restriction In Forestry Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.4.5	Encroachment Of Building/Structure Into Setback In Forestry Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.4.6	Encroachment Of Building/Structure Into Setback From Lake/Stream In Forestry Zone	\$350.00	\$262.50	\$525.00	Yes	100%

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CONTRAVENTIONS AND PENALTIES

Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
5.4.7	Accessory Building/Structure Exceeds Maximum Height Restriction In Forestry Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.4.8	Accessory Log Booming And Log Storage In Non Permitted Areas In Forestry Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.4.9	Forest Use Of Natural Rock Face Of Adjacent Upland As Sign In Forestry Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.5.1	Non Permitted Use In Local Commercial Zone	\$500.00	\$375.00	\$750.00	Yes	100%
5.5.2	Exceed Density Restrictions In Local Commercial Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.5.3	More Than Three Accessory Buildings In Local Commercial Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.5.4	Exceed Maximum Lot Coverage Restriction In Local Commercial Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.5.5	Encroachment Of Building/Structure Into Setback In Local Commercial Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.5.6	Exceed Maximum Floor Area Restriction In A General Store In Local Commercial Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.5.7	Exceed Maximum Floor Area Restriction In A Retail Arts And Craft Use In Local Commercial Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.5.8	Exceed Maximum Height Restriction For a Principal Building In Local Commercial Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.5.9	Exceed Maximum Height Restriction For A Single Family Dwelling Or Accessory Building/Structure In Local Commercial Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.5.10	Single Family Residential Use Not In Conjunction With General Store Use In Local Commercial Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.6.1	Non Permitted Use In Industrial Zone	\$500.00	\$375.00	\$750.00	Yes	100%
5.6.2	Non Permitted Building/Structure In Industrial Zone	\$350.00	\$262.50	\$525.00	Yes	100%

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CONTRAVENTIONS AND PENALTIES

Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
5.6.3	More Than One Accessory Dwelling Unit In Industrial Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.6.4	Exceed Maximum Lot Coverage Restriction In Industrial Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.6.5	Encroachment Of Building/Structure Into Setback In Industrial Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.6.6	Accessory Dwelling Unit Exceeds Maximum Floor Area Restriction In Industrial Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.6.7	Single Family Residential Use Not In Conjunction With Principal Use In Industrial Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.6.8	Inadequate Screening Of Industrial Equipment And Vehicles In Industrial Zone	\$200.00	\$150.00	\$300.00	Yes	100%
5.7.1	Non Permitted Use In Community Service Zone	\$500.00	\$375.00	\$750.00	Yes	100%
5.7.2	Non Permitted Building/Structure In Community Service Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.7.3	Exceed Maximum Lot Coverage Restriction In Community Service Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.7.4	Encroachment Of Building/Structure Into Setback In Community Service Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.8.1	Non Permitted Use In Local Service Zone	\$500.00	\$375.00	\$750.00	Yes	100%
5.8.2	Non Permitted Building/Structure In Local Service Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.8.3	More Than Three Storage Facilities In Local Service Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.8.4	More Than One Fire Fighting Facility In Local Service Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.8.5	More Than One Boat Storage Facility In Local Service Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.8.6	Exceed Maximum Lot Coverage Restriction In Local Service Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.8.7	Encroachment Of Building/Structure Into Setback In Local Service Zone	\$350.00	\$262.50	\$525.00	Yes	100%

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Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
5.8.8	Building/Structure Exceeds Maximum Height Restriction In Local Service Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.8.9	Boat Storage Facility Exceeds Maximum Height Restriction In Local Service Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.8.11	Fail To Meet Site Specific Regulations In Local Service Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.9.1	Non Permitted Use In Recreation Service Zone	\$500.00	\$375.00	\$750.00	Yes	100%
5.9.2	Non Permitted Building/Structure In Recreation Service Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.9.3	More Than One Dwelling Unit In Recreation Service Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.9.4	Exceed Maximum Lot Coverage Restriction In Recreation Service Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.9.5	Encroachment Of Building/Structure Into Setback In Recreation Service Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.9.6	Building/Structure Exceeds Maximum Height Restriction In Recreation Service Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.9.7	Exceed Maximum Marine Area Coverage Restrictions By Mooring Floats And Swimming Floats In Recreation Service Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.9.8	Recreational Camp Use And Assembly Use On Non-Upland Area Of Recreation Service Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.9.9	Moorage Use Outside Marine Area Of Recreation Service Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.9.12	Fail To Meet Site Specific Regulations In Recreation Service Zone			\$525.00		
5.10.1	Non Permitted Use In Community Nature Park Zone	\$500.00	\$375.00	\$750.00	Yes	100%
5.10.2	Non Permitted Building In Community Nature Park Zone	\$350.00	\$262.50	\$525.00	Yes	100%

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Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
5.10.3	Non Permitted Structure In Community Nature Park Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.10.4	Exceed Maximum Lot Coverage Restriction In Community Nature Park Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.10.5	Exceed Maximum Marine Area Coverage Restriction By Wharf Floats And Piers In Community Nature Park Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.10.6	Ramp/Walkway Exceeds Width Restriction In Community Nature Park Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.10.7	Encroachment Of Building/Structure Into Setback In Community Nature Park Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.10.8	Building/Structure Exceeds Maximum Height Restriction In Community Nature Park Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.10.9	Non Permitted Parking In Community Nature Park Zone	\$200.00	\$150.00	\$300.00	Yes	100%
5.10.10	Improper Surface/Location Of Parking Area In Community Nature Park Zone	\$200.00	\$150.00	\$300.00	Yes	100%
5.10.11	Protective Shelter Enclosed On All Sides In Community Nature Park Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.10.12	Non Permitted Use Of Pedestrian Trail In Community Nature Park Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.10.13	Improper Location Of Dock In Community Nature Park Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.11.1	Non Permitted Use In Community Park Zone	\$500.00	\$375.00	\$750.00	Yes	100%
5.11.2	Non Permitted Building/Structure In Community Park Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.11.3	Exceed Maximum Lot Coverage Restriction In Community Park Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.11.4	Encroachment Of Building/Structure Into Setback In Community Park Zone	\$350.00	\$262.50	\$525.00	Yes	100%

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Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
5.11.5	Building/Structure Exceeds Maximum Height Restriction In Community Park Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.11.6	Non Permitted Parking In Community Park Zone	\$200.00	\$150.00	\$300.00	Yes	100%
5.11.7	Improper Surface/Location Of Parking Area In Community Park Zone	\$200.00	\$150.00	\$300.00	Yes	100%
5.11.8	Non Permitted Use Of Pedestrian Trail In Community Park Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.12.1	Non Permitted Use In Marine Park And Recreation Zone	\$500.00	\$375.00	\$750.00	Yes	100%
5.12.2	Non Permitted Building/Structure In Marine Park And Recreation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.12.3	Non Permitted Siting Of Structure In Marine Park And Recreation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.12.4	Exceed Maximum Marine Area Coverage Restriction In Marine Park And Recreation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.12.5	Dock Located Within Riparian Area Boundary In Marine Park And Recreation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.13.1	Non Permitted Use In Provincial Park Zone	\$500.00	\$375.00	\$750.00	Yes	100%
5.13.2	Non Permitted Building In Provincial Park Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.13.3	Non Permitted Structure In Provincial Park Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.13.4	Exceed Maximum Lot Coverage Restriction In Provincial Park Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.13.5	Exceed Maximum Marine Area Coverage Restriction In Provincial Park Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.13.6	Ramp/Walkway Exceeds Maximum Width Restriction In Provincial Park Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.13.7	Encroachment Of Building/Structure Into Setback In Provincial Park Zone	\$350.00	\$262.50	\$525.00	Yes	100%

Schedule A
GAMBIER ISLAND LAND USE BYLAW NO. 86, 2004
CONTRAVENTIONS AND PENALTIES

Bylaw Section	Description The following fines apply to the contraventions below:	A1 Penalty Amount	A2 Discounted Penalty Amount (within 14 days)	A3 Late Payment Penalty Amount (after 28 days)	A4 Compliance Agreement Available	A5 Compliance Agreement Discount
5.13.8	Building/Structure Exceeds Maximum Height Restriction In Provincial Park Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.13.9	Non Permitted Use Of Dock In Provincial Park Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.13.10	Non Permitted Wilderness Camping/Trail/Dock Use In Environmentally Sensitive Areas In Provincial Park Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.13.11	Dock Located Within Riparian Area Boundary In Provincial Park Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.13.12	Picnic Shelter More Than 100% Enclosed In Provincial Park Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.13.13	Fail To Meet Site Specific Regulations In Provincial Park Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.14.1	Non Permitted Use In Wilderness Conservation Zone	\$500.00	\$375.00	\$750.00	Yes	100%
5.14.2	Non Permitted Building In Wilderness Conservation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.14.3	Non Permitted Structure In Wilderness Conservation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.14.4	Exceed Maximum Lot Coverage Restriction In Wilderness Conservation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.14.5	Encroachment Of Building/Structure Into Setback In Wilderness Conservation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.14.6	Building/Structure Exceeds Maximum Height Restriction In Wilderness Conservation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.14.7	Non Permitted Wilderness Camping/Trail Use In Environmentally Sensitive Areas In Wilderness Conservation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.14.8	Protective Shelter Not Open On At Least One Side In Wilderness Conservation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.14.9	Non Permitted Use Of Pedestrian Trail In Wilderness Conservation Zone	\$350.00	\$262.50	\$525.00	Yes	100%

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5.15.1	Non Permitted Use In Nature Reserve Zone	\$500.00	\$375.00	\$750.00	Yes	100%
5.15.2	Non Permitted Building In Nature Reserve Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.15.3	Non Permitted Structure In Nature Reserve Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.15.4	Exceed Maximum Lot Coverage Restriction In Nature Reserve Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.15.5	Encroachment Of Building/Structure Into Setback In Nature Reserve Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.15.6	Building/Structure Exceeds Maximum Height Restriction In Nature Reserve Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.15.7	Protective Shelter Not Open On At Least One Side In Nature Reserve Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.15.8	Non Permitted Use Of Trail In Nature Reserve Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.16.1	Non Permitted Use In Marine General Zone	\$500.00	\$375.00	\$750.00	Yes	100%
5.16.2	Non Permitted Building In Marine General Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.16.3	Non Permitted Structure In Marine General Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.16.4	Area Covered By Dock Floats Exceeds Maximum Area Restriction In Marine General Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.16.5	Area Covered By Dock Floats Exceeds Maximum Area Restriction Where Upland Parcel Subdivision Potential Exists And No Neighbourhood Dock Exists In Marine General Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.16.6	Area Covered By Seasonal Floats Exceeds Maximum Area Restriction In Marine General Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.16.7	Ramp/Walkway Exceeds Maximum Width Restriction In Marine General Zone	\$350.00	\$262.50	\$525.00	Yes	100%

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5.16.8	Ramp Does Not Have Minimum Clearance Above Natural Boundary Of The Sea In Marine General Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.16.9	Gear Lockers Exceed Maximum Height Restriction In Marine General Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.16.10	Non Permitted Anchorage/Moorage Use In Marine General Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.16.11	Non Permitted Location Of Dock On Beach In Marine General Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.16.12a	Anchorage/Moorage Structure Negatively Impacts Eelgrass Meadows/Kelp Beds/Shellfish Beds In Marine General Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.16.12b	Anchorage/Moorage Structure Does Not Bear BMP Certification Mark In Marine General Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.16.12c	Anchorage/Moorage Structure Restricts Movement Of Aquatic Life Requiring Shallow Water In Marine General Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.16.13	Excavation/Filling Of Seabed/Intertidal Foreshore/Adjacent Land When Placing Structures Associated With Anchorage/Moorage In Marine General Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.16.14	Bulkheads For Docks Located On Foreshore In Marine General Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.16.15	Lights On Dock Shine Into Lot Not Served By Dock In Marine General Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.16.16	Fail To Meet Site Specific Regulations In Marine Zones	\$350.00	\$262.50	\$525.00	Yes	100%
5.17.1	Non Permitted Use In Marine Transportation Zone	\$500.00	\$375.00	\$750.00	Yes	100%
5.17.2	Non Permitted Building In Marine Transportation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.17.3	Non Permitted Structure In Marine Transportation Zone	\$350.00	\$262.50	\$525.00	Yes	100%

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5.17.4	Non Permitted Siting Of Dock Float At Public Wharf In Marine Transportation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.17.5	Wharfhead Exceeds Maximum Area Restriction In Marine Transportation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.17.6	Barge Ramp Exceeds Width Restriction In Marine Transportation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.17.7	Building Exceeds Maximum Floor Area Restriction In Marine Transportation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.17.8	Building Exceeds Maximum Height Restriction In Marine Transportation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.18.1	Non Permitted Use In Marine Log Storage Zone	\$500.00	\$375.00	\$750.00	Yes	100%
5.18.2	Non Permitted Building In Marine Log Storage Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.18.3	Non Permitted Structure In Marine Log Storage Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.18.4	Exceed Maximum Area Coverage Restriction For Dock Floats In Marine Log Storage Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.18.5	Exceed Width Restriction Of Ramp/Walkway In Marine Log Storage Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.18.6	Exceed Height Restriction In Marine Log Storage Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.18.7	Non Permitted Building/Structure Constructed/Erected On Float/Wharf In Marine Log Storage Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.18.8	Natural Rock Face Of Adjacent Upland Used As Sign In Marine Log Storage Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.18.9	Non Permitted Use Of Dock Serving Upland Residential Use In Marine Log Storage Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.19.1	Non Permitted Use In Marine Conservation Zone	\$500.00	\$375.00	\$750.00	Yes	100%

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5.19.2	Non Permitted Structure In Marine Conservation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.19.3	Structure Exceeds Maximum Height Restriction In Marine Conservation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.20.1	Non Permitted Use In Yacht Club Outstation Zone	\$500.00	\$375.00	\$750.00	Yes	100%
5.20.2	More Than One Yacht Club Outstation In Yacht Club Outstation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.20.3	Non Permitted Building In Yacht Club Outstation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.20.4	Non Permitted Structure In The Upland Area In Yacht Club Outstation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.20.5	Non Permitted Structure In The Marine Area In Yacht Club Outstation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.20.6	Dock Float Exceeds Width Restriction In Yacht Club Outstation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.20.7	Ramp/Walkway To Access Float Exceeds Width Restriction In Yacht Club Outstation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.20.8	Encroachment Of Structure In Marine Area Into Setback In Yacht Club Outstation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.20.9	Encroachment Of Building/Structure In Upland Area Into Setback In Yacht Club Outstation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.20.10	Building/Structure In Upland Area Exceeds Height Restriction In Yacht Club Outstation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.20.11	Gear Locker Exceeds Height Restriction In Yacht Club Outstation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.20.12	Buildings/Structures In Upland Area Exceed Maximum Total Lot Coverage Restriction In Yacht Club Outstation Zone	\$350.00	\$262.50	\$525.00	Yes	100%

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5.20.13	Non Permitted Structure Constructed/Erected On Float/Wharf In Yacht Club Outstation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.20.14	Dwelling Unit In Non Permitted Area In Yacht Club Outstation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.20.15	Overnight Accommodation Not Limited To Dwelling Unit For Residential Caretaker In Yacht Club Outstation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.20.17	Fail To Meet Site Specific Regulations In Yacht Club Outstation Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.21.1	Non Permitted Use In Water Brigade Bay Zone	\$500.00	\$375.00	\$750.00	Yes	100%
5.21.2	Non Permitted Structure In Water Brigade Bay Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.21.3	Encroachment Of Dock Into Setback In Water Brigade Bay Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.21.4	Ramp/Walkway Exceeds Maximum Width Restriction In Water Brigade Bay Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.21.5	Non Permitted Building/Structure Constructed/Erected/Placed On Seasonal Float In Water Brigade Bay Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.21.6	Seasonal Float Permanently Affixed And/Or Accessed In Way Other Than From Upland Via Pedestrian Ramp Affixed To Upland In Water Brigade Bay Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.21.7	Seasonal Float Not Removed And Stored From October To March In Water Brigade Bay Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.21.8	Non Permitted Building/Structure Constructed/Placed On Neighbourhood Dock Or Gear Locker More Than 2 Meters In Height In Water Brigade Bay Zone	\$350.00	\$262.50	\$525.00	Yes	100%

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5.21.9	Neighbourhood Dock Use Not Linked Through Binding Legal Agreement In Water Brigade Bay Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.21.10	Non Permitted Float House In Water Brigade Bay Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.21.11	Occupancy Of Boat/Vessel That Is Moored/Docked/Beached For More Than 31 Consecutive Days Or An Interrupted Period Of More Than 183 Days In Calendar Year In Water Brigade Bay Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.21.12	Seasonal/Neighbourhood Dock Used For Commercial/Industrial/Institutional Use In Water Brigade Bay Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.22.1	Non Permitted Use In Gambier Island Sea Ranch Comprehensive Development 1 Zone	\$500.00	\$375.0	\$750.00	Yes	100%
5.22.8	Encroachment Of Building/Structure Into Setback In Area 1 In Gambier Island Sea Ranch Comprehensive Development 1 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.22.9	Exceed Maximum Floor Area Restriction For A Single Family Dwelling In Area 1 In Gambier Island Sea Ranch Comprehensive Development 1 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.22.10	Exceed Maximum Floor Area Restriction For Associated Secondary Dwelling In Area 1 In Gambier Island Sea Ranch Comprehensive Development 1 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.22.11	Floor Area Of Uppermost Floor In Two/Three Storey Building Exceeds 67% Of The Floor Area Of The Floor Immediately Below It In Area 1 In Gambier Island Sea Ranch Comprehensive Development 1 Zone	\$350.00	\$262.50	\$525.00	Yes	100%

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5.22.12	Exceed Eave Height Restriction On Uppermost Floor Of Building In Area 1 In Gambier Island Sea Ranch Comprehensive Development 1 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.22.13	Dwelling Unit Located Within 5 Metres Of Any Other Dwelling Unit On Same Lot In Area 1 In Gambier Island Sea Ranch Comprehensive Development 1 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.22.14	Encroachment Of Building/Structure Into Setback In Areas 1,2 And 3 In Gambier Island Sea Ranch Comprehensive Development 1 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.22.15	Encroachment Of Building/Structure Accessory To Farm Use Into Setback In Areas 1, 2 And 3 In Gambier Island Sea Ranch Comprehensive Development 1 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.22.16	Encroachment Of Animal Enclosure/Pens/Feeding Troughs/Animal Runs/Manure Piles Into Setback In Areas 1, 2 And 3 In Gambier Island Sea Ranch Comprehensive Development 1 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.22.17	Non Permitted Temporary Overnight Accommodation In Gambier Island Sea Ranch Comprehensive Development 1 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
5.22.18	Farm Use, Permitted Building/Structure And Density Does Not Meet Regulations Specified In 3.13 In Gambier Island Sea Ranch Comprehensive Development 1 Zone	\$350.00	\$262.50	\$525.00	Yes	100%
6.2	Non Permitted Sign	\$200.00	\$150.00	\$300.00	Yes	100%
6.3.2	Exempt Signs Greater Than Three Square Metres In Area	\$200.00	\$150.00	\$300.00	Yes	100%
6.3.3	Real Estate Signs Exceed 1 Square Metre In Area/Not Located On Subject	\$200.00	\$150.00	\$300.00	Yes	100%

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	Property/Not Removed Within 14 Days Of Property Sale/Lease					
6.4	Obsolete Sign Not Removed Within 30 Days After Operation Of Business/Service Ends	\$200.00	\$150.00	\$300.00	Yes	100%
6.5	Exceed Maximum Number/Area Of Signs	\$200.00	\$150.00	\$300.00	Yes	100%
7.1	Required Off-Street Parking Spaces Not Located On/Adjacent To Lot On Which Use Is Located	\$200.00	\$150.00	\$300.00	Yes	100%
7.2.1	Parking Space Does Not Meet Size Requirements	\$200.00	\$150.00	\$300.00	Yes	100%
7.2.2	Improper Manoeuvring Aisle	\$200.00	\$150.00	\$300.00	Yes	100%
7.2.3	Improper Parking Space Surface	\$200.00	\$150.00	\$300.00	Yes	100%
7.2.4	Parking Area Lighting Fixtures Directs/Reflects Light Onto Adjacent Residential Use	\$200.00	\$150.00	\$300.00	Yes	100%
7.2.5	Inadequate Landscape Screen For Vehicles Associated With Contractor's Business/Industrial Use	\$200.00	\$150.00	\$300.00	Yes	100%
7.2.6	Fail To Provide Minimum Bicycle Parking	\$200.00	\$150.00	\$300.00	Yes	100%
7.5	Fail To Provide Minimum Parking Spaces	\$200.00	\$150.00	\$300.00	Yes	100%

DATE OF MEETING: April 27, 2019

TO: Gambier Island Local Trust Committee

FROM: Jaime Dubyna, Planner 2
Northern Team

SUBJECT: **Development Variance Permit Application**
Applicant: Rebecca McCleery
Owner: Michael Delesalle; Dale Delesalle; Danielle Mervin
Location: PID 009-414-843; LOT 23, BLOCK A, DISTRICT LOT 1017, PLAN 10306;
(564 Vaucroft Rd., North Thormanby Island)

RECOMMENDATION

1. That the Gambier Island Local Trust Committee deny issuance of application GM-DVP-2019.1 for the following reasons:
 - a) The proposal is inconsistent with policies in the Gambier Associated Islands Official Community Plan Bylaw No. 109, 2009 to ensure the protection of the foreshore, shoreline and natural coastal and intertidal processes, and promote shoreline structures that lessen impacts on or enhance ecological functions of shorelines;
 - b) The proposal is inconsistent with policies in the Gambier Associated Islands Official Community Plan Bylaw No. 109, 2009 to reduce visual impacts; and,
 - c) Any variance requests for the siting of the existing rock wall along the shoreline of the subject property should be accompanied by an assessment report and plans prepared by a qualified coastal engineer to address the feasibility of green shore alternatives.
2. That the Gambier Island Local Trust Committee not forward the application to Islands Trust Bylaw Compliance and Enforcement and that no enforcement be undertaken regarding the siting of the existing rock wall within the 7.5 metre setback from the natural boundary of the sea, identified on the survey plan by Strait Land Surveying, dated March 26, 2019.
3. That the Gambier Island Local Trust Committee not forward the application to Islands Trust Bylaw Compliance and Enforcement and that no enforcement be undertaken regarding the size and siting of the existing deck within the interior side lot line setback, identified on the survey plan by Strait Land Surveying, dated March 26, 2019.
4. That the Gambier Island Local Trust Committee update the "Thormanby Islands Foreshore Protection Pilot Project" to include a review of setback regulations, and designation of a development permit area for the purposes of protecting the natural environment, its ecosystems and biological diversity and protection of development from hazardous conditions.

REPORT SUMMARY

The Gambier Island Local Trust Committee (LTC) is asked to consider Development Variance Permit (DVP) application GM-DVP-2019.1 to authorize:

- a proposed increase in height of two proposed accessory buildings;
- the siting of an existing rock wall within 0.0 metres from the natural boundary of the sea; and,
- the siting of an existing deck within 0.0 metres of the interior side lot line setback, and that exceeds the permitted 10 m² area of a deck or platform within the setback from the natural boundary of the sea.

The proposed height of the accessory buildings, the siting of the existing rock wall, and the siting and size of the existing deck are not consistent with the regulations in the Gambier Associated Islands Land Use Bylaw No. 120, 2013 (LUB). Staff does not recommend approval of the requested variances for reasons outlined in the staff report.

Staff recommend that no bylaw enforcement be undertaken on the siting of the existing rock wall and the existing deck, nor on the size of the existing deck.

Staff also recommends that given the questionable location of the present natural boundary of the sea on North Thormanby Island, specifically within the Vaucroft Improvement District, that the LTC identify a project to review and update setback regulations and to potentially designate a development permit area (DPA).

BACKGROUND

The subject property is located at 564 Vaucroft Road, North Thormanby Island, and is approximately 0.13 ha (0.32 acres) in area (Figure 1). The former single family dwelling has been removed to allow for the construction of a proposed single family dwelling and two accessory buildings on the subject property. There is an existing rock wall (rip rap revetment) and wooden deck located within the setback from the natural boundary of the sea.

Staff have reviewed a building permit application from the Sunshine Coast Regulation District (SCRD) for the proposed single family dwelling that sites the principal dwelling 9.25 metres from the “limit of fill – bottom rock wall”, as shown on the site plan by Strait Land Surveying, dated March 26, 2019. The present natural boundary of the sea has not been identified.

The applicant proposes to vary the following regulations in the LUB:

- Article 3.3(3)(f), which requires a 7.5 metre setback from the natural boundary of the sea for buildings and structures, with exceptions, for the existing rock wall which is located 0.0 metres from the natural boundary of the sea.
- Article 3.3(3)(f), which allows a deck or platform which does not exceed 1.2 metre above natural grade, and which does not exceed an area of 10 m², to be sited within the setback from the natural boundary of the sea. The portion of the existing deck on the subject property is measured to be 12.4 m² in area on the subject property.
- Article 5.1(6)(b), which requires a 1.5 metre setback from any interior side lot line for the existing deck, which is sited 0.0 m from the interior side lot line. A 6.3 m² portion of the existing deck is sited over the lot line onto the neighbouring property to the east (Lot 22, Plan 10306). The portion of the existing deck on the neighbouring lot is not subject to the application GM-DVP-2019.1.
- Subsection 5.1(8), which allows an accessory building to be one storey and 5.2 metres in height, for proposed Accessory Building ‘A’ to be two storeys and 6.4 metres in height, and for proposed Accessory Building ‘B’ to be two storeys and 6.8 metres in height.

Details about the subject property are found in Attachment 1. The draft DVP and public notice are found in Attachment 2. A copy of a geotechnical assessment report by Arya Engineering, dated July 31, 2018, is found in Attachment 3.

Staff have not received letters of support or opposition at this time.

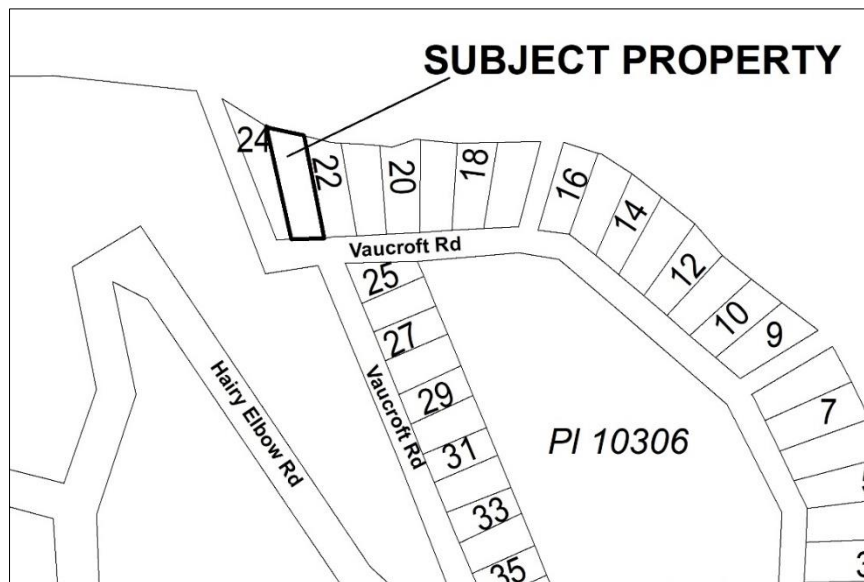


Figure 1. Subject property map.

ANALYSIS

Policy/Regulatory

Islands Trust Policy Statement:

Staff have reviewed the Islands Trust Policy Statement (ITPS) and have highlighted the following policies as relevant to this application:

- **Directive Policy 3.4.5** Local trust committees and island municipalities shall, in their official community plans and regulatory bylaws, address the planning for and regulation of development in coastal regions to protect natural coastal processes.
- **Directive Policy 5.1.3** Local trust committees and island municipalities shall, in their official community plans and regulatory bylaws, address the protection of views, scenic areas and distinctive features contributing to the overall visual quality and scenic value of the Trust Area.
- **Directive Policy 5.2.6** Local trust committees and island municipalities shall, in their official community plans and regulatory bylaws, address the identification of areas hazardous to development, including areas subject to flooding, erosion or slope instability, and strategies to direct development away from such hazards.

Official Community Plan:

The Gambier Associated Islands Official Community Plan Bylaw No. 109, 2009 (OCP) designates the subject property as **R – Residential**. The R land use designation includes objectives and policies that support seasonal residential use and that preserve the low density residential character of North Thormanby Island.

The following policies are pertinent to this application:

- **Policy 3.9.10** The LTC should, through zoning, the use of setbacks and, where there is supporting mapping, the use of development permit areas:
 - (a) protect the integrity of the foreshore, shoreline, and natural coastal and intertidal processes;
 - (b) discourage uses that disrupt natural features and processes;
 - (c) allow for natural erosion and accretion processes, without endangering structures;
 - (d) encourage owners of shoreline properties to retain, wherever possible, natural vegetation and natural features on areas adjacent to the foreshore; and
 - (e) discourage filling, deposit, excavation, or removal of foreshore and seabed materials, except for maintenance of navigational channels and existing facilities.
- **Policy 3.9.11** The LTC should only give consideration to permitting structural modification of the shoreline, such as seawalls, where it can be demonstrated to be necessary to support or protect a permitted or existing use or structure. Preference should be given to shoreline structures that have a lesser impact or enhance ecological functions, including vegetation enhancement, drainage control, beach enhancement, anchor trees, and gravel placement. Shoreline stabilization should not interrupt natural processes solely to reduce erosion of undeveloped land. Vegetation which helps stabilise banks, reduce erosion and provide habitat should be retained or enhanced.
- **Policy 3.15.2** The LTC should use appropriate tools, including setbacks and development permit area designations, to restrict and manage development in areas known to be subject to hazardous conditions.

For North and South Thormanby Islands, the OCP provides the following relevant policies:

- **Policy 4.3.9** Provisions should be made in the zoning regulations for existing buildings and sites. The LTC should consider variance applications for siting new development on lots in the Vaucroft Improvement District impacted by historic erosion events where the applicant can demonstrate that no hazard exists, that there would be no impact on sensitive terrestrial or marine ecosystems or habitat, and that the proposed construction would not create an undue visual impact.
- **Policy 4.3.17** The lands immediately upland from the foreshore may be designated as a development permit area in order to protect development from hazardous conditions and to provide for protection of shoreline ecosystems from development.

A list of relevant OCP policies is provided in Attachment 1.

Land Use Bylaw:

The subject property is within the **SRR – Small Lot Rural Residential** zone in the LUB. The SRR zone permits residential use and accessory uses, buildings and structures.

Table 1 summarizes the regulations that pertain to this lot, and how the proposal complies or does not comply with the regulations. Attachment 1 provides additional LUB regulations and definitions relevant to this application.

Table 1. Relevant LUB Regulations.

Relevant Regulation	Requirement under LUB No. 120	Proposal in the Application
Permitted Uses	- Residential - Accessory	- Single family dwelling = OK - Accessory (sleeping cabins) = OK
Density	- One (1) dwelling per lot - Two (2) accessory buildings per lot	1 single family dwelling = OK 2 sleeping cabins = OK
	- Lot coverage – 25% - Floor area ratio – 0.20	- Proposed lot coverage - <25% (~24.89%) = OK - Proposed floor area ratio - <0.20 (~0.16) = OK
Size	Height: - Max. for dwelling is 9 m - Max. for accessory building or structure is one storey and 5.2 m	Proposed height: - Dwelling - <9 m (~8.02 m) = OK Accessory building A – 6.4 m = Variance required Accessory building B – 6.8 m = Variance required
	Size of deck or platform permitted within setback from natural boundary of sea: 10 m²	Existing deck (area on subject property) - 12.4 m² = Variance required
Siting	Setbacks from: - Front lot line – 6 m - Interior or exterior side lot line – 1.5 m - Rear lot line – 7.5 m	Proposed lot line setbacks: - FLL – 6m = OK ISLL – 0.0 m = Variance required - RLL – not applicable
General Siting and Setbacks	Setback from natural boundary of sea for buildings and structures, other than exceptions described in Subsection 3.3(3): 7.5 m	- Single family dwelling – unknown = measured from limit of fill-bottom rock wall Existing rock wall – 0.0 m = Variance required

Issues and Opportunities

Existing Rock Wall

There are several policies that do not support the existence of structures within the foreshore that may impede natural features and processes. OCP Policy 3.9.9 suggests that the LTC should limit structures within the setback from the sea to those related to permitted marine uses and to those structures necessary for access to the foreshore or permitted docks. OCP Policy 3.9.10 supports the use of setbacks and development permit areas to protect the integrity of the foreshore and natural coastal processes, discourages uses that disrupt natural features and processes, and encourages property owners to retain natural vegetation and features adjacent to the foreshore.

OCP Policy 3.9.11 provides that the LTC may give consideration to permit shoreline structural modifications where it is demonstrated to be necessary to support or protect permitted or existing uses or structures.

At this time, it is unclear to staff whether the existing rock wall impedes natural features and/or disrupts natural coastal processes, nor whether it is necessary to support or protect permitted uses and structures on the lot. In its geotechnical assessment, Arya Engineering notes that the condition of the revetment should be assessed periodically, “to reduce the lots exposure to erosion and the inland recession of the foreshore.” Arya Engineering does not, however, discuss green shores alternative or “soft” modification measures such as vegetation

enhancement. The LTC may request that the applicant submit an assessment report by a qualified coastal engineer to determine whether the existing rock wall disrupts the integrity of the foreshore and natural coastal processes, and to address whether green shores alternatives are feasible.

Staff note that authorization by the Province in the form of a Crown tenure or permission is required for structures that extend beyond the current natural boundary. At the time of this report, iMapBC does not identify an active Crown tenure or permission, or application, for the existing rock wall.

Existing Deck

Policy 3.9.9 of the OCP suggests that bylaw provisions limit structures within the setback from the sea to those related to permitted marine uses and those necessary for access to the foreshore or to permitted docks, and Policy 4.3.5 of the OCP permits uses and structures “customarily considered to be accessory to the residential use of the island”.

Subsection 3.3(3) of the LUB permits decks or platforms within 7.5 metres of the natural boundary of the sea provided they do not exceed a height of 1.2 metres and do not exceed an area of 10 m² per lot. The existing deck requires a variance for the following:

- To increase the area of a deck within 7.5 metres of the natural boundary of the sea from 10 m² to 12.4 m², and
- To reduce the setback from the interior side lot line from 1.5 metres to 0.0 metres.

It is noted that a 6.3 m² portion of the existing deck encroaches onto the neighbouring property to the east (PID 016-744-110). Staff received confirmation via email correspondence that one of the neighbouring property owners acknowledges and does not find issue with the encroachment of the existing deck onto their lot. Staff note that were the LTC to issue the proposed DVP as it relates to the existing deck, the variance would not authorize the portion encroaching onto the neighbouring property. Were the LTC to issue the proposed DVP as it relates to the existing deck, the LTC may require that issuance of the permit be conditional upon removal of the portion of the deck encroaching onto the neighbouring property.

Staff have not been provided with a precise date of construction of the existing deck, and it is unclear whether the deck is legally non-conforming. The repealed Sunshine Coast Regional District Bylaw No. 96 Land Use Regulation, adopted in 1976 and previously in effect until the adoption of LUB No. 120 in 2013, did not include provisions permitting the siting of a deck or platform within the setback from the natural boundary of the sea. The owner and applicant have estimated the date of construction to be anywhere from 30 to 40 years ago.

Based on the above noted regulations, staff consider the OCP and LUB to be accommodating towards a deck or platform sited within the setback from the sea, within reason. Staff do not recommend approval of the proposed variance as it relates to the existing deck, as approval would allow the deck to be permitted indefinitely at its current size and location. Rather, staff are inclined to recommend that the variance as it relates to the existing deck not be issued, that no bylaw enforcement action be taken on the existing deck, and that the deck exist at its current size and location until such time that it is beyond repair or damaged. Upon the completion of the deck’s life, the property owner could construct a deck that complies with the Land Use Bylaw in effect at the time of construction.

Staff note that authorization by the Province in the form of a Crown tenure or permission is required for structures that extend beyond the current natural boundary. At the time of this report, iMapBC does not identify an active Crown tenure or permission, or application, for the deck.

Height Variance

OCP Policy 3.2.1 provides that LTC bylaws should “preserve the relatively low density residential character of the area”. OCP Policy 4.3.9 supports proposed construction that “would not create an undue visual impact”. These policies are reflected in Subsection 5.1(8) of the LUB that requires a maximum height of 5.2 metres and one storey for accessory buildings within the SRR zone.

This application proposes to increase the height of two proposed accessory buildings by 1.2 and 1.6 metres, and to two storeys. The applicant has indicated the variance is required in order to meet the recommended Flood Construction Level (FCL) of 2.6 metres above the higher high water large tide (HHWLT). Staff note that the LUB does not include a definition for “storey”, however, in its definition of “floor area” the LUB excludes “any space where a floor and a ceiling are less than 1.2 metres (4 feet) apart”.

It is noted that the area identified as the “storage mezzanine” is measured to be approximately 1.96 m (6.44 feet) in proposed Accessory Building ‘A’ and 1.94 m (6.35 m) in proposed Accessory Building ‘B’. Using the definition of floor area in the LUB, where 1.2 metres (4 feet) or more would be calculated as part of the floor area of a building, staff conclude that the proposed height of the “storage mezzanine” necessitates a variance of Subsection 5.1(8) as it relates to the permitted number of storeys of an accessory building.

While the variance to increase the height may be supportable for the buildings to meet the recommended FCL, staff opine that the additional height and storey of each building could be reduced to meet the permitted height of 5.2 metres in the LUB, aligning with the OCP policies supporting low density residential character and reducing visual impacts to the area.

Restrictive Covenant

Staff note that a restrictive covenant (R130986) is charged to the title of the subject property held by Pacific Resorts Ltd. and dated October 27, 1959. The restrictive covenant restricts the use on the subject property to the following:

- One dwelling, building or structure to be used for private residential purposes;
- One sleeping cabin with no running water;
- Lots numbered 2 through 23 not permitted to build, construct or erect any building within 50 feet (15.24 metres) of the high water mark, nor build, construct or erect any fence or fencing within 10 feet of the high water mark.

It is noted that the proposed single family dwelling is sited within the ‘50 feet’ setback required by the covenant. Staff note that the applicant proposes to construct two (2) sleeping cabins, both with bathrooms.

Neither the LTC nor the Sunshine Coast Regional District (SCRD) Building Department has any obligation or requirement to enforce the terms of a private covenant. It is the property owner’s obligation to meet any requirements of legal instruments that are charged to the title. However, the LTC could require that connection to running water be limited to one of the proposed accessory buildings in respect of the conditions of the covenant.

Updates to Setbacks

The historic erosion event and the low-lying foreshore of the Vaucroft neighbourhood has resulted in properties with reduced upland areas and residential development that appears to be within 7.5 metres of the present natural boundary of the sea. As well, it is unclear where the present natural boundary of the sea is located at this site, as noted in the site plan by Strait Land Surveying, and generally for the Vaucroft neighbourhood.

Effective January 1, 2018, the Province's amended '[Flood Hazard Area Land Use Management Guidelines](#)', require that local governments must consider the amended guidelines when developing bylaws for designated sea level rise planning areas. The guidelines note that in the absence of site-specific studies by a qualified professional, it is recommended that the provincial minimum requirements for land use management in flood hazard areas be used. The minimum requirements are shown in Figure 2:

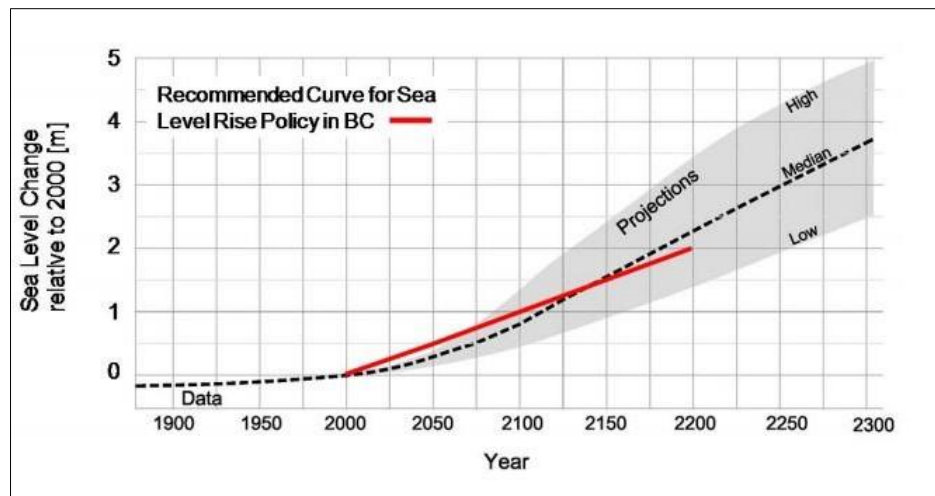


Figure 2. Recommended Global Sea Level Rise Curve for Planning and Design in BC

Given that the actual location of the present natural boundary of the sea is questionable, that low-lying areas are at risk of hazardous events and sea level rise, and the Province's amended flood hazard area guidelines, staff have recommended that the LTC include a review and update of setback regulations as part of the "Thormanby Islands Foreshore Protection Pilot Project".

Development Permit Area

Staff have also recommended that the LTC consider including designation of a development permit area (DPA) as part of the "Thormanby Islands Foreshore Protection Pilot Project".

Pursuant to Section 488 of the *Local Government Act* (LGA), a local government may designate a DPA within its official community plan for the following purposes:

- (a) *protection of the natural environment, its ecosystems and biological diversity;*
- (b) *protection of development from hazardous conditions;*

Currently, there are no DPAs designated on North Thormanby Island. However, it is noted there are several OCP policies that support the designation of DPAs within the Gambier Associated Islands. These policies encourage the designation of DPAs to:

- protect the integrity of the foreshore, shoreline, and natural coastal and intertidal processes;
- discourage uses that disrupt natural features and processes;
- allow for natural erosion and accretion processes, without endangering structures;
- encourage owners of shoreline properties to retain, wherever possible, natural vegetation and natural features on areas adjacent to the foreshore;
- discourage filling, deposit, excavation, or removal of foreshore and seabed materials, except for maintenance of navigational channels and existing facilities; and,
- restrict and manage development in areas known to be subject to hazardous conditions.

Specifically, the OCP includes the following policy in respect of North (and South) Thormanby Island:

4.3.17 *The lands immediately upland from the foreshore may be designated as a development permit area in order to protect development from hazardous conditions and to provide for protection of shoreline ecosystems from development.*

A DPA is a tool to guide future development in respect of protecting the natural environment and protecting development from hazardous conditions, and provides an opportunity for the LTC to incorporate ITPS and OCP policies that strive to protect foreshore and shoreline integrity and natural coastal processes, contribute to visual and scenic values, and to direct development away from hazardous areas.

Consultation

No community consultation beyond the public notification requirements has been undertaken. A Community Information Meeting is not required for this application.

Statutory Requirements

In accordance with Section 499 of the *Local Government Act* (LGA) and Section 8 of the Gambier Island Development Procedures Bylaw No. 50, statutory notice of the proposed variance was distributed to neighbouring property owners and tenants within 100 metres of the subject property's boundary on Thursday, April 11, 2019.

Written correspondence in support or opposition to the requested variances had not been received at the time of report preparation. Any correspondence received will be presented at the LTC meeting on Saturday, April 27, 2019. Correspondence may be sent to northinfo@islandstrust.bc.ca.

Rationale for Recommendation

Staff have analysed the application and find that it is generally inconsistent with OCP policies designed to protect the foreshore, shoreline and natural coastal and intertidal processes; to lessen impact or enhance ecological functions of shorelines; to restrict and manage development in areas known to be subject to hazardous conditions; and, to reduce visual impacts.

Staff conclude that the proposed accessory buildings could be redesigned in such a way to meet the LUB height regulations for accessory buildings while also meeting the recommended FCL of 2.6 metres above the HHWLT specified by Arya Engineering in its Geotechnical Assessment, dated July 31, 2018.

Staff conclude that the current LUB accommodates a 10 m² deck or platform within the setback of the natural boundary of the sea, and that the property owners may construct such a deck or platform that complies with the current LUB.

While staff are not qualified to assess whether structural modification of the shoreline (i.e. the existing rock wall) are necessary to support or protect permitted or existing uses or structures on the lot, OCP policy 3.9.11 indicates that preference should be given to shoreline structures that lessen impacts or enhance ecological functions. More information may be necessary to determine if the existing rock wall disrupts natural coastal processes, or is necessary to protect the upland area of the subject property.

Staff recommends that an update to the "Thormanby Islands Foreshore Protection Pilot Project" include a review and update to setback regulations, particularly related to the location of buildings and structures with respect to the natural boundary of the sea and in respect of the amended provincial 'Flood Hazard Area Land Use Management Guidelines', and designation of a development permit area be considered by the LTC.

The staff recommendation is noted on Page 1 of the report.

ALTERNATIVES

The LTC may consider the following alternatives to the staff recommendation:

1. Amend and issue the development variance permit with conditions

The LTC may approve part of the application and amend the draft DVP, subject to conditions set by the LTC. Conditions could include removal of the portion of the existing deck on the neighbouring property, for example. Recommended wording for the resolution is as follows:

That the Gambier Island Local Trust Committee approve issuance of application GM-DVP-2019.1, as amended, to allow for the proposed height variance of the two accessory buildings shown on Schedule "A" – Site Plan, attached to and forming part of the permit, conditional upon the subject property being brought into compliance with the current Gambier Associated Island Land Use Bylaw No. 120, 2013.

2. Request further information

The LTC defer further consideration of the requested variance and request additional information from staff or the applicant. Recommended wording for the resolution is as follows:

That the Gambier Island Local Trust Committee request that the following information be provided prior to further consideration of Development Variance Permit GM-DVP-2019.1 [specify requested information].

3. Deny the application and forward to bylaw enforcement

An alternative to staff's recommendation regarding the siting of the existing deck and existing rock wall would be to forward the file to Islands Trust Bylaw Enforcement. Recommended wording for the resolution is as follows:

That the Gambier Island Local Trust Committee deny issuance of application GM-DVP-2019.1 and forward the file to bylaw enforcement for the siting of the existing rock wall and the siting and size of the existing deck.

NEXT STEPS

If the LTC concurs with the staff recommendations, the applicant will be advised to revise the building plans to ensure the proposed accessory buildings meet the height regulations in the LUB, prior to submission to the SCRD. No bylaw enforcement will be undertaken regarding the rock wall structure within the setback from the natural boundary of the sea, and no bylaw enforcement will be undertaken regarding the existing deck. Front Counter BC will be notified of the unauthorized rock wall and deck within the marine foreshore.

Submitted By:	Jaime Dubyna, MSc.Pl. Planner 2	April 15, 2019
Concurrence:	Ann Kjerulf, MCIP, RPP Regional Planning Manager	April 18, 2019

ATTACHMENTS

1. Attachment 1 – Site Context
2. Attachment 2 – Draft Development Variance Permit and Notice
3. Attachment 3 – Geotechnical Assessment, by Arya Engineering, dated July 31, 2018
4. Attachment 4 – Copy of Survey Plan, by Strait Land Surveying, dated March 26, 2019

ATTACHMENT 1 – SITE CONTEXT

LOCATION

Legal Description	LOT 23, BLOCK A, DISTRICT LOT 1017, PLAN 10306
PID	009-414-843
Civic Address	564 Vaucroft Road, North Thormanby Island
Lot Size	0.13 ha (0.32 acres)

LAND USE

Current Land Use	Bare land (historic dwelling unit removed)
Surrounding Land Use	Residential; Recreational



FIGURE 1. 2014 ORTHOPHOTO OF SUBJECT PROPERTY (SHOWN IN YELLOW).

HISTORICAL ACTIVITY

File No.	Purpose
GM-BP-2019.2	Construction of a single family dwelling.

POLICY/REGULATORY

Official Community Plan Designations	Land Use Designation: R – Residential Development Permit Area: None Relevant OCP policies include: 3.2 Residential Land Use Policies 3.2.1 The traditional land use in the plan area has been largely seasonal
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	residential and LTC bylaw provisions should preserve the relatively low density residential character of the area. 3.9 Policies for Marine and Shoreline Uses 3.9.1 The LTC should identify and give consideration to protecting ecologically sensitive marine areas. 3.9.9 The LTC should use bylaw provisions to limit structures within the setback from the sea to those related to permitted marine use and those necessary for access to the foreshore or to permitted docks. 3.9.10 The LTC should, through zoning, the use of setbacks and, where there is supporting mapping, the use of development permit areas: (a) protect the integrity of the foreshore, shoreline, and natural coastal and intertidal processes; (b) discourage uses that disrupt natural features and processes; (c) allow for natural erosion and accretion processes, without endangering structures; (d) encourage owners of shoreline properties to retain, wherever possible, natural vegetation and natural features on areas adjacent to the foreshore; and (e) discourage filling, deposit, excavation, or removal of foreshore and seabed materials, except for maintenance of navigational channels and existing facilities. 3.9.11 The LTC should only give consideration to permitting structural modification of the shoreline, such as seawalls, where it can be demonstrated to be necessary to support or protect a permitted or existing use or structure. Preference should be given to shoreline structures that have a lesser impact or enhance ecological functions, including vegetation enhancement, drainage control, beach enhancement, anchor trees, and gravel placement. Shoreline stabilization should not interrupt natural processes solely to reduce erosion of undeveloped land. Vegetation which helps stabilise banks, reduce erosion and provide habitat should be retained or enhanced. 3.11 Culture and Heritage Policies 3.11.3 All development applications will be reviewed by planning staff for the presence of known and recorded archaeological sites. Applicants will be notified if the site includes a known, protected archaeological site. Notification may include direction to engage a professional consulting archaeologist to determine if an archaeological impact assessment is necessary to manage development related impacts. 3.15 Natural Hazards Policies 3.15.1 The LTC should undertake initiatives to identify areas that are hazardous to development, including areas subject to flooding, erosion or slope instability.
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	3.15.2 The LTC should use appropriate tools, including setbacks and development permit area designations, to restrict and manage development in areas known to be subject to hazardous conditions. 4.3 Polices for North and South Thormanby Islands 4.3.4 The principal land use should be residential, in the form of single family dwellings. 4.3.5 Uses and structures customarily considered to be accessory to the residential use of the island should be permitted. 4.3.6 Density for individual properties and locations on the island should be regulated on a site-specific basis. 4.3.9 Provisions should be made in the zoning regulations for existing buildings and sites. The LTC should consider variance applications for siting new development on lots in the Vaucroft Improvement District impacted by historic erosion events where the applicant can demonstrate that no hazard exists, that there would be no impact on sensitive terrestrial or marine ecosystems or habitat, and that the proposed construction would not create an undue visual impact. 4.3.15 Bylaw provisions establishing a maximum floor area for dwellings may be implemented. 4.3.16 Bylaw provisions should establish maximum building height, setbacks and lot coverage. 4.3.17 The lands immediately upland from the foreshore may be designated as a development permit area in order to protect development from hazardous conditions and to provide for protection of shoreline ecosystems from development. 4.3.19 The LTC should undertake initiatives to identify sensitive ecosystems, significant features and natural hazards. 5.3 Climate Change Adaptation and Mitigation 5.3.1 The LTC should, in its bylaw provisions and review of development applications, consider the potential impacts on global climate change and GHG reduction targets.
Land Use Bylaw	Zone: Small Lot Rural Residential (SRR) Relevant LUB regulations include: 2.8 Siting Compliance 2.8 (1) Every applicant for a rezoning, temporary use permit or development variance permit must provide a current plan signed by a B.C. Land Surveyor showing the location on the lot of all existing and proposed buildings and structures in relation to lot and zone boundaries,

	watercourses, and the sea, and in relation to other buildings on the lot, unless the Local Trust Committee determines that the provision of such a plan is not reasonably necessary to establish whether the proposed buildings and structures comply with the siting requirements of this or any other Bylaw. 3.3 Siting and Setback Regulations 3.3 (3) No building or structure may be constructed, reconstructed, moved, extended or located within 7.5 metres (24.6 feet) of the natural boundary of the sea except: (a) one permitted boathouse not exceeding 18.5 m² (200 ft²); (b) propane tanks; (c) utility lines; (d) lifting devices associated with permitted marine uses, including cranes and hoists; (e) stairs, ramps or walkways not exceeding a width of 2.5 metres (8.2 feet), required to access the foreshore or a permitted dock; and (f) decks or platforms which do not exceed a height of 1.2 metres (4 feet) above natural grade, exclusive of railings, and which do not exceed an area of 10 m² (108 ft²) per lot within the setback area. 3.3 (5) Steps, eaves gutters, cornices, sills, chimneys, retaining walls, balconies, decks and sunshades and similar features may project into a required setback area, except a setback from the natural boundary of the sea, a watercourse or a wetland, provided they do not project more than 0.6 metres (2 feet) into the required setback area. 3.5 Accessory Uses, Buildings and Structures 3.5 (1) A building or structure accessory to a dwelling may not be used as a residence but may be used as a sleeping cabin. 5.1 Small Lot Rural Residential – (SRR) 5.1 (1) The following uses are permitted in the SRR zone, subject to the regulations set out in this Section and the general regulations, and all other uses are prohibited: (a) Residential use of a dwelling; and (b) Accessory uses, buildings and structures, including but not limited to home occupations and accessory recreational uses. 5.1 (3) The maximum lot coverage in the SRR zone is 25 percent. 5.1 (4) The maximum floor area ratio of any dwelling in the SRR zone is 0.20. 5.1 (5) The maximum number of accessory buildings permitted in the SRR zone is two (2) per lot. 5.1 (6) The minimum setback for any building or structure in the SRR zone is:
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	(a) Residential 6.0 metres (19.6 feet) from any lot line abutting a highway or private road; (b) 1.5 metres (5 feet) from any interior or exterior side lot line; and (c) 7.5 metres (24.6 feet) from any rear lot line. 5.1 (7) The maximum height for any dwelling in the SRR zone is 9 m (29.5 feet). 5.1 (8) The maximum height for any accessory building or structure in the SRR zone is one storey to a maximum of 5.2 metres (17 feet). The LUB provides the following relevant definitions: “accessory” in relation to a use, building or structure means incidental, secondary and exclusively devoted to a principal use, building or structure expressly permitted by this Bylaw on the same lot and within the same zone, or, if the accessory use, building or structure is located on the common property in a bare land strata plan, on a strata lot in that strata plan. “floor area” means the sum of the horizontal areas of all storeys in a building, measured to the outer surface of the exterior walls, exclusive of any floor area occupied by a cistern used for the collection of rainwater for domestic use or fire protection, and exclusive of any space where a floor and a ceiling are less than 1.2 metres (4 feet) apart, and includes the floor area of balconies, decks, porches and similar projections fully enclosed by siding, glazing, screening or other materials. For certainty if a balcony, deck, porch or similar projection is not fully enclosed then the floor area of such projections is excluded from any calculation of floor area. “floor area ratio” means the ratio of the floor area of a dwelling to the area of the lot on which is located. “height” means the vertical distance between the highest point of a building or structure and the average natural grade, being the average undisturbed elevation of the ground at the perimeter of the building or structure calculated by averaging the elevations at the midpoints of all the exterior walls. In the case of structures on the surface of water, average natural grade shall be the natural boundary for a building or structure fixed to the bed of the water body and the watermark of any floating building or structure. “lot” means any parcel, block or other area in which land is held or into which it is subdivided whether under the Land Title Act or the Strata Property Act. “lot coverage” means the total horizontal area at grade of those portions of a lot that are covered by buildings and structures, exclusive of decks not
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	exceeding 1.2 metres in height at any point, measured to the outermost perimeter of the buildings or structures, divided by the area of the lot, and expressed as a percentage. "lot line" means the boundary of a lot as shown on a plan of survey registered with the BC Land Titles Office or the boundary of a lot as otherwise described under the <i>Land Title Act</i>; and "front lot line" means the lot line that is common to the lot and an abutting highway or access route in a bare land strata plan, and where there are two or more such lot lines the shortest (other than corner cuts) is deemed the front lot line. "interior side lot line" means a lot line that is not a front, rear or exterior side lot line. "natural boundary" means the visible high water mark of any lake, river, stream or other body of water where the presence and action of water are so common and usual, and so long continued in all ordinary years, as to mark upon the soil of the bed of the body of water a character distinct from that of its banks, in vegetation, as well as in the nature of the soil itself. "setback" means the horizontal distance that a building or structure must be sited from a specified lot line, building or feature. "sleeping cabin" means an accessory building, which is not a dwelling unit, does not contain facilities for food preparation or eating, and is used for the temporary sleeping accommodation of non-paying guests of the occupants of a dwelling on the same lot. "structure" means a construction or portion thereof of any kind that is fixed to, supported by or sunk into land or water, but excludes landscaping, septic fields, septic tanks, absorption fields and related appurtenances below ground and concrete and asphalt paving or similar surfacing of the land.
Other Regulations	None
Covenants	There is a Restrictive Covenant (R130986) on title of the subject property that covenants the following: • Lot 45 shared park and recreation area; • Permitted one dwelling, building or structure to be used for private residential purposes; • Permitted one sleeping cabin with no connection to running water; • Lots numbered 2 to 23 not permitted to build, construct or erect any building within fifty (50) feet of the high water mark, nor build, construct or erect any fence or fencing within 10 feet of the high water mark.
Bylaw Enforcement	None

SITE INFLUENCES

Islands Trust Conservancy	This proposal does not directly affect an Islands Trust Conservancy Board (ITC)-owned property or conservation covenant, nor directly affects a
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	property adjacent to an ITC-owned property or conservation covenant. Therefore referral to ITC for comment is not required.
Regional Conservation Strategy	The Islands Trust Conservancy - Regional Conservation Plan 2018-2027 identifies this area of North Thormanby Island as LOW priority for conservation purposes. However, the Regional Conservation Plan notes the following, “Biodiversity on small islands and islets may be of higher value than indicated due to challenges with connectivity and contiguity analyses where no protected areas exist.” There are currently no protected areas within close proximity to the subject property.
Species at Risk	Islands Trust mapping indicates the subject property is within a provincially Red-listed Grand fir / Three-leaved Foamflower (<i>Abies grandis</i> / <i>Tiarella trifoliata</i>) ecological community. A Factsheet published by the University of British Columbia (UBC) provides more information about this declining ecological community.  FIGURE 2. GRAND FIR / THREE-LEAVED FOAMFLOWER ECOLOGICAL COMMUNITY MAPPING ON NORTH THORMANBY ISLAND.
Sensitive Ecosystems	None mapped
Hazard Areas	The Gambier Associated Islands OCP does not designate this area as a steep slope or hazardous development permit area. A geotechnical assessment was undertaken on the subject property by Arya Engineering, dated July 31, 2018. In its report, Arya Engineering notes an actively eroding coastal bluff approx. 70 m to the west of the subject property; however it is noted that “...hazard related to slope instability through landsliding is expected to be low for the subject site.” In its analysis of oceanic flooding, Arya Engineering suggests that, “all permanently habitable structures located on the subject site should be

	positioned with respect to the foreshore environment at a minimum of 4.7 m above Canadian Geodetic Vertical Datum (CGVD2013), or alternatively, 2.6 m above the HHWLT*.” *higher high water large tide
Archaeological Sites	Remote Access to Archaeological Data (RAAD) mapping indicates a known archaeological site within 100 metres of the subject property. Notwithstanding the foregoing, and by copy of this report, the owners and applicant should be aware that there is still a chance that the lot may contain previously unrecorded archaeological material that is protected under the <i>Heritage Conservation Act</i>. If such material is encountered during development, all work should cease and Archaeology Branch should be contacted immediately as a <i>Heritage Conservation Act</i> permit may be needed before further development is undertaken. This may involve the need to hire a qualified archaeologist to monitor the work.
Climate Change Adaptation and Mitigation	In its consideration of oceanic flood hazards, Arya Engineering estimates a 0.8 m sea level rise and 1.3 m water level during storm (storm surge) at the subject site. Therefore Arya Engineering has recommended a Flood Construction Level (FCL) of 4.7 m above CVGD2013, or 2.6 m above HHWLT. Site clearing, including vegetation removal, and construction of the proposed buildings are anticipated to result in associated greenhouse gas emissions.
Shoreline Classification	The subject property is classified as a Sediment Shoreline - Bluff according to Map 1 of the Shoreline maps for Thormanby Island.
Shoreline Data in TAPIS	There is an approx. 1.5 m high rip rap revetment (sea wall) identified on the foreshore, that is the subject of the Development Variance Permit application GM-DVP-2019.1. Islands Trust mapping indicates the presence of eelgrass approx. 200 m offshore of the subject property.



GAMBIER ISLAND LOCAL TRUST COMMITTEE
DEVELOPMENT VARIANCE PERMIT
GM-DVP-2019.1

TO: MICHAEL DELESALLE, DALE DELESALLE AND DANIELLE MERVIN

1. This Development Variance Permit applies to the land described below:

PID 009-414-843

Lot 23 Block A District Lot 1017 Plan 10306

2. Pursuant to Section 498 of the *Local Government Act*, the *Gambier Associated Islands Land Use Bylaw No. 120, 2013* is varied as follows:

- a) **PART 3 – GENERAL REGULATIONS, Section 3.3 Siting and Setback Regulations, Subsection 3.3 (3):** “No building or structure may be constructed, reconstructed, moved, extended or located within 7.5 metres (24.6 feet) of the natural boundary of the sea except:
- (a) one permitted boathouse not exceeding 18.5 m² (200 ft²);
 - (b) propane tanks;
 - (c) utility lines
 - (d) lifting devices associated with permitted marine uses, including cranes and hoists;
 - (e) stairs, ramps or walkways not exceeding a width of 2.5 metres (8.2 feet), required to access the foreshore or a permitted dock; and
 - (f) decks or platforms which do not exceed a height of 1.2 metres (4 feet) above natural grade, exclusive of railings, and which do not exceed an area of 10 m² (108 ft²) per lot within the setback area”;
- Is varied in order to reduce the natural boundary of the sea setback from 7.5 metres to 0.0 metres for the siting of an existing rock wall, as shown in the Site Plan in Schedule “A” attached to and forming part of this permit;
 - Is varied in order to increase the area of the existing deck from 10 m² (108 ft²) to 12.4 m² (133.5 ft²), as shown in the Site Plan in Schedule “A” attached to and forming part of this permit.
- b) **PART 5 – ZONES, Section 5.1 Small Lot Rural Residential – (SRR), Subsection 5.1 (6):** “The minimum setback for any building or structure in the SRR zone is:
- (b) 1.5 metres (5 feet) from any interior or exterior side lot line”;
- Is varied in order to reduce the interior side lot line setback from 1.5 metres to 0.0 metres for the siting of an existing deck, as shown in the Site Plan in Schedule “A” attached to and forming part of this permit.
- c) **PART 5 – ZONES, Section 5.1 Small Lot Rural Residential – (SRR), Subsection 5.1 (8):** “The maximum height for any accessory building or structure in the SRR zone is one storey to a maximum of 5.2 metres (17 feet)”;

- Is varied in order to increase the height of one accessory building from 5.2 metres (17 feet) to a maximum of 6.4 metres (20.98 feet) for the proposed Accessory Building 'A', as shown in the Elevation Plans in Schedule "E", attached to and forming part of this permit;
- Is varied in order to increase the height of one accessory building from 5.2 metres (17 feet) to a maximum of 6.8 metres (22.2 feet) for the proposed Accessory Building 'B', as shown in the Section Plans in Schedule "F", attached to and forming part of this permit.
- Is varied in order to allow for a second storey in each of the proposed Accessory Buildings 'A' and 'B', as shown in the Section Plans in Schedule "G", attached to and forming part of this permit.

3. All buildings and structures shall be consistent with Schedules "A" through "G" which are attached to and form part of this permit. This permit is not a building permit and does not remove any obligation on the part of the permittee to comply with all other requirements of the Gambier Associated Islands Land Use Bylaw No. 120, 2013 including use and density, and to obtain other appropriate approvals necessary for completion of the proposed development.

AUTHORIZING RESOLUTION PASSED BY THE GAMBIER ISLAND LOCAL TRUST COMMITTEE THIS ____ DAY OF _____, 2019.

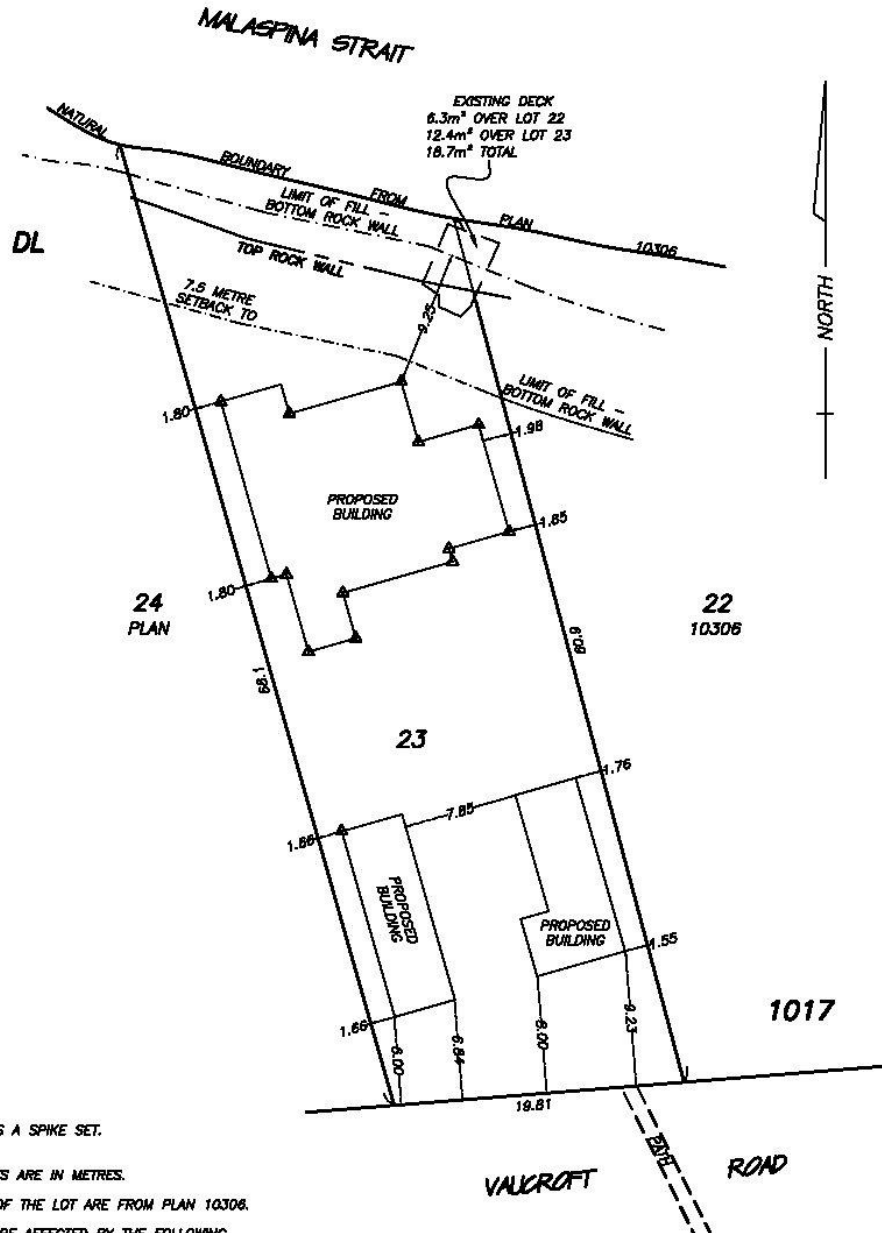
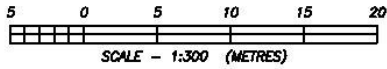
Deputy Secretary, Islands Trust

Date of Issuance

IF THE DEVELOPMENT DESCRIBED HEREIN IS NOT COMMENCED BY THE ____ DAY OF _____ 2021, THIS PERMIT AUTOMATICALLY LAPSES.

Schedule "A" Site Plan

SITE PLAN OF PART OF LOT 23 BLOCK A DISTRICT LOT 1017 PLAN 10306.



NOTE:

▲ DENOTES A SPIKE SET.

ALL DISTANCES ARE IN METRES.

DIMENSIONS OF THE LOT ARE FROM PLAN 10306.

LOT 23 MAY BE AFFECTED BY THE FOLLOWING ENCUMBRANCES:

- RESTRICTIVE COVENANT R130988

LOCATION: 564 VAUCROFT ROAD, NORTH THORMANBY ISLAND, BC

PID: 009-414-843

THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE OF MIKE DELESALLE.

COPYRIGHT 2019.

PER: RAFAEL REBOLONE

BCLS

SURVEY DATE:
MARCH 28, 2019
STRAIT LAND SURVEYING INC.
RAFAEL REBOLONE, BCLS
BOX 61 (5689 DOLPHIN STREET)
SECHLT, BC V0N 3A0
T. 604.885.3237
18140-608



Project Info

SITE INFORMATION:
Civic Address: 564 Vaucroft Road, Thornbury Island, BC
Legal Address: Lot 23, Block A, Fire VAP13556, SCRID
PID: D09-014-0843

Zone: SSR
Site Area: 13889 sqft

SITE COVERAGE	Proposed	Allowed
Max. Site Coverage:	24.99%	25%
Dwelling (BPOD164):	2204 ft ²	
Accessory A (GM-DVP12019.1)	604 ft ²	
Accessory B (GM-DVP12019.1)	655 ft ²	
TOTAL:	3463 ft²	3475 ft²
FSR	0.16	2.00

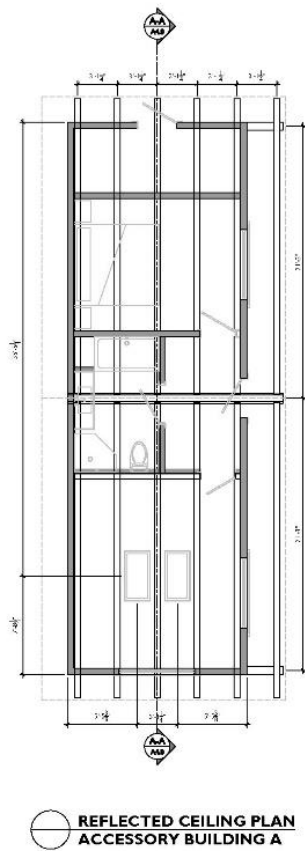
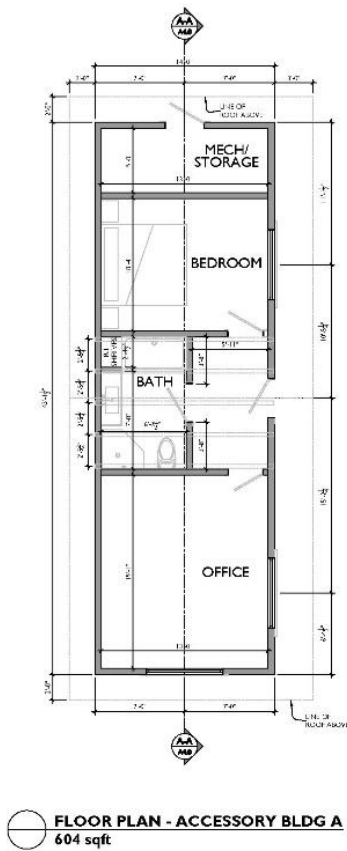
General Notes

1. (UNLESS OTHERWISE NOTED) ALL WORK TO CONFORM TO THE BRITISH COLUMBIA BUILDING CODE, LOCAL BUILDING CODE AND LOCAL AND/OR CERTIFYING JURISDICTION. IN CASE OF CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.
2. DO NOT SCALE DRAWINGS - CONTACT DESIGNER IF DIMENSIONS ARE REQUIRED.
3. ALL DIMENSIONS MUST BE CHECKED AND VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
4. ALL DIMENSION 3'S TO FACE OF CONCRETE FACE OF PLYWOOD AT EXTERIOR WALLS OR FACE OF STUD AT INTERIOR WALLS UNLESS NOTED OTHERWISE.
5. SEE STRUCTURAL DRAWINGS FOR ALL SHEAR WALL LOCATIONS & ASSEMBLIES.
6. SEE STRUCTURAL DRAWINGS FOR ALL FRAMING MEMBERS.
7. ALL WORK SHALL CONFORM TO THE STANDARDS OF THE BC BUILDING CODE 2018, SPECIFICALLY SECTION 9 & 10, ALL LOCAL CODES, BYLAWS & AMENDMENTS.
8. CONTRACTOR AND SUBTRADEES TO REVIEW SITE CONDITIONS, SCOPE OF WORK, ANY RELATED WORK, ALL DRAWINGS AND DOCUMENTATION, AND REPORT ANY DISCREPANCIES.

Drawing List

A1.0	Site Plan & General Notes
A2.0	Accessory A - Main Floor & Reflected Ceiling Plans
A2.1	Accessory B - Main Floor & Reflected Ceiling Plans
A3.0	Accessory A - Elevations
A3.1	Accessory B - Elevations
A4.0	Accessory A & B - Sections

	COASTAL FRAMEWORKS
	PO BOX 3331 GARIBOLDI HIGHLANDS, BC V9P 1H7 CANADA 604-815-7171 E REBECCA@COASTALFRAMEWORKS.COM
DESIGNED BY:	
DRAWN BY:	
DATE:	
SCALE:	
CONSULTANT:	
PROJECT:	
DELESALLE ACCESSORY BUILDINGS WILCOTY BLVD., B.C.	
DRAWING TITLE:	
SITE PLAN GENERAL NOTES	
SHEET NO.	A-I.O



CONSTRUCTION ASSEMBLIES

ROOF TYPES

- MAIN TIMBER ROOF:
 - Shingles, seven metal roof
 - Breaks
 - Plywood at rafting
 - R26 rigid foam insulation
 - 2x6 SPF framing @ 16" O.C.
 - Vapor barrier
 - 2x4 T&G
 - 6x12 Timber rafter

WALL TYPES

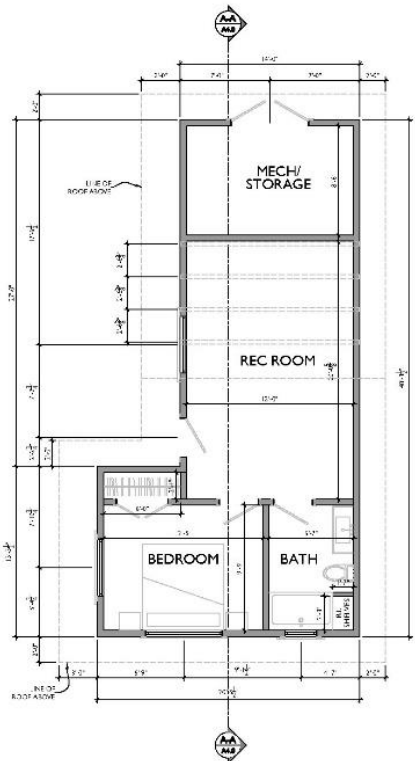
- EXTERIOR WALLS:
 - 2x6 Exterior wall
 - Cement fiberboard cladding
 - Rafters
 - 6 mil Building paper
 - Plywood at rafting
 - R23 Rigid insulation
 - 2x6 SPF framing @ 16" O.C.
 - Vapor barrier
 - 1x8 T&G
- INTERIOR WALLS:
 - 1x8 T&G
 - Sound proof insulation
 - 2x6 SPF framing @ 16" O.C.
 - 1x8 T&G
- INTERIOR WALLS:
 - 1x8 T&G
 - 2x6 SPF framing @ 16" O.C.
 - 1x8 T&G

FLOOR TYPES

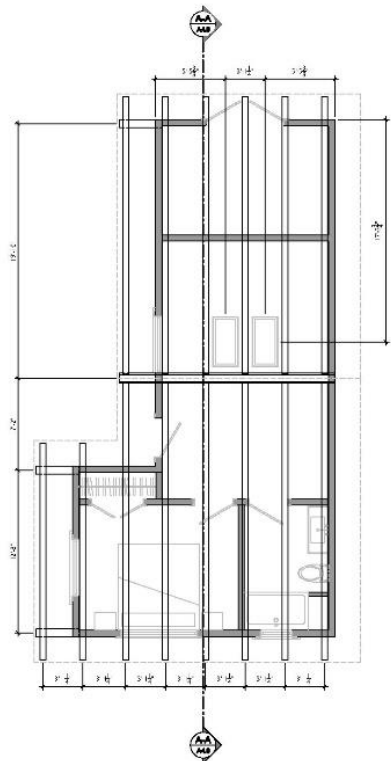
- MAIN FLOOR:
 - 16.5mm Vinyl plank
 - Plywood sheathing
 - One in per inch stud
 - R21 Rigid insulation
- MEZZANINE FLOOR:
 - 2x6 T&G
 - Timber joist as per structural

COASTAL FRAMEWORKS	
PO BOX 3331 COQUITON HIGHLANDS, BC V3M 1T0 T: 604 813 7171 E: REBECCA@COASTALFRAMEWORKS.COM	
PROJECT:	
DESIGNED BY:	
DRAWN BY:	
DATE:	
SCALE:	
CONSULTANT:	
PROJECT:	
DELESALLE ACCESSORY BUILDINGS WILSON BLVD, BC	
DRAWING TITLE:	
ACCESSORY A MAIN FLOOR & REFLECTED CEILING PLANS	
SHEET NO:	
A-2.0	

Schedule "C"
Floor Plans
Accessory Building 'A'



FLOOR PLAN - ACCESSORY BLDG B
655 sqft



REFLECTED CEILING PLAN
ACCESSORY BUILDING B

CONSTRUCTION ASSEMBLIES

ROOF TYPES

- MAIN TIMBER ROOF:
 - Blended woven metal roof
 - Blends with
 - Plywood at ceiling
 - R20 rigid foam insulation
 - 2x8 SPF framing @ 16" O.C.
 - Vapor barrier
 - 2x4 T&G
 - 6x12 Timber rafter

WALL TYPES

- EXTERIOR WALLS:
 - 2x6 Exterior wall
 - Cement fiberboard cladding
 - Rafters
 - 6 mil Building paper
 - Plywood at ceiling
 - R20 Rigid insulation
 - 2x8 SPF framing @ 16" O.C.
 - Vapor barrier
 - 1x8 T&G
- INTERIOR WALLS:
 - 1x8 T&G
 - Sound proof insulation
 - 2x4 SPF framing @ 16" O.C.
 - 1x8 T&G
- INTERIOR WALLS:
 - 1x8 T&G
 - 2x4 SPF framing @ 16" O.C.
 - 1x8 T&G

FLOOR TYPES

- MAIN FLOOR:
 - 16.5mm Vinyl plank
 - Plywood sheathing
 - 2x4 SPF framing @ 16" O.C.
 - R20 Rigid insulation
- MEZZANINE FLOOR:
 - 2x4 T&G
 - Timber joist as per structural

COASTAL FRAMEWORKS

PO BOX 3331
SAVANNAH, GA 31406
VIN 170
T: 904.813.7171
E: REBECCA@COASTALFRAMEWORKS.COM

DESIGNED BY:	REBECCA P. CULLEY
DRAWN BY:	REBECCA P. CULLEY
DATE:	6 APRIL 2018
SCALE:	1/8" = 1'-0"
CONSULTANT:	
PROJECT:	DELESALLE ACCESSORY BUILDINGS WILCART BLVD., ETC.
DRAWING TITLE:	ACCESSORY B MAIN FLOOR & REFLECTED CEILING PLANS
SHEET NO.:	A-2.1

Schedule "D"
Floor Plans
Accessory Building 'B'

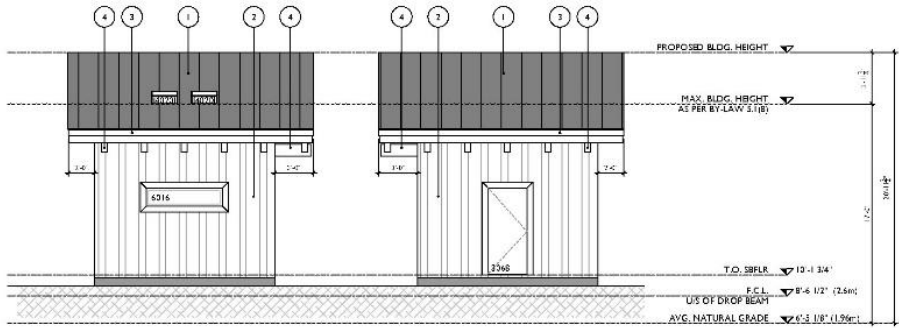
Schedule "E"
Elevation Plans
Accessory Building 'A'

COASTAL FRAMEWORKS

PO BOX 3331
HIGHLANDS, BC
V1N 1T0
T: 604.815.7171
E: REBECCA@COASTALFRAMEWORKS.COM

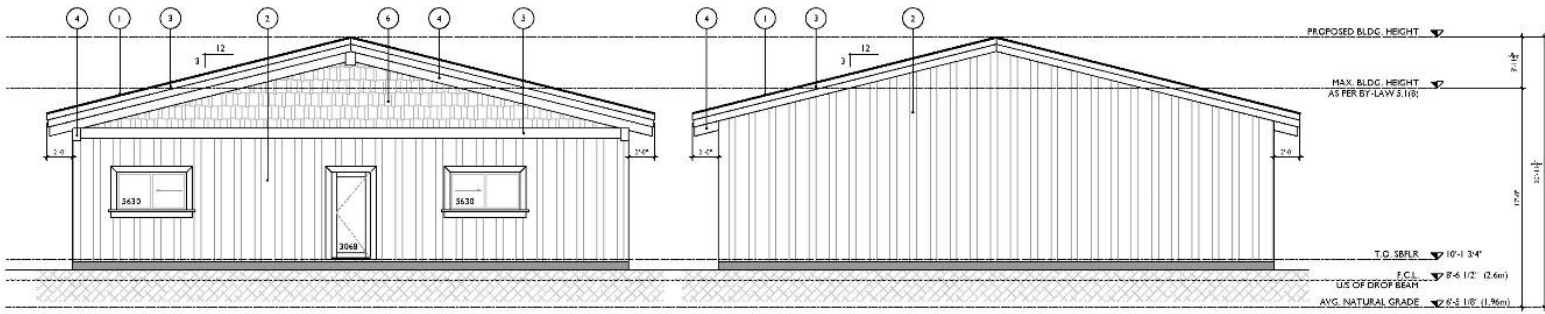
FINISHES:

- ① Standing seam metal roof
- ② Cement fiberboard board & batten
- ③ 1x6 on 2x10 fascia
- ④ Douglas fir timber frame
- ⑤ 2x10 Belly Board
- ⑥ Cement fiberboard shakes



SOUTH ELEVATION
ACCESSORY BUILDING A

NORTH ELEVATION
ACCESSORY BUILDING A



EAST ELEVATION
ACCESSORY BUILDING A

WEST ELEVATION
ACCESSORY BUILDING A

DESIGNED BY:	REBECCA PETERSON
DRAWN BY:	REBECCA PETERSON
DATE:	6 APRIL 2019
SCALE:	1/8" = 1'-0"
CONSULTANT:	
PROJECT:	DELESALLE ACCESSORY BUILDINGS WILCOTT BLVD., BC
DRAWING TITLE:	ACCESSORY A ELEVATIONS
SHEET NO.:	A-3.0

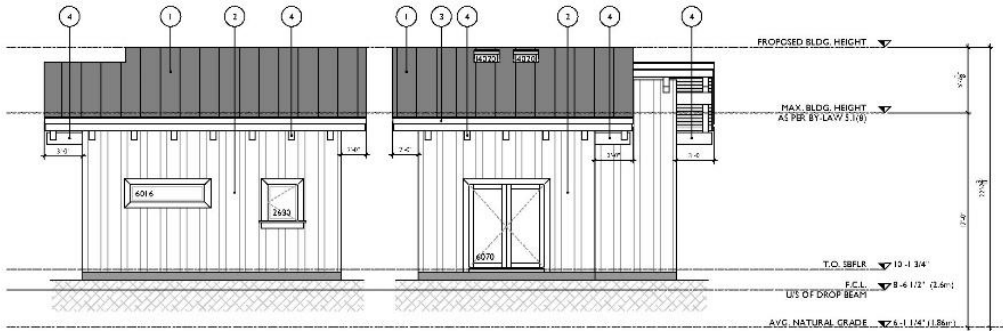
Schedule "F"
Elevation Plans
Accessory Building 'B'

COASTAL FRAMEWORKS

PO BOX 3331
GLENDALE HIGHLANDS BC
VAN ITT
T: 604 815 7171
E: REBECCA@COASTALFRAMEWORKS.COM

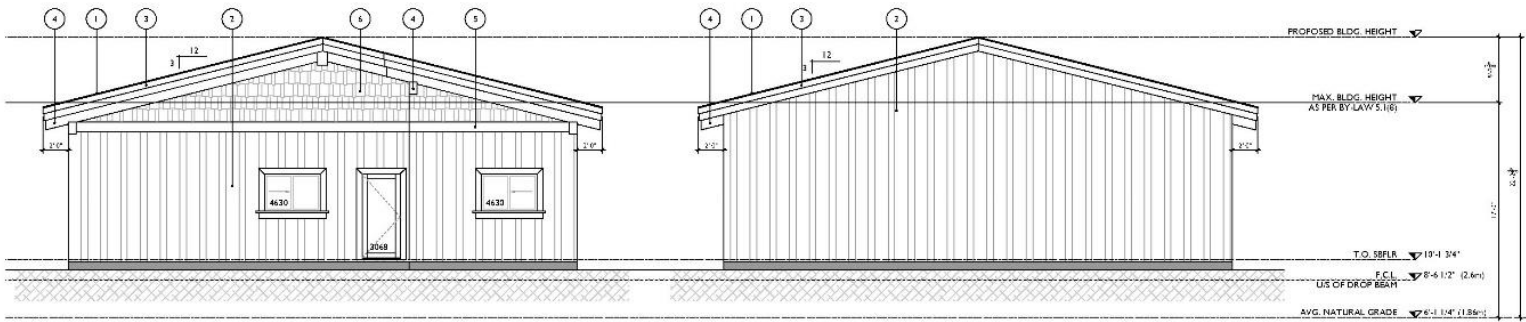
FINISHES:

- ① Standing seam metal roof
- ② Cement fiberboard board & batten
- ③ 1x6 on 2x10 fascia
- ④ Douglas fir timber frame
- ⑤ 2x10 Belly Board
- ⑥ Cement fiberboard shakes



SOUTH ELEVATION
ACCESSORY BUILDING B

NORTH ELEVATION
ACCESSORY BUILDING B

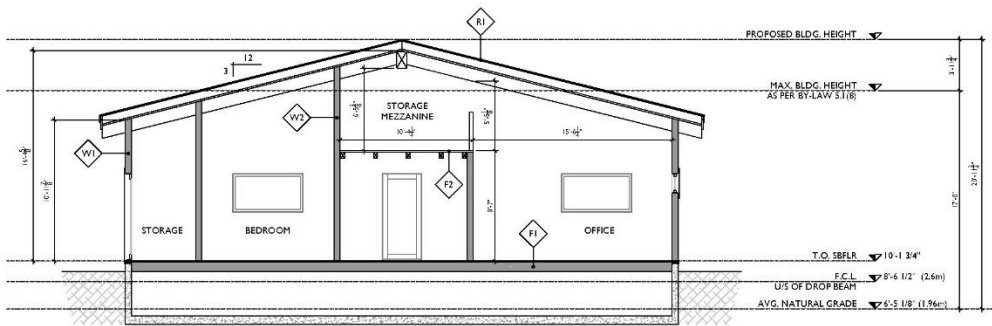


WEST ELEVATION
ACCESSORY BUILDING B

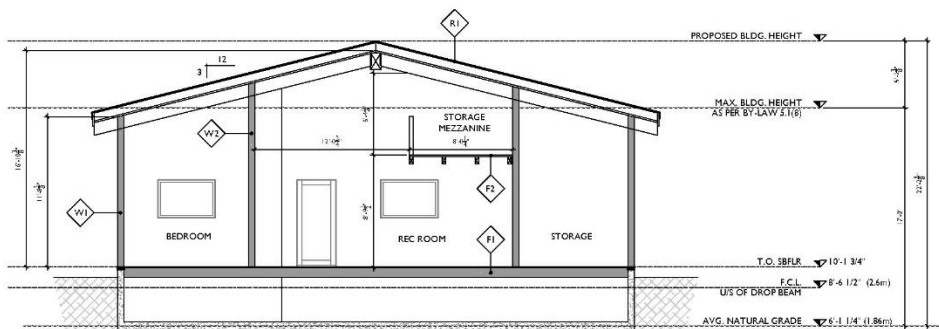
EAST ELEVATION
ACCESSORY BUILDING B

DESIGNED BY:	REBECCA P. C. L. L. L.
DRAWN BY:	REBECCA P. C. L. L. L.
DATE:	6 APRIL 2013
SCALE:	1/8" = 1'-0"
CONSULTANT:	
PROJECT:	DELESALLE ACCESSORY BUILDINGS VOLCANO BLVD., BC
DRAWING TITLE:	ACCESSORY B ELEVATIONS
SHEET NO.:	A-3.1

Schedule "G"
Section Plans
Accessory Building 'A' and 'B'



SECTION A-A
ACCESSORY BUILDING A



SECTION B-B
ACCESSORY BUILDING B

CONSTRUCTION ASSEMBLIES

ROOF TYPES

- R1 MAIN TIMBER ROOF:**
- Standing seam metal roof
 - Blocak
 - Plywood sheathing
 - R28 Rigid foam insulation
 - 2x8 SFF Framing @ 16" O.C.
 - Vapour barrier
 - 2x6 T&G
 - 6x12 Timber rafter

WALL TYPES

- W1 EXTERIOR WALLS:**
- 2x6 Exterior wall
 - Cement fiberboard cladding
 - Rainscreen
 - 6 mil Building paper
 - Plywood sheathing
 - R23 Rigid insulation
 - 2x6 SFF framing @ 16" O.C.
 - Vapour barrier
 - 1x8 T&G

- W2 INTERIOR WALLS:**
- 1x8 T&G
 - Sound proof insulation
 - 2x6 SFF framing @ 16" O.C.
 - 1x8 T&G

- W3 INTERIOR WALLS:**
- 1x8 T&G
 - 2x6 SFF framing @ 16" O.C.
 - 1x8 T&G

FLOOR TYPES

- F1 MAIN FLOOR:**
- (6.5mm) Vinyl plank
 - Plywood sheathing
 - 2x6 SFF framing @ 16" O.C.
 - R32 Batt insulation
- F2 MEZZANINE FLOOR:**
- 2x6 T&G
 - Timber joist as per structural

COASTAL FRAMEWORKS

PO BOX 3331
CLARKS HEAD HIGHLANDS, BC
V0N 1T0
T: 604.815.7171
E: REBECCA@COASTALFRAMEWORKS.COM

DESIGNED BY:	REBECCA TUCKER
DRAWN BY:	REBECCA TUCKER
DATE:	2 APRIL 2019
SCALE:	1/4" = 1'-0"
CONSULTANT:	
PROJECT:	DELESALLE ACCESSORY BUILDINGS WILCOPT BEACH, BC
DRAWING TITLE:	ACCESSORY A & B SECTIONS
SHEET NO.:	A-4.0

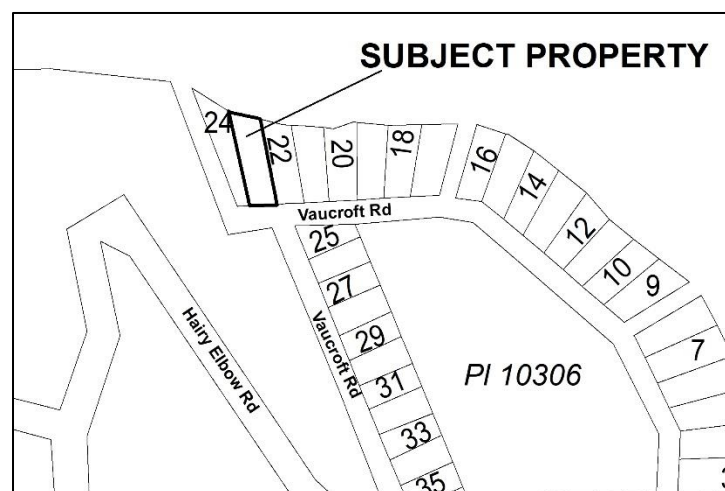
 Islands Trust	NOTICE GM-DVP-2019.1 – DELESALLE GAMBIER ISLAND LOCAL TRUST COMMITTEE
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NOTICE is hereby given that the Gambier Island Local Trust Committee will be considering a resolution allowing for the issuance of a Development Variance Permit, pursuant to Section 498 of the *Local Government Act*, varying the Gambier Associated Islands Land Use Bylaw No. 120, 2013, in general terms, as follows:

- The minimum natural boundary of the sea setback would be varied to permit the siting of an existing rock wall from the required 7.5 metres to 0.0 metres measured from the limit of fill (bottom of rock wall).
- The maximum area of a deck or platform permitted to be within the natural boundary of the sea setback would be varied to increase the area of the existing deck from 10 m² (108 ft²) to 12.4 m² (133.5 ft²).
- The minimum interior side lot line setback would be varied to permit the siting of an existing deck from the required 1.5 metres to 0.0 metres from the interior side lot line.
- The maximum height of an accessory building would be varied to increase the height of a proposed accessory building from 5.2 metres (17 feet) to a maximum of 6.4 metres (20.98 feet).
- The maximum height of an accessory building would be varied to increase the height of a proposed accessory building from 5.2 metres (17 feet) to a maximum of 6.8 metres (22.2 feet).
- The permitted maximum number of storeys in both proposed accessory buildings would be varied from one storey to two storeys.

The property is legally described as: PID 009-414-843 Lot 23 Block A District Lot 1017 Plan 10306

The general location of the subject area is shown in the following sketch:



A copy of the proposed Permit may be inspected at the Islands Trust Northern Office, 700 North Road, Gabriola Island, BC, V0R 1X3, between the hours of 8:30 am and 4:00 pm, Monday to Friday inclusive, excluding Statutory Holidays, commencing **April 15, 2019** and continuing up to and including **April 26, 2017**. Also, attached for your convenience, is a copy of the proposed Permit.

If you have any questions or comments regarding the proposed Permit, please contact Jaime Dubyna, Planner 2, at 250-247-2212; for Toll Free Access, request a transfer via Enquiry BC: in Vancouver 604-660-2421 and elsewhere in BC at 1-800-663-7867.

Written submissions should be sent to: **Mail:** Islands Trust, 700 North Road, Gabriola, BC V0R 1X3;
Fax: 250-247-7514 or **Email:** jdubyna@islandstrust.bc.ca

Following the end of the notice period, the Gambier Island Local Trust Committee may consider issuance of the proposed Permit at its Regular Business Meeting to be held at 1:30 pm, Saturday, April 27, 2019, at Gambier Island Community Hall, 721 Andy's Road, Gambier Island, BC

All applications are available for review by the public. Written comments made in response to this notice will also be available for public review.

Becky McErlean
Deputy Secretary

Delcor Holdings Ltd.
2188 Yukon Street
Vancouver, British Columbia, V5Y 3P1
t: 604.220.1724 e: mike.delesalle@gmail.com

July 31, 2018
File: 18-157-SC

Attention: Mike Delesalle

**Re: Geotechnical Assessment: Proposed Residential Development
564 Vaucroft Road, North Thormanby Island, British Columbia**

Arya Engineering Inc. presents the following report providing the results of a geotechnical assessment recently performed for the proposed residential development to be located at 564 Vaucroft Road on North Thormanby Island, British Columbia. The intent of this document is to provide the client, the general contractor and additional key stakeholders with preliminary geotechnical information needed to guide the geotechnical aspects of the proposed works.

We trust this report contains the relevant information required for project continuation at this time. Should additional information be required, please do not hesitate to contact our office.

Sincerely,
Arya Engineering Inc.



Ben Tomasz, B.Eng., P.Eng.
Principal | Senior Geotechnical Engineer



EXECUTIVE SUMMARY

Based on the findings of this assessment and provided that all of the recommendations presented in this report are implemented, there are no reasonably conceivable geotechnical issues that would preclude the development of a single family residential dwelling on the parcel currently located at 564 Vaucroft Road on North Thormanby Island in British Columbia. Provided the recommendations in this report are followed, the land can be considered safe for the use intended. It is important to note that the term safe as presented in the above statement should be understood in terms of tolerable risk and does not constitute a guarantee. In this context, the land can be considered within the limits of tolerable geotechnical risk, as defined by society and related in applicable building codes, national design standards, and professional practice standards.

In consideration of the steep slope positioned west of the property (descending towards the property), a preliminary screening for landslide susceptibility was conducted as part of this assessment. Additionally, in consideration of the granitic boulders encountered across the slope, localized particle mobilization towards the site was considered as a potential geotechnical hazard associated with development on the parcel. As the parcel is bordered by the Malaspina Strait to the north, portions of the lot were evaluated for susceptibility to oceanic flooding and coastal erosion.

The oceanic flooding analysis conducted as part of this assessment suggests that **all new habitable living space on the lot must be constructed at a minimum Flood Construction Level (FCL) of 4.7 m above Canadian Geodetic Vertical Datum (CGVD2013), or similarly 2.6 m above higher high water large tide (HHWLT),** to be situated outside of the influence of reasonably conceivable oceanic flooding hazard that may occur during the proposed structures design life.

Through utilization of the Federal Highway Administration's (FHWA) 2001 Rock Fall Catchment Area Design Guide, it was found that the area of proposed development can be considered to be outside of the influence of reasonably conceivable rock fall hazard. Further, the slope stability screening conducted as part of this assessment suggests that the proposed development can be considered outside of the influence of reasonably conceivable landslide hazard.

In consideration of the condition of the **1.5 m high rip rap revetment bordering the foreshore** on the northern extent of the site, the proposed development is not expected to be subject to progressive beaching and inland recession due to wave action. To reduce the lots exposure to erosion and the inland recession of the foreshore, it is recommended that the condition of the revetment be periodically assessed; this feature may need to be maintained throughout the design life of the proposed structure.

Continuous concrete strip footings are the recommended foundation type for the proposed development. Strip footings should be sized with a minimum width of 450 mm. A minimum width of 600 mm should be used where pad footings are required. It is expected that footings seated on competent, undisturbed soils can be designed for an allowable bearing pressure of 75 kPa, at an



excavation depth of 0.5 m below existing grade. It is recommended that the subgrade be proof rolled via vibratory plate compaction methods prior to the forming for footings. As a subsurface exploration program was not conducted as part of this assessment, suitability of the foundation design specifications detailed in this report will be confirmed upon site preparation, excavation, and proof rolling activities.

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APPENDIX A – DRAWINGS

APPENDIX B – PHOTOGRAPHS



1.0 INTRODUCTION

Arya Engineering Inc. (Arya) has conducted a geotechnical assessment of 564 Vaucroft Road on North Thormanby Island, British Columbia at the request of the client, Delcor Holdings Ltd. The scope of work performed for this assessment included the subsequent tasks:

1. A site reconnaissance to observe current conditions of the site, including observations of surficial soils, topography, vegetation and surface water conditions.
2. A desktop review of relevant background information including a review of existing site plans, in addition to available survey information, related subsurface information, satellite imagery and historical photographs provided by the client.
3. Geotechnical engineering analysis and evaluation of the collected data.
4. Preparation of this summary geotechnical report to present the relevant findings and recommendations.

An Arya representative conducted the site investigation on June 28, 2018 utilizing visual observation methods and manual probing methods to assess site conditions of geotechnical relevance. The following sections summarize the observations and results of the geotechnical investigation. The intent of this report is to determine the suitability of the subject site for the proposed work and to provide the client and other key stakeholders with the information needed to direct the geotechnical aspects of the proposed residential development.

The scope of this assessment did not include items related to other disciplines, and the site investigation did not include any evaluation of environmental hazards or contamination that may be present on or near the site. No testing or evaluation for the presence of corrosive materials or corrosive conditions was completed.

2.0 SITE ASSESSMENT

2.1 Existing Site Layout, and Topography

The property is located at 564 Vaucroft Road on North Thormanby Island, British Columbia. The property is roughly rectangular in shape averaging approximately 21 m in width and 54 m in length, encompassing a total area of approximately 0.13 ha. The property is bounded by a developed residential parcel to the east, by Vaucroft Road to the south, by an undeveloped residential parcel to the west and by the foreshore of the Malaspina Strait to the north. The property can be accessed by Vaucroft Road to the south.

Ground inclinations and topographic characteristics were developed from LIDAR data available on the Sunshine Coast Regional District's (SCRD) web mapping tool, in addition to on site measurements and hand held clinometers readings.

The subject site is generally located in an area of planar to steeply sloping coastal terrain. The site itself contains flat to gently sloping terrain with a near vertical step to the north, in the location a rip rap revetment (further discussed in Section 2.2) which borders the foreshore area.



A steep slope, hereafter referred to as the western slope, with an approximate prominence of 20 m, and a gradient as steep as 1.5H:1V (horizontal to vertical) was observed to descend from west to east towards the subject site. The toe of the slope was measured approximately 20 m west from the southwestern corner of the property, and approximately 33m west from the northwest corner of the property.

2.2 Existing Structures and Proposed Development

A single-story residential dwelling was observed to be situated approximately mid-lot, and an auxiliary structure (shop/woodshed), was observed to be partially situated on the southwestern extent of the parcel.

An existing rip rap revetment was observed adjacent to the northern property boundary. The boulders comprising the front of this feature consisted of angular, granitic rock particles with an approximate maximum diameter of 1.0 m and an average diameter of 0.6 m. The revetment was observed to be approximately 1.5 m high, with a backslope ranging from 75° - 80° (as measured on site through hand held tilt clinometers readings), and an average backfill thickness of 1.5 m of filter material consisting of angular granitic particles with a median diameter of 200 mm. Based on conversations with the general contractor at the time of the site reconnaissance, the revetment was constructed in 1982, and localized sections of the wall face appeared to be filled in with concrete mix approximately a decade ago.

The condition of this feature as it pertains to geotechnical hazards (suitability to mitigate the effects of regression and coastal erosion) are discussed in Section 5 of this report.

Based on conversations with the client's representative, it is understood that the proposed work will consist of demolition of the existing structures, and the construction of a single family residential dwelling on the northern extent of the parcel, approximately 7.5 m south of the natural boundary.

2.3 Vegetation

The vegetation in the surrounding area was observed to consist primarily of mature, second growth coniferous and deciduous trees with an understory of salal and ferns. The area of proposed development was predominately devoid of vegetation apart from grass, ferns and salal.

During traversal of the western slope, this area was noted to contain several old growth coniferous trees, estimated as several hundred years in age. Vegetation on this slope did not typically exhibit directional, downhill pistol butting or broad areas of vertical misalignment in trees that would otherwise indicate historic or ongoing soil instability. No other vegetative indications of slope movement across the western slope were encountered at the time of the site investigation.

The existing vegetation on the property itself is not expected to pose geotechnical related challenges to the future development.



2.4 Surface Water and Runoff

With the exception of the oceanic waters of Malaspina Strait, surface water was not observed during the geotechnical site reconnaissance. During traversal of the western slope, no indications of groundwater seepage were encountered and no ponding of surface waters were encountered across this slope. Visual evaluation of the western slope, conducted from the foreshore in front of the dwelling to a distance of approximately 425 m west (where a barren, soil slope is exposed to the foreshore) did not reveal any indications of groundwater seepage across the coastal escarpment.

In consideration of the plain to gently sloping gradients encountered across the parcel itself, in addition to the fine to medium grain sized sand expected to comprise the subsurface, infiltration of surface water through granular soils can be expected during precipitation events. In the event of heavy, prolonged precipitation, the subgrade soils infiltration capacity may be exceeded, and ponding is possible due to the plain to gently sloping surface expression of the parcel.

3.0 SUBSURFACE CONDITIONS

The subsurface conditions at the subject site were investigated through hand probing methods and site observations taken at the time of the site reconnaissance, and a desktop study of available subsurface information for North Thormanby Island in the vicinity of the subject site.

3.1 Surficial Soils

Based on a document produced by J.J. Clague and published by the Geological Survey of Canada, titled *Quadra Sand: A Study of The Late Pleistocene Geology and Geomorphic History of Coastal Southwest British Columbia*, and dated 1977, North Thormanby Island contains extensive Quadra Sand deposits which can typically be described as horizontal, cross-stratified, well sorted sand deposits with minor silt and gravel content. These deposits are typically underlain by estuarine and marine sediments deposited during the preceding non-glacial interval.

A document titled *Thormanby Island Greenshores Shoreline Mapping*, produced by Coastal and Ocean Resources Inc., Archipelago Marine Research Ltd., Land & Water Inc, indicates that the North Thormanby Island shoreline is sediment dominated with large eroding sand bluffs which comprise approximately 4.6 km of the shoreline in this area.

Soil conditions at the time of the site visit were assessed through visual observations of the exposed coastal sand bluff situated approximately 40 m west of the subject site, and extending for approximately 450 m west of the property. This feature was observed to contain near vertical slope sections, and maintain an average prominence of approximately 30 m (20 m in the vicinity of the subject site). The toe of the coastal bluff was situated along the natural boundary of the north side of the island. Generally, the soils comprising the coastal bluff were observed to conform to the Quadra Sand deposits as described by the aforesaid documents. This material was described as cemented, cross-stratified, poorly graded (fine to medium grain size), dense sand deposit.



At the time of the site reconnaissance, the exposed face on the eastern extent of the coastal bluff was observed to coincide with the northern boundary of the western slope. As such, the western slope is also expected to be underlain by Quadra Sand deposits consistent with the descriptions provided above.

Manual probing in the vicinity of the area of proposed development at the time of the site visit generally revealed approximately 0.3 m of loose material overlying compact subgrade material.

In consideration of the soils comprising the coastal bluff, it is expected that the subject site is underlain by a compact sand deposit consistent with Quadra Sand.

3.2 Bedrock

Bedrock was not encountered during the site reconnaissance, and the bedrock contact is not anticipated at a depth that would influence the proposed works.

3.3 Groundwater

Groundwater was not encountered during the site reconnaissance. As indicated in Section 2.4, no groundwater seepage was encountered across the western slope or across the coastal bluff during the site reconnaissance. The presence of groundwater in the proposed development area will be assessed during excavation, and updated design and construction commentary will be provided as needed at that time.

4.0 SEISMIC DESIGN PARAMETERS

Any proposed structures to be located on the parcel should be designed under the seismic provisions of the 2012 British Columbia Building Code (BCBC) and the National Building Code of Canada 2010 (NBCC). Horizontal peak ground acceleration (PGA) and 5% damped spectral response acceleration values $S_a(T)$ for four different periods (0.2, 0.5, 1.0 and 2.0 seconds) are outlined below for the subject site for a seismic event with a 2% probability of exceedance within 50 years (1 in 2,475 year event). In consideration of the material encountered during the site investigation, these values have been interpolated according to Site Class 'D' – Stiff Soil.

As interpolated from the 2010 National Building Code Seismic Hazard Calculation, the following criteria apply for this location (Latitude 49.50879° N, Longitude -124.00098° W):

Peak Ground Acceleration (PGA) = 0.406 g

Spectral Acceleration Response Values: $S_a(0.2)=0.841g$, $S_a(0.5)=0.594g$, $S_a(1.0)=0.319g$, $S_a(2.0)=0.168g$

Site Coefficients: $F_a = 1.1$, $F_v = 1.2$

5.0 GEOTECHNICAL HAZARD ASSESSMENT

In consideration of the oceanic waters of Malaspina Strait in proximity to the site, in addition to the steep and prominent western slope, and the granitic boulders encountered across this slope, an

evaluation of susceptibility to landsliding, rock fall, erosion induced slope regression and oceanic flooding were undertaken as part of this assessment.

5.1 Oceanic Flood Hazard Assessment

Flood Construction Levels (FCLs) are employed to keep living spaces, storage areas and all susceptible building components damageable by floodwaters above reasonably conceivable flood levels. The industry standard for developing oceanic FCLs involves summation of multiple probabilistic components to determine a suitable elevation for building elements and habitable living space potentially susceptible to water ingress and wave action. It's important to note that an appropriate FCL is not necessarily static for a particular site, and is subject to change over time due to changing climatic conditions and updates in probabilistic estimations of contributing factors.

The following table provides estimations for each of the parameters considered, as well as a brief description of each.

Table 1 – FCL Component Values

Component	Description	Component Value (m)
<i>Higher-High Water Large Tide (HHWLT)</i>	<i>The average of the highest high water levels for the coastline adjacent to the lot, as taken from 18.6 years of data collected and published by the Canadian Hydrographic Service (CHS)</i>	2.1
<i>Sea Level Rise</i>	<i>Estimated sea level rise for coastal British Columbia in the area surrounding the subject site (Ausenco & Sandwell, 2011) (Bornhold, 2008)</i>	0.8
<i>Regional Adjustment</i>	<i>Adjustment value implemented in consideration of large-scale ground movement with respect to sea level (subsidence or uplift). Subject site is in a state of post-glacial rebound (uplift) (KWL, 2011)</i>	-0.2
<i>Storm Surge</i>	<i>A vertical offset representing the extent to which water levels may be affected by storms (KWL, 2011)</i>	1.3
<i>Wave Effect</i>	<i>Effective wave run-up is the maximum vertical extent of wave uprush above the still water level (C.D. Smith, 1995)</i>	0.4
<i>Freeboard</i>	<i>A freeboard value is added to the FCL to account for uncertainties in the final FCL value (APEGBC, 2017)</i>	0.3

***HHWLT is taken as a vertical elevation above the Canadian Geodetic Vertical Datum of 2013**



****Regional Adjustment corresponds to a 100 year return period event***

**** Sea Level Rise provided corresponds to a rise over a 100 year period***

Wave effect has been calculated through utilization of a fetch distance and wind velocity. Fetch distance is defined as the area over a water body surface over which the wind blows in an essentially constant direction. Maximum possible fetch distance was obtained from the SCRD's web-based property application. Wind velocity was obtained through utilization of public wind rose data detailing the approximate number of hours per year the wind blows from a specified direction at various velocities. Fetch distance and wind velocity were estimated to be 5 km and 28 km/hr, respectively.

Summation of the above components into a single value results in a FCL of 4.7 m above Canadian Vertical Geodetic Datum (CVGD2013), or alternatively, 2.6 above the HHWLT. This FCL is recommended for permanently habitable living space and any structural elements or architectural components that may be subject to mold or water damage.

5.2 Landslide Hazard Screening

In consideration of landsliding observed across the coastal bluff west of the site and the surface expression of the western slope and the proximity of the development site to this feature, a preliminary screening of susceptibility to slope instability hazard through landsliding was conducted as part of this assessment.

Based on visual review of the coastal bluff and document review for this area, the western slope is expected to be comprised of cemented, Quadra Sand deposits. At the time of the site investigation, undercutting and erosion at the toe of the coastal bluff was observed, resulting in near vertical slope sections adjacent to the foreshore. Localized sloughs and relatively minor, localized slides were observed across the bluff face with deposits accumulating at the toe of the bluff.

In consideration of the above observations and the results of the desktop study, the coastal bluff is considered in a state of active regression driven by the erosional influence of waves (oceanic erosion and progressive beaching), wind (prevailing north-northeasterly winds) and precipitation (wetting). As the exposed, moderately cemented sand deposits are subjected to toe erosion and weathering, the bluff becomes gradually steeper. As soil is eroded, or mobilized through sloughing, soil behind the face of the bluff is subjected to a reduction in confining pressure previously provided by the face material. This reduction in pressure causes a decrease in strength of the soil matrix. When the driving forces present in the slope surpass the resistance forces provided by the soil matrix, landsliding ensues, typically characterized by translational failure, and the bluff will recede inland through localized landsliding. This regressive cycle is further exacerbated by wind-induced erosion and continued precipitation, whereby infiltration causes wetting of the soils, decreasing the cementation related "cohesion" and reducing the shear strength of the soil mass comprising the bluff.



The regression of the coastal bluff as detailed above was observed approximately 70 m west of the proposed development site. The western slope itself (average 1.5H:1V, 20 m height), the toe of which is located approximately 20 m west of the property, is expected to be comprised of the cemented sand deposits observed in the coastal bluff. A traversal of this feature revealed an intact canopy of mature second growth trees and several old growth trees, with native understory vegetation as indicated in Section 2.3 of this report. No vegetative indications of slope movement were encountered across the western slope, and the condition of the larger trees suggests a return period for localized instability through landsliding on the order of several hundred years. It is expected that the vegetative cover on the western slope adds "root cohesion" to the upper most surficial soils that comprise the slope (1.0 m maximum depth characteristic for root cohesion induced by mature conifers in Coastal British Columbia). Additionally, this vegetation mitigates precipitation and runoff related wetting and weathering that could otherwise lead to erosion and reduced strength characteristics of the geomaterials comprising the slope. Also, the eastward facing orientation of the western slope reduces this areas susceptibility to windthrow from north-northeasterly winds that this portion of the island is seasonally subject to. All of these conditions contribute to the slope's soils maintaining their cementation cohesion, promoting the integrity of the feature.

In consideration of the above detailed conditions, in addition to the performance criterion presented by the mature and old growth trees in this area, **hazard related to slope instability through landsliding is expected to be low for the subject site.** The proposed development is expected to be outside the influence of reasonably conceivable landsliding throughout the structures design life.

5.3 Rock Fall Hazard Screening

In consideration of occasional boulders encountered on the western slope, and due to the location of the proposed development with respect to this feature, susceptibility to hazard due to rock fall was screen for as part of this assessment.

A setback distance was determined through utilization of the Federal Highway Administration's (FHWA) 2001 Rock Fall Catchment Area Design Guide. The design guide was constructed based on data gathered from a research project which consisted of rolling approximately 11,250 rocks from slopes which varied in both topographic gradient (1H:4V, 1H:2V, 1H:1.33V, 1H:1V) an prominence (12.2, 15.2, 18.3, 21.3, 24.4 m). The rocks were rolled in to three catchment areas (flat, 6H:1V incline, 4H:1V incline) to develop design charts for dimensioning effective rock fall catchment areas.

As the western slope is estimated to consist of an approximate topographic gradient of 1.5H:1V for a 20 m height, the design chart for a 21.0 m high, 1H:1V cut slope condition was considered. Based on a best fit appraisal of the empirical data provided in the design charts referenced, a horizontal setback distance on the order of 20 m to 22 m is required to position the proposed dwelling outside the influence of reasonably conceivable rock fall hazard. During the site reconnaissance, a horizontal distance of 20 m from the southwestern corner of the property to the toe of the slope was measured, and a horizontal distance on the order of 33 m from the northwestern corner of the property to the toe



of the slope was measured. In addition, the western slope was observed to contain dense canopy and understory vegetation, which provides additional rock fall energy and velocity damping during rock fall events. In consideration of the above, and as the proposed development area is located beyond 20 m from the toe of the western slope, the site is considered to be outside the influence of reasonably conceivable rock fall hazard.

5.4 Coastal Erosion and Regression (Rip Rap Revetment Condition)

A rip rap revetment was observed adjacent to the northern property boundary, bordering the foreshore of Malaspina Strait (Section 2.2). Evidence of scour was not encountered at the time of the site reconnaissance. Additionally, the concrete that filled the voids of the rip rap revetment was observed to generally be in good condition (no significant cracking observed). This condition further suggests that the particles comprising the revetment have not realized significant displacement since filling of the voids, and this also indicates that toe scour has not been a critical condition influencing the performance of the revetment.

Hudson's Equation was utilized to confirm suitable sizing of the existing particles comprising the revetment, to determine their adequacy in protecting against coastal erosion and regression. The equation was developed by the United States Army Corps of Engineers and is used to calculate the median weight of particles required to provide satisfactory stability characteristics for rubble structures susceptible to wave action. Unit mass of the particulate material, wave height (See Section 5.1 of this report), the design slope of the wall (Section 2.2), specific gravity of the particulate material, and an empirically derived value K_D (2.0 for angular particles) are input parameters used to calculate the median weight of rip rap particles.

Site specific parameters were input into the equation to calculate a required minimum median weight (W_{50}) of approximately 100 kg for particles comprising the wall. Based on observations of the average diameter of particles encountered during the site reconnaissance, a median weight in excess of 100 kg is expected.

In consideration of the above, the rip rap revetment can be considered to be in suitable working condition to mitigate erosion due to continued wave action. It is however recommended that the condition of the revetment be monitored and periodically assessed to ensure the suitable functionality of this feature over time. It is possible that this feature may need to be maintained throughout the design life of the proposed structure, or modified in light of changing climatic conditions that influence the design and performance of these features.

6.0 RECOMMENDATIONS AND CONCLUSIONS

6.1 General Site Conditions and Suitable Building Sites

The oceanic flooding analysis conducted as part of this assessment suggests that all permanently habitable structures located on the subject site should be positioned with respect to the foreshore environment at a minimum elevation of 4.7 m above Canadian Geodetic Vertical Datum 2013

(CGVD2013), or alternatively, 2.6 m above the HHWL. No other siting criteria are warranted at this time given the analysis conducted as part of this assessment.

6.2 Site Preparation and Foundations

Construction surfaces and footings subgrades should be flat, thoroughly cleared of disturbed, loose, or softened material or deleterious materials that may be present in the proposed building envelope prior to forming and pouring of concrete. Based on hand probing, an excavation depth of approximately 0.5 m is expected to uncover suitable undisturbed soils for the placement of footing elements. Continuous concrete strip footings are the suggested foundation type for future developments on the proposed lot. Strip footings should be designed with a minimum footing width of 450 mm. A minimum width of 600 mm should be used where pad/column footings are needed.

The following recommendations have been calculated in accordance with the 2010 NBCC, and are based on limit state design (LSD) methodology. Factored ultimate limit state (ULSf) bearing capacity values for the sites soils are provided in Table 2 below. Serviceability Limit States (SLS) design criteria have also been provided in Table 2, reflecting the allowable bearing pressures appropriate for the foundation specifications presented in this report.

Table 2 – Recommended Bearing Capacities and Allowable Bearing Pressures (kPa)

Material	Geotechnical Resistance Factor (ϕ)	Factored ULS	SLS
Undisturbed Soils (Compact Sand)	0.5	110	75
Engineered Fill	0.5	110	75

All footings should be placed on competent undisturbed soils which have been approved by this office or on engineered fill approved by and compacted to the satisfaction of this office.

Footings seated on approved undisturbed soils or compacted engineered fill should be placed a minimum of 450 mm below surface for frost protection requirements. Strip footings and pad footings seated on compact undisturbed sand or compacted engineered fill can be designed for an allowable bearing pressure of 75 kPa. These values represent SLS resistance based on a reasonable subsidence in the proposed structure of less than 25 mm over a 6.25 m length (CFEM, 2012).

It is important to note that the construction recommendations for foundation design are preliminary. Suitability of these values will be confirmed by a member of this office upon demolition of the existing dwelling, and the recommendations provided above may be subject to change contingent upon site specific conditions encountered during construction.

If engineered fill is required, this material should be compacted on approved undisturbed subgrade. Engineered fill generally consists of clean sand to sand and gravel, of particles less than 75 mm in diameter, and containing silt and clay less than 5% by weight. This material should be implemented in loose, 300 mm lifts and compacted to 100% (SPMDD) at a moisture content that is within 2% of



optimum. Backfill utilized for retaining walls and utilities should be compacted to 98% SPMDD at a moisture content that is within 2% of optimum.

Adjacent footings at different elevations should be stepped at no steeper than 2H:1V to prevent potential surcharge loading. If footings are stepped at gradients in excess of 2H:1V, footings situated at the lower elevation should be designed to carry the loads associated with the footing at the higher elevation. **Special conditions should be approved by the geotechnical engineer.**

To minimize the chance of undesirable floor wetness, the required import fill beneath all nonstructural, interior slab-on-grade components should consist of a minimum of 150 mm thick, 19 mm clear free draining gravel that serves as a capillary barrier between the subgrade material and the slab. An impermeable membrane should be placed over the gravel such as 6 mil polypropylene sheeting or an approved equivalent. The membrane can be covered with 50 mm of sand to protect it during construction and to mitigate undesirable effects that the membrane may have on the curing properties of the concrete.

6.3 Site Drainage and Septic System Considerations

A minimum 300 mm wide trench should be implemented adjacent to strip-footing elements for placement of perimeter drains. Drainage should be comprised of individual perimeter drains consisting of 100 mm diameter perforated pipe set with perforations facing downward. The drain pipe should be set as close as practical to the heel of footing elements at the bottom of the trench, and the trench should be lined with a non-woven geotextile fabric, and surrounded (after placement of the pipe) with 19 mm, clear open graded drain rock. The high end of the system and all 90° bends of the perimeter drain pipe should be connected to vertical risers consisting of closed 100 mm diameter pipes which extend to the surface and act as cleanouts. The drain pipes should be sloped at 2% gradients to promote positive drainage, and all perforated pipes should lead to non-perforated (solid wall) pipes, that should be conveyed to the foreshore area, beyond the existing revetment, contingent upon conformance to any environmental regulations that may exist.

All rainwater collected on the roof of the building should be transported through gutters, downspouts and closed pipes and should similarly be conveyed to the foreshore area.

The installation of septic components is not expected to have adverse effects on the geotechnical components of the project.

6.4 Excavation, Trenching and Retaining Walls

Worksafe BC guidelines for stable excavations should be followed for excavations in excess of 1.2 m. WorkSafe BC guidelines for excavations should be adhered to in accordance with Section 20 (20.78 - 20.95) of the Occupational Health and Safety Regulation. For excavations in granular material less than 1.2 m, a 2H:1V slope angle should be maintained to promote excavation stability during construction.

Per WorkSafe BC guidelines, a qualified professional must be retained to conduct a WorkSafe BC Excavation Review in that case that excavation in excess of 1.2 m is required for the project. This document should specify instructions to promote excavation stability during construction, and may include such items as sloping and shoring requirements. This office is available to provide WorkSafe BC Excavation Reviews upon request, or as needed to satisfy WorkSafe BC criteria. Trenching, utility installation, and backfilling should be carried out in accordance with local municipal specifications and MMCD (*Master Municipal Construction Documents, Platinum Edition Specifications Section 312301, Part 1.8*).

Retaining walls over 1.2 m in height require an engineered design. Lateral earth pressures for foundation walls or other retaining structures have been provided in Section 6.5. In addition, Arya is available to provide design recommendations and permitting documents for engineered retaining walls that may be required for this development upon request.

6.5 Lateral Earth Pressures

Below grade walls, foundations and grade beams should be adequately designed to resist the lateral earth pressures acting on them and any additional loads caused by surcharge loads on the adjoining ground surface. Lateral loading coefficients on these elements have been provided for a number of situations. Coefficients have been provided for At-Rest Pressure (K_O) and Active Pressure (K_A) conditions. Coulomb's theory was used to calculate the active pressures while the Mononobe-Okabe method was used to calculate an earthquake induced active pressure coefficient (K_{AE}). The PGA value detailed in Section 4.0 of this report was utilized in calculating the earthquake induced active pressure coefficient.

The coefficients have been calculated in accordance with the 4th edition of the Canadian Engineering Foundation Manual (2006). Table 2 provides the lateral earth pressure coefficients that should be used for applicable below grade elements.

Table 3 – Lateral Earth Pressure Coefficients

Pressure Condition	Coefficient Symbol	Coefficient Value
At-Rest Pressure	K_O	0.43
Active Pressure	K_A	0.27
Active Pressure (Including Seismic Effects)	K_{AE}	0.30

Lateral earth pressure coefficients were determined assuming a level, free draining backfill corresponding to the material specifications, and compaction specifications provided in Section 6.2. A unit weight of 19.0 kN/m^3 and an internal angle of friction of 35° were used in the development of these values. It is assumed that free draining backfill will extend horizontally from the top of below grade elements, to a lateral distance equivalent to the elements height.



The at-rest and active pressure conditions can be designed according to a triangular pressure distribution. For seismic earth pressures, the effects of earthquake shaking can be assumed to add an additional, inverse triangular pressure distribution.

6.6 Construction Field Reviews

The preceding conclusions constitute preliminary geotechnical recommendations for the development of the proposed dwelling and related works. It is essential that all stakeholders including all contractors and consultants working on this project review the results of this assessment prior to commencement of construction activities. It is recommended that this office be retained to review the final project plans to ensure conformance to the recommendations provided in this report, and be provided the opportunity to provide design consultation when required to ensure that our intentions have been effectively conveyed.

For conditions in this report to be considered accurate, this office must be provided the opportunity to conduct field inspections during construction. Arya should be informed 48 hours in advance prior to the following inspections:

1. Site preparation, excavation, subgrade review and proof rolling;
2. Drainage review;
3. Approval of and compaction of engineered fill and backfill review; and,
4. Closure review (prior to the issuance of a Schedule C-B).

Failure to engage this office in the construction field review process may result in the non-issuance of a Schedule C-B.

7.0 CLOSURE

This report has been prepared for the exclusive use of Mike Delesalle for the development activities proposed on the subject site at the time this assessment was conducted. The recommendations provided in this document reflect Arya's best judgment based on the information available to Arya at the time of preparation of this document. If conditions other than those are noted during subsequent phases of development, Arya should be notified immediately and given the opportunity to review and revise the current recommendations, if necessary.

This report remains the property of Arya Engineering Inc., and Arya does not accept damages caused by the unauthorized third-party use of the information contained herein. The information in this assessment can be considered valid for a period of 2 years, after which this office should be retained to review site conditions to verify the adequacy of the information contained herein. The assessment was conducted in accordance with current geotechnical engineering practice and principles.



We trust this report provides you with the information required at this time, and we appreciate the opportunity to be of service on this project. If you have any questions regarding the report, please do not hesitate to contact us.

Best Regards,
Arya Engineering Inc.

Emir Hot, B.ASc., EIT
Project Engineer - Geotechnical



2018-07-31

Ben Tomasz, B.Eng., P.Eng.
Principal | Senior Geotechnical Engineer



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APPENDIX A – Drawings

PROJECT ID	DATE	FIGURE NUMBER
18-157-SC	7/31/18	FIGURE 1

564 VAUCROFT RD

7/31/2018

Folio: 746.01680.000 PID: 009-414-843

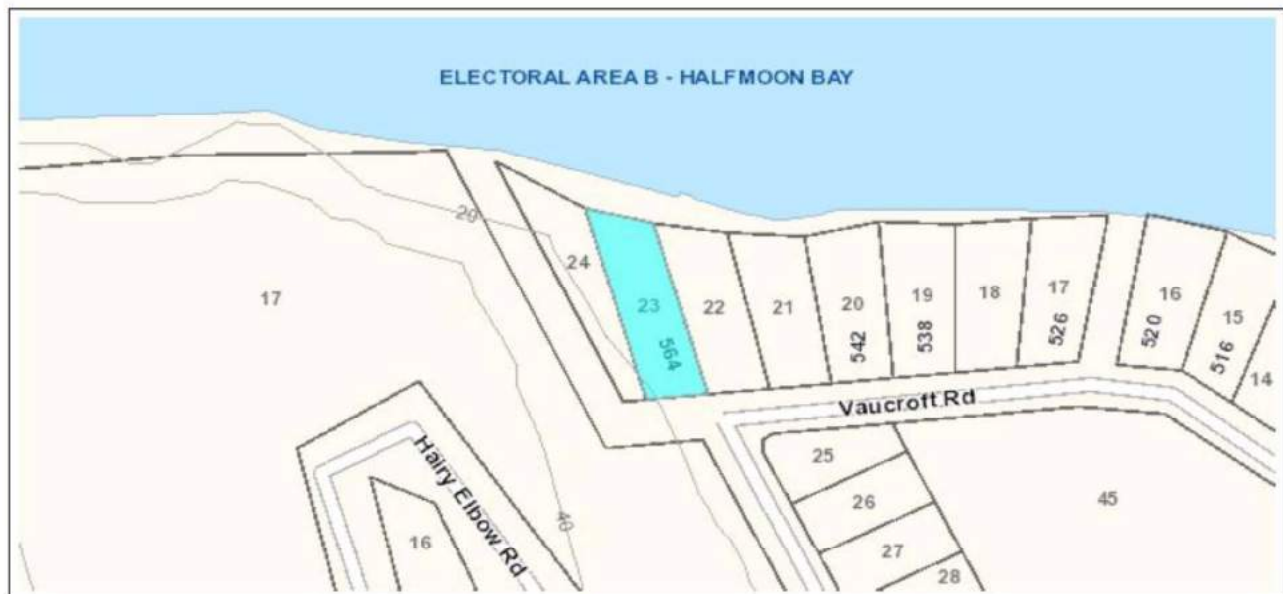
Address: 564 VAUCROFT RD

Jurisdiction: SCRD

Lot: 23 Block: A Plan: VAP10306 District Lot: 1017

2018 Assessed Value: 1035000 Land Value: 954000 Improvement Value: 81000

Approximate Lot Size (BC Assessment): 14430 SQUARE FEET



PROJECT ID	DATE	FIGURE NUMBER
18-157-SC	7/31/2018	FIGURE 2





2010 National Building Code Seismic Hazard Calculation

INFORMATION: Eastern Canada English (613) 995-5548 français (613) 995-0600 Facsimile (613) 992-8836
Western Canada English (250) 363-6500 Facsimile (250) 363-6565

Requested by: Emir Hot, Arya Engineering Inc.

July 31, 2018

Site Coordinates: 49.5087 North 124.0009 West

User File Reference: 564 Vaucroft Road, North Thormanby Island, British Columbia

National Building Code ground motions:

2% probability of exceedance in 50 years (0.000404 per annum)

Sa(0.2)	Sa(0.5)	Sa(1.0)	Sa(2.0)	PGA (g)
0.841	0.594	0.319	0.168	0.406

Notes. Spectral and peak hazard values are determined for firm ground (NBCC 2010 soil class C - average shear wave velocity 360-750 m/s). Median (50th percentile) values are given in units of g. 5% damped spectral acceleration (Sa(T), where T is the period in seconds) and peak ground acceleration (PGA) values are tabulated. Only 2 significant figures are to be used. **These values have been interpolated from a 10 km spaced grid of points. Depending on the gradient of the nearby points, values at this location calculated directly from the hazard program may vary. More than 95 percent of interpolated values are within 2 percent of the calculated values.** Warning: You are in a region which considers the hazard from a deterministic Cascadia subduction event for the National Building Code. Values determined for high probabilities (0.01 per annum) in this region do not consider the hazard from this type of earthquake.

Ground motions for other probabilities:

Probability of exceedance per annum	0.010	0.0021	0.001
Probability of exceedance in 50 years	40%	10%	5%
Sa(0.2)	0.204	0.439	0.599
Sa(0.5)	0.140	0.304	0.417
Sa(1.0)	0.073	0.162	0.223
Sa(2.0)	0.038	0.084	0.116
PGA	0.104	0.216	0.292

References

National Building Code of Canada 2010 NRCC no. 53301; sections 4.1.8, 9.20.1.2, 9.23.10.2, 9.31.6.2, and 6.2.1.3

Appendix C: Climatic Information for Building Design in Canada - table in Appendix C starting on page C-11 of Division B, volume 2

User's Guide - NBC 2010, Structural Commentaries NRCC no. 53543 (in preparation)
Commentary J: Design for Seismic Effects

Geological Survey of Canada Open File xxxx
Fourth generation seismic hazard maps of Canada: Maps and grid values to be used with the 2010 National Building Code of Canada (in preparation)

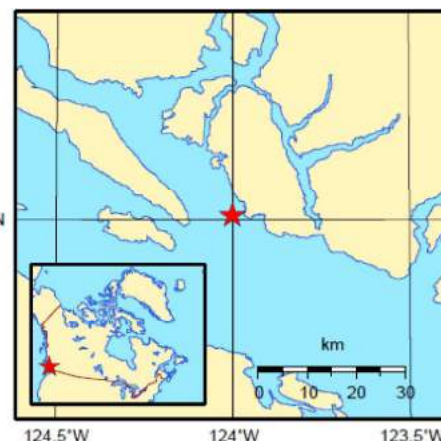
See the websites www.EarthquakesCanada.ca and www.nationalcodes.ca for more information

Aussi disponible en français



Natural Resources
Canada

Ressources naturelles
Canada



Canada



APPENDIX B – Photographs



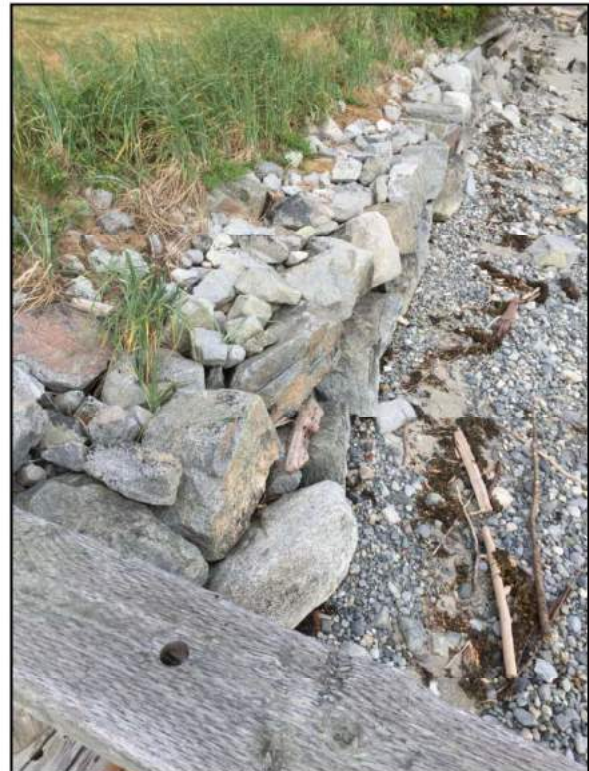
Photograph 1 – Subject Site (south facing)



Photograph 2 – Rip Rap Revetment



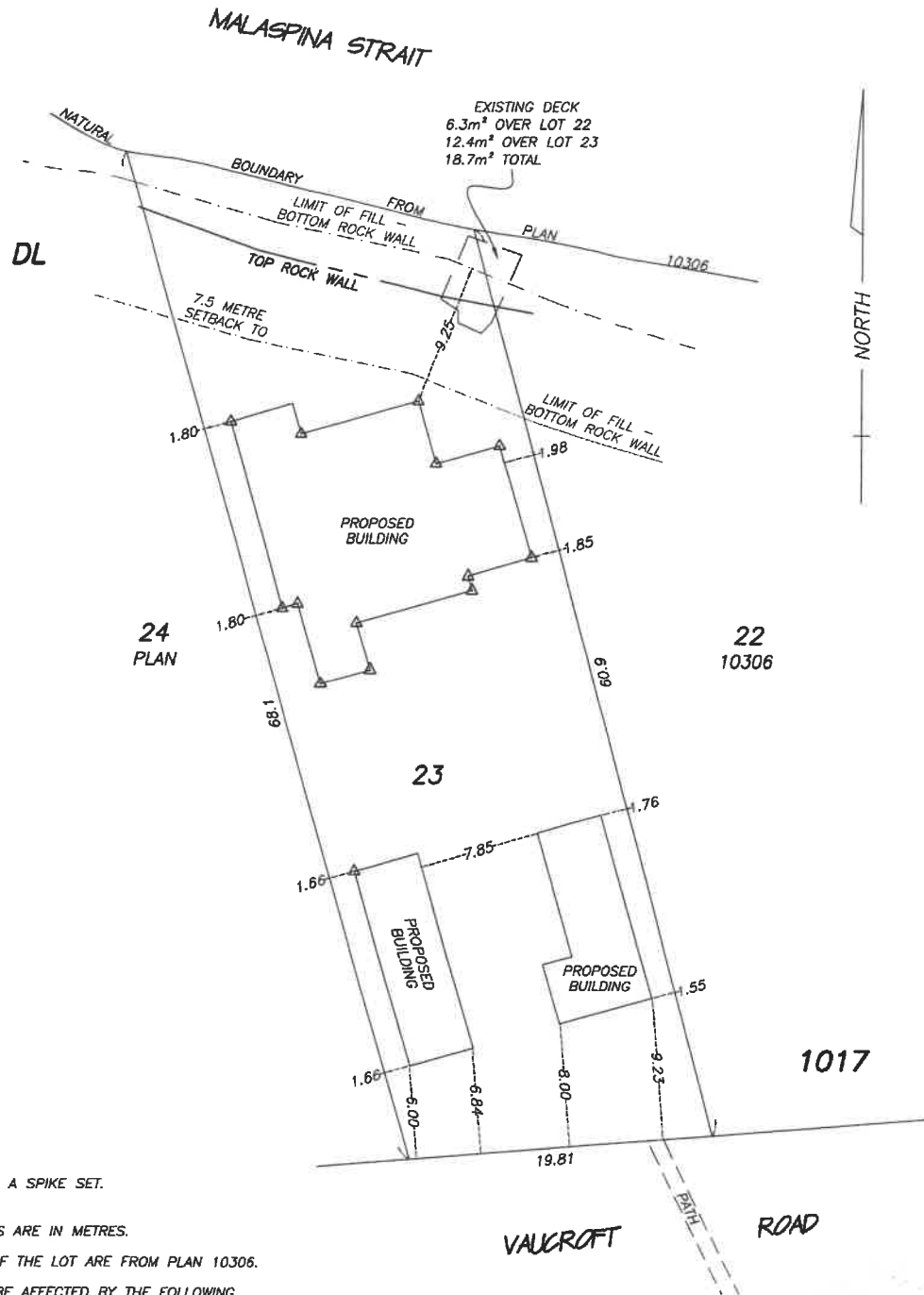
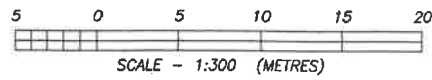
Photograph 3 – Subject Site (north facing)



Photograph 4 – Revetment (top view)

SITE PLAN OF PART OF LOT 23 BLOCK A DISTRICT LOT

Attachment 4



NOTE:

△ DENOTES A SPIKE SET.

ALL DISTANCES ARE IN METRES.

DIMENSIONS OF THE LOT ARE FROM PLAN 10306.

LOT 23 MAY BE AFFECTED BY THE FOLLOWING ENGUMBRANCES:

- RESTRICTIVE COVENANT R130986

LOCATION: 564 VAUCROFT ROAD, NORTH THORMANBY ISLAND, BC

PID: 009-414-843

THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE OF MIKE DELESALLE.

COPYRIGHT 2019.

PER: RAFAEL REBOLONE

BCLS

SURVEY DATE:
MARCH 26, 2019

STRAIT LAND SURVEYING INC.
RAFAEL REBOLONE, BCLS
BOX 61 (5689 DOLPHIN STREET)
SECHLT, BC VON 3A0
T. 604.885.3237

18140-608

From: [REDACTED]
Sent: Monday, April 22, 2019 12:45 PM
To: Jaime Dubyna
Subject: Development Variance Permit GM-DVP-2019.1 Lot 23 Vaucroft Beach
PID:009-414-843

Dear Jaime Dubyna
Planner, 2, Islands Trust,

Thank you for the opportunity to review the plans and comment on the variance application relating to the redevelopment of Lot 23 at Vaucroft Beach. I am an owner of Lot 20, two lots removed and to the east of the subject. The requested variances pertaining to accessory building heights and permitted storeys, the reduction of setbacks to accommodate an existing protective rock (sea) wall, and the zero set back from an interior lot line for a deck, would not negatively impact us in any way. I am sure that the design and quality of the construction of all referenced improvements will also not detract from the ambiance of the West Beach area of Vaucroft. It is expected that new development on these lots will be more extensive than the original modest cottages and there are a number of examples of well-considered and designed new residences on the island.

I therefore have no objection to the issuance of the referenced Development Variance Permit .

Yours truly,

David Sheffield

From: Michael Turner [REDACTED]
Sent: Saturday, April 27, 2019 12:36 PM
To: Jaime Dubyna
Subject: Re: Application for cabin

Hello Jamie,

I am Mike Turner, who will inherit part of the cabin next to the property that this application deals with. My wife called you earlier this week and asked for details and also purchased a covenant. Unfortunately due to her sickness we can't make the meeting.

I should mention I do not speak for the owners of the cabin, who have decided that the owner is being respectful and understanding, which I believe to be true.

However, as a future owner of a property on the island, we are still concerned that the covenant is not being upheld. The land was purchased with the knowledge of the covenant. The cabins around this property were all built according to the covenant and to respect those cabins this property should also be built according to it. The covenant is in place to protect the island's water and shoreline.

Additionally, I am concerned about having more than one bathroom on a sensitive water system. The accessory buildings should not have water access because unnecessary water use should be avoided on a sensitive water system. Our cabin has had multiple families function on one very small bathroom for 50+ years and while its not necessary luxurious, it does the job.

As well, we are concerned that the accessory buildings' excessive height will invade our privacy. Since they are just sleeping cabins, do they need to have a second storey that would invade the privacy of neighbouring lots?

The island already has had erosion issues in the past and according to the Covenant, the cabin should not be closer then 50 feet from the high water mark to protect the shoreline. The distance from the high water mark should also be respected to ensure the enjoyment of the view for all neighboring cabins and not decrease property value for the surrounding property owners.

However I do understand that The Island Trust has its limitations in regards to the covenant so I respect any decisions made by the Trust on this issue and defer to your judgement. I am sure the owner of the property continues to be cooperative on these issues as well.

Thank you so much for passing on my comments and answering all my questions this week.

Sincerely,
Michael Turner
[REDACTED]

From: Theresa Fresco <tfresco@fraserbasin.bc.ca>
Sent: Wednesday, January 9, 2019 9:36 AM
Subject: Air Quality Issues and Opportunities in the Sea to Sky Airshed

Good morning,

The Fraser Basin Council (FBC), an established independent not-for-profit organization that advances sustainability throughout BC through broad-based informed collaboration, has been asked by the Sea to Sky Clean Air Society (SSCAS) to implement a needs assessment and gap analysis to better understand air quality issues and opportunities in the Sea to Sky airshed. In light of the important roles local governments play to improve air quality, from community outreach and education to managing emissions from their own activities, I am writing to you to request an opportunity to undertake a short interview that will assist the SSCAS to determine what role(s) it can potentially play in the future to support local governments' leadership in this regard.

Through a 45 minute telephone or in-person interview, I would appreciate your ideas and insights on the following topics:

1. Current air quality related priorities in the Sea to Sky airshed;
2. Air quality activities currently underway that your local government is leading or is aware of through the work of others; and,
3. The potential role(s) that the Sea to Sky Clean Air Society could provide in alignment with these priorities and activities.

The FBC is undertaking this work as an independent third party which will develop a summary of feedback and recommendations for SSCAS and one of its funders, the provincial government. For more information about the project as well as FBC and SSCAS, please see the briefing note attached.

I will call to follow up in the next week. In the meantime, please don't hesitate to contact me if you have any questions or require additional information.

Thanks for your time and consideration.

Warm regards,

--

Theresa Fresco

Regional Manager | Fraser Basin Council | Greater Vancouver - Sea to Sky Region

Salmon Safe BC - Urban Development

Tel: 604-488-5363

Email: tfresco@fraserbasin.bc.ca

[FBC Web](#) | [NWR Web](#) | [Salmon Safe BC Web](#) | [Salmon Safe Facebook](#) | Twitter: [@SalmonSafeBC](#)

Social well-being supported by a vibrant economy and sustained by a healthy environment

Overview of the Sea to Sky Clean Air Society and the Air Quality Needs Assessment Project
<http://seatoskyairquality.ca/about-sscas/staff/>

Background:

The Sea to Sky Airshed faces a number of air quality and climate change challenges including increases in particular matter (PM_{2.5}), ground level ozone and greenhouse gas emissions (GHGs) resulting from increased vehicular traffic due to increased visitation and resident population growth, wood burning, land clearing, forestry, and increases in industrial and commercial development. These issues are compounded by geographical features that lead to poor air circulation and build-up of pollutants particularly during high pressure systems which prevent pollutant dispersion. To address these issues, a Sea to Sky / Howe Sound Air Quality Coordinating Committee was formed in 2002 which evolved into the Sea to Sky Clean Air Society (SSCAS) in 2010.

Prior to the Sea to Sky Clean Air Society (SSCAS) becoming a registered Society in 2010, members met on an ad-hoc basis as the Air Quality Coordinating Committee (AQCC) since 2002. This was, from the outset, an outgrowth of the Howe Sound Forum, and originally all members were elected officials or municipal staff. The AQCC worked collaboratively to develop the Sea-to-Sky Air Quality Management Plan (AQMP) in 2007, which was updated in 2015.

The Sea to Sky airshed includes the communities surrounding Howe Sound including:

- Gibsons
- Bowen Island
- Keats Island
- Gambier Island
- West Vancouver
- Lions Bay
- Furry Creek
- Britannia Beach
- Squamish
- Whistler
- Pemberton
- Mount Currie
- D'Arcy

The SSCAS currently has four Board members – three community members and one local government staff from the Squamish-Lillooet Regional District.

Work to Date:

The AQCC and subsequently SSCAS have had ongoing roles in air quality advocacy, education and policy development (including Implementation of the Air Quality Management Plan). As well, they have provided staffing for numerous initiatives including:

- Bike-to-School and Work weeks
- Woodstove exchange program
- Burn-it-Smart workshops
- Compute the Commute Transportation Workshop (Squamish)
- Interface fire mitigations convening (Whistler)
- Provincial Open Burning Regulation review (Squamish)

- Air Quality Symposium (West Vancouver)
- Idling Ambassador community outreach
- Habitat Restoration through naïve species plantings (Eco-Connections Grants)
- Development of bylaws such as backyard burning protocols

In addition, SSCAS has commented on air impacts of proposed development – e.g. Burnco, Woodfibre LNG, Asphalt Plant in Whistler, Port Mellon co-generation, residential / commercial development along the corridor.

It developed a template back yard and open burning protocol for adopting by member local governments, and crafted OCP / LUB language.

Funding:

SSCAS receives seasonally restricted funding from the Ministry of Environment and Climate Change Strategy and applies for grant funding where possible.

Historically, the SSCAS received funding from the local governments in the Sea to Sky airshed.

Purpose of the Needs Assessment Project

In order to re-establish the SSCAS' role in advancing work on air quality and better align its work with local governments and other entities, a needs assessment and gap analysis review will be conducted by the Fraser Basin Council (as an independent, third party). This review would allow the SSCAS to elicit feedback from local government staff on current air quality related priorities, activities currently underway and the role and/or services that the SSCAS can provide.

Overview of the Fraser Basin Council:

The Fraser Basin Council was established in 1997, and is focused on advancing sustainability throughout BC with a focus on the Fraser River Basin. The mandate of the FBC is to ensure that the Fraser Basin is a place where social well-being is supported by a vibrant economy and sustained by a healthy environment. The FBC's Board of Directors includes the four orders of government (Federal, Provincial, Local, First Nations), the private sector and civil society. This diversity of perspectives, interests and jurisdictions is also engaged throughout the delivery of programs and projects, which are implemented at different geographic scales ranging from local to regional to basin-wide to province-wide. The Council has offices, staff and Directors in the following regions: Upper Fraser, Cariboo-Chilcotin, Thompson, Fraser Valley and the Greater Vancouver- Sea to Sky. One of FBC's key strategic priorities is to support action on Climate Change and Air Quality and supports a number of air quality initiatives including the Prince George Air Improvement Roundtable (PGAIR) and Kamloops Air Quality Roundtable.

MEMORANDUM

File No.: 0680-25
(Annual Report)

DATE OF MEETING: April 27, 2019
TO: Gambier Island Local Trust Committee
FROM: Ann Kjerulf, Regional Planning Manager
Northern Team
SUBJECT: 2018-2019 Annual Report

RECOMMENDATION:

1. That the Gambier Island Local Trust Committee endorse the following text for inclusion in the 2018-2019 Annual Report for approval by the Islands Trust Council and submission to the Minister of Municipal Affairs & Housing.

The Gambier Island Local Trust Committee (GM LTC) held seven regular business meetings, three special meetings, and one public hearing in the 2018/19 fiscal year.

During the fiscal year, the GM LTC advanced top priority projects including shoreline protection for Keats Island and the implementation of the Riparian Areas Regulation on Gambier Island. The GM LTC also hosted a Green Shores workshop on North Thormanby Island with the Stewardship Centre for British Columbia.

Thirty-eight land use applications and referrals were processed for the GM LTC and the committee also continued to consider rezoning the Convention of Baptist Churches of British Columbia property on Keats Island.

DISCUSSION

Local trust committees are asked to endorse their draft sections of the 2018-2019 Annual Report so that Trust Council is readily able to approve the annual report at the Trust Council meeting in June 2019.

Preparation of the Islands Trust Annual Report is outlined in Trust Council's [Annual Report Policy 6.10.i](#). Once each committee has approved its section, staff will create a draft Annual Report for review by the Executive Committee and subsequent consideration of Trust Council in June. Upon approval by Trust Council, staff will send the Annual Report to the Minister of Municipal Affairs & Housing and circulate it as indicated in Trust Council's policy.

The recommended text (above) has been reviewed by the Islands Trust Communications Specialist and approved by the Director of Local Planning Services (or designate).

Submitted By:	Ann Kjerulf, MCIP, RPP Regional Planning Manager	April 23, 2019
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Farming for Info: Agricultural Land Use Inventory & Agricultural Water Demand Model

A healthy agriculture sector provides economic development opportunities, fresh food to residents, and enhances local food security, however there is strong evidence that barriers to farming are increasing. Non-farm uses and residential estate uses on farmland are factors which contribute to rising costs of leasing or purchasing farmland. In addition, the availability of water is a critical element to the success of agriculture.

An Agricultural Land Use Inventory (ALUI) provides current data to inform local governments, industry, community groups/organizations, and other stakeholders when addressing existing and developing issues on farmland. ALUI's map the amount and type of farming in the region, describe how designated farmland (ALR) is being used including the level of non-farm uses, and provide a benchmark for monitoring land use change.

ALUI data is a key input into an Agricultural Water Demand Model that estimates agriculture water demand for future climate scenarios. Climate change and a growing population are challenging water supply and delivery infrastructure. Securing appropriate water allocation for current and future agricultural needs is necessary for long-term sustainability of the farming community.

Together, an ALUI and AWDM can help answer the following questions:

- What is the current extent, type, location, and scale of agricultural activities in the area?
- What is the current extent, type, location of value added activities (agritourism, events, processing, farm gate sales) occurring on farmed properties?
- How are current farmed properties being utilized; land proportion in cropped land, farm infrastructure, residences, natural / nonproductive land?
- How is parcel size, parcel location influencing utilization for agriculture?
- What is the current extent and type of non-farm use occurring on farmland?
- What is the current water demand for agriculture, both crops and livestock?
- What is the current extent and type of irrigation methods in use?
- What is the water demand for agriculture in future climate scenarios?
- What is the water demand for agriculture in future cropping and livestock scenarios (ex. full land base utilization)?

Project timing / methodology:

Over the winter and spring, office technicians use high resolution ortho-photo imagery to map field crops, irrigation, livestock facilities, farm practices, and other land uses on agricultural land across the region.

Then, during the summer (growing season), agrologists will navigate public roads and observe the land from within the vehicle to confirm information gathered in the office from the imagery (i.e. windshield survey).

Farmers are not actively contacted, but the survey crew often engages with farmers that walk up to the survey vehicle.

Deliverables include:

A geographic database of Land use and Land cover, including non agricultural uses where they occur on designated farmland (ALR) such as residential, commercial, transportation for all parcels in the ALR or outside the ALR but with Farm Class designation (BC Assessment).

On parcels where farming activities exist, additional data describing activities, including

- Crop type and practice
- Irrigation type
- Livestock type and intensity (including apiculture, aquaculture)
- Value added activities such as on farm fruit stands, crop processing, tourism activities like guest houses or wine tasting.
- Crop protection such wind machines (frost protection) or propane cannons

A written ALUI report using the standard template as defined by the Ministry of Agriculture or a web application displaying ALUI data summaries and mapping .

A populated Agricultural Water Demand Model (AWDM) for at least 5 different water demand scenarios including:

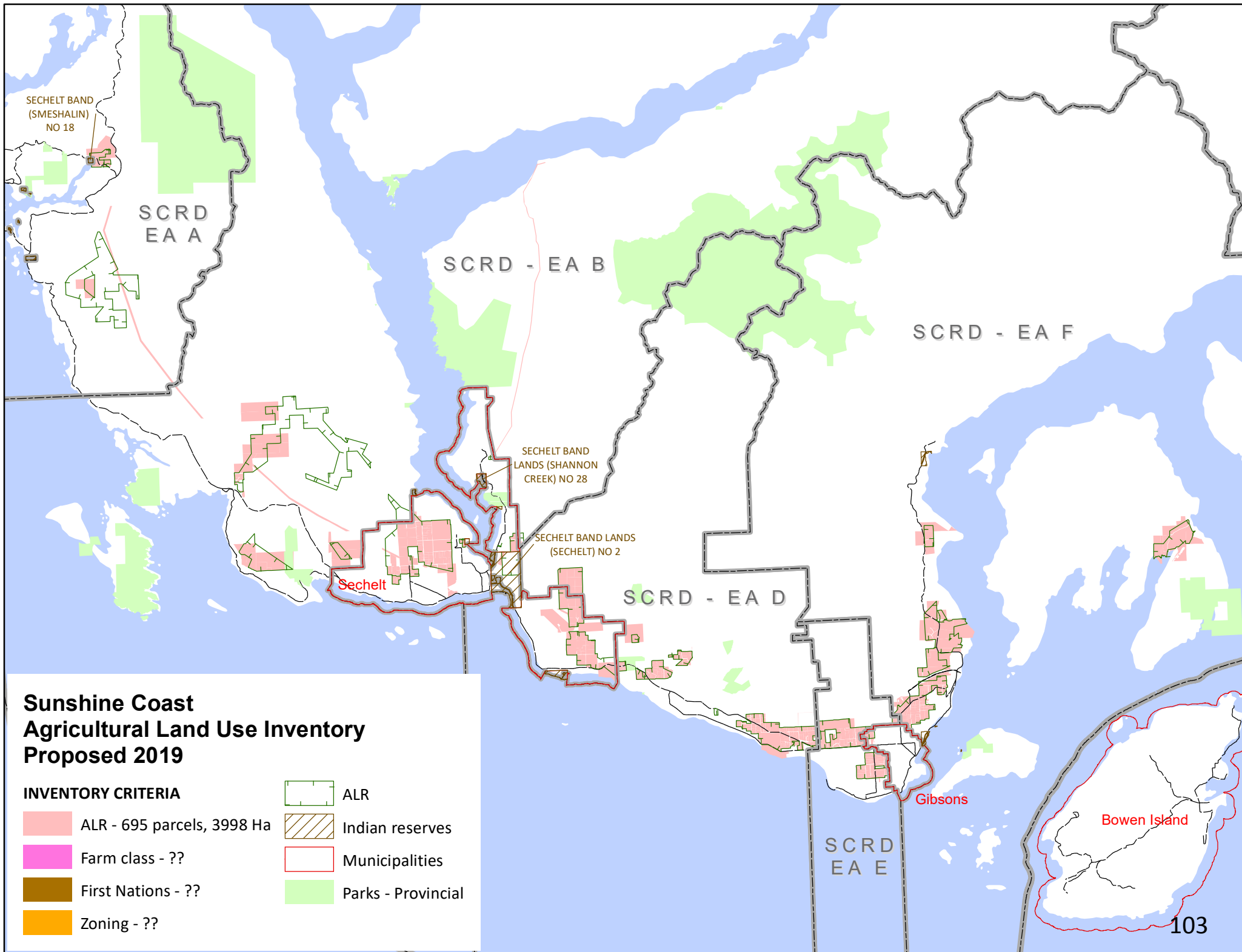
- by crops, irrigation systems and soil texture with current land use and climate;
- if more efficient irrigation systems replace the existing systems under current land use and climate;
- if irrigated acreage is increased; and
- the above with several different future climate change scenarios.



Partial funding is available through Investment Agriculture's Agricultural Area Planning Program and/or the Partnership for Water Sustainability in BC. The BC Ministry of Agriculture often coordinates and manages ALUI and AWDM projects in partnership with the local government.

For more information:

Corrine Roesler
BC Ministry of Agriculture
Phone: 604 556 3110
Corrine.Roesler@gov.bc.ca



File No.: 0680-25
(Annual Report)

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FROM: Ann Kjerulf, Regional Planning Manager
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Submitted By:	Ann Kjerulf, MCIP, RPP Regional Planning Manager	April 23, 2019
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Top Priorities

Gambier Island

No.	Description	Activity	R/Initiated	Responsibility	Target Date
1	Riparian Areas Regulation	Implement RAR and protect all watercourses across the Gambier Island Local Trust Area	26-Oct-2011	Sonja Zupanec	
2	Gambier OCP Comprehensive Review	Revised Project Charter scope Dec. 2018	12-Feb-2015	Sonja Zupanec	
3	Keats Island Shoreline Protection Project - Phase 2	Review of OCP and LUB to implement shoreline protection measures.	31-Jan-2019	Sonja Zupanec Jaime Dubyna	
4	Keats Island OCP Advocacy Policies - Implementation & Support	Supporting the advocacy policies of the Gambier, Keats, and Associated Islands OCPs, and Islands Trust Strategic Plan (e.g. woodlots, industrial facilities, Howe Sound)	24-Oct-2013	Kate-Louise Stamfor Dan Rogers	

**Projects****Gambier Island**

Description	Activity	R/Initiated
Development Approval Information Bylaw	Develop and adopt a D.A.I bylaw for the Gambier Trust Area.	
Squamish First Nation Consultation	Scope interim strategies pending completion of a possible protocol agreement to address protection of archaeological and heritage resources.	31-Jan-2012
Gambier LUB Review	Review Gambier LUB to address: - definition of breakwater - trams (currently silent) - advocacy policies around pump out stations - review of title Wilderness Conservation - 2013: REVIEW KEATS AND GAMBIER LUBS FOR ACCOMMODATION of OCEAN LOOP GEO-EXCHANGE SYSTEMS - 2010: GHG Emissions (a more proactive approaches to plan for GHG reductions especially in relation to Policies 6.1 and 6.2 in consultation with SCRD.) Initiative arises from recommendation of SCRD in comments about bylaws 111 & 112.	22-May-2014
Gambier Site-specific Water Zones	Staff to research the history of Site-Specific water zones on Gambier.	26-Sep-2013
Recreational Camp and Private Institutional Regulation Review	Review Recreational Camp and Private Institutional regulations in all Local Trust Area land use bylaws. Review to ensure that regulations properly balance ecological protection with current realities re: rentals as income source for rec camps.	28-Jul-2016

Projects

Gambier Island

Description	Activity	R/Initiated
Keats Island LUB review	review definition of 'structure' to ensure adequate regulation of the siting of underground sewage disposal systems with setbacks to lot lines and the natural boundary of the sea -review regulations for accessory uses, buildings and structures occurring on parcels where no principal use exists (April 2018 LTC resolution).	11-Dec-2017
Thormanby Islands Foreshore Protection Pilot Project		26-Jul-2018



Islands Trust Conservancy Report to Local Trust Committees and Bowen Island Municipality March 2019

Local Trust Committee Referrals

The ITC Board considered two local trust committee referrals regarding development proposals on two properties adjacent to ITC Nature Reserves on Salt Spring and North Pender Islands. Read the details in the Island-by-Island Activities.

Standards and Practices for Land Trusts

The ITC Board received a comparison report about the revised Canadian Land Trust Alliance Standards and Practices. While the Islands Trust Conservancy meets the majority of recommended standards, there will be further work done to ensure it fulfills all relevant recommendations.

ITC Board Fund Development Advisory Committee

The ITC Board Fund Development Advisory Committee met for the first time since forming in a special closed meeting after the regular closed and open March 26 ITC Board meetings.

Islands Trust Reconciliation Declaration

The ITC Board discussed options for endorsement or participation in the Islands Trust Reconciliation Declaration.

Summary of Current Island-by-Island Activities

The ITC continues to work on management plans for eight nature reserves on Thetis (1), Gambier (3) and Denman (4) Islands and received forage fish habitat mapping for Sidney and James Islands.

Denman

The ITC Board received a briefing on the Comox Valley Regional District Engagement with First Nations in relation to a request from the Cowichan Valley Regional District to allow a segment of the Denman Cross Island Trail to cross the Lindsay Dickson Nature Reserve.

Management planning for the Valens Brook Nature Reserve, including the recent addition, is under way. Invasive species removal and trail clearing, sign installation, and tree protection for forest restoration continue at Inner Island, Lindsay Dickson, and Morrison Marsh Nature Reserves on Denman. New ten-year management plans for these three nature reserves will be completed in 2019.

Gabriola

Expansion of the boardwalk over wet areas and exposed roots on the west side of the loop trail in Elder Cedar Nature Reserve has been completed and additional minor trail improvements are planned for 2019.

Galiano

The ITC received a report from the Habitat Acquisition Trust that approximately 30 m³ of Scotch broom was removed from the bluffs at Trincomali Nature Sanctuary by volunteers in October 2018. Improved signage for the trail in Vanilla Leaf Land Nature Reserve is planned for 2019.

Gambier

Management planning for three Gambier Island Nature Reserves (Brigade Bluffs, Long Bay Wetland, Mount Artaban) continues.

Lasqueti

The ITC and the Lasqueti Island Nature Conservancy (LINC) have met the fundraising goal for the Salish View acquisition campaign. Staff are continuing working to finalize the land transfer. Once the land transfer is complete, public consultation and management planning will begin.

North Pender

The ITC Board discussed a referral from the North Pender Island Local Trust Committee for Bylaw No. 220. The subject property for the bylaw is adjacent to the Medicine Beach Nature Sanctuary. The ITC Board noted concerns about the effects of light pollution on many animal species, including bats, and concerns about storage of toxic materials on the site. Staff provided the ITC Board response to the local trust committee and followed up with planning staff regarding best management practices for external lighting and wildlife.

Salt Spring

The ITC Board considered a referral from Salt Spring Island planning staff regarding a Development Variance Permit for lands adjacent to the Lower Mount Erskine Nature Reserve. The ITC Board indicated that its interests are not significantly impacted and directed staff to work with the Salt Spring Island Planner to follow up with the landowner to provide information regarding conservation options to provide a natural buffer for the Nature Reserve.

Thetis

The ITC is assisting the Thetis Island Nature Conservancy and the Cowichan Community Land Trust with an application for funding for a trail and kiosk on Fairyslipper Forest Nature Reserve. The ITC continues to work on management plans for recent acquisitions on Thetis Island, including archaeological work and communications with the Penelakut Tribe regarding cultural values on the lands. ITC staff plan to install signage informing the public of Thetis Island nature reserve boundaries in 2019.

Please feel free to contact the Islands Trust Conservancy for more details.

Kate-Louise Stamford, Chair kstamford@islandstrust.bc.ca

Islands Trust Conservancy itcmail@islandstrust.bc.ca



Islands Trust

Print Date: April 18, 2019

Applications

Development Variance Permit

File Number	Applicant Name	Date Received	Purpose
GM-DVP-2002.1	Land Plan Group Inc.	24-Jan-2002	PID: 014-385-694\nKeats Island - Keats Camp cottage lots - siting variances\nDL 696

Planner: Sonja Zupanec

Planning Status

Status Date: 10-Apr-2008
still on hold pending rezoning

Status Date: 13-Aug-2007
on hold pending rezoning application

Status Date: 16-May-2006
Met with applicant. Outstanding items forwarded for attention. May be add'l fees.

File Number	Applicant Name	Date Received	Purpose
GM-DVP-2018.2	Treloar, DEBRA	15-Oct-2018	PID: 009-414-649 Adding on to cabin, need to vary set backs Civic address: 460 Vaucroft Road, Thormanby Island, BC

Planner: Jaime Dubyna

Planning Status

Status Date: 16-Apr-2019
No change.

Status Date: 29-Jan-2019
Applicant updated planner that plans may be revised. Requested revised plans once they are finalized.

Status Date: 15-Jan-2019
Planner email to applicant for update.

File Number	Applicant Name	Date Received	Purpose
GM-DVP-2019.1	Rebecca McCLeery DBA Coastal Frameworks	07-Jan-2019	PID: 009-414-843 Civic address: 564 Vaucroft Road, North Thormanby Island, BC. Building SFD and two sleeping cabins/storage.

Planner: Jaime Dubyna

Applications

Planning Status

Status Date: 11-Apr-2019

Public notification mailed out.

Status Date: 07-Apr-2019

Revised site plan by BC Land Surveyor (unsigned) submitted to planner. Revised building plans for proposed accessory buildings submitted to planner.

Status Date: 04-Apr-2019

Planner noted to the applicant that a site plan signed by a BC Land Surveyor has not been received to date.

Rezoning

File Number	Applicant Name	Date Received	Purpose
GM-RZ-2004.1	LandPlan Group Inc.	16-Jun-2004	PID: 014-385-694 Keats Island - Keats Camp rezoning application DL 696

Planner: Sonja Zupanec

Planning Status

Status Date: 28-Dec-2018

Bylaw 143 given 1st, 2nd, 3rd readings and approved by Executive Committee. X-ref GM-SUB-2018.1 subdivision referral conditions. Applicant advised of next steps before bylaw can be adopted.

Status Date: 25-May-2017

CIM scheduled for July 27th to provide draft bylaw amendments to enable a comprehensive development zone; transfer LUC provisions and enable subdivision.

Status Date: 20-Apr-2017

Revised draft ToR for hydro.assessment sent to applicant for review.

File Number	Applicant Name	Date Received	Purpose
GM-RZ-2019.1	South Keats Investments Ltd.	16-Jan-2019	PID: 008-861-102 Civic address: 255 Esplanade Road, Keats Island, BC. LUB No. 78 Amendment

Planner: Bronwyn Sawyer

Planning Status

Applications

Status Date:

Subdivision

File Number	Applicant Name	Date Received	Purpose
GM-SUB-2018.1	Gambier Island Sea Ranch c/o Miller Thomson Planner: Sonja Zupanec	08-Nov-2018	PIDs: Various (29) Subdivision application - Gambier Island Sea Ranch

Planning Status

Status Date: 31-Dec-2019

Referral response sent to MOTI and applicant. Several conditions listed for PLA which must be met prior to final subdivision approval.

File Number	Applicant Name	Date Received	Purpose
GM-SUB-2018.2	CONVENTION OF BAPTIST CHURCHES OF BC Planner: Sonja Zupanec	14-Dec-2018	PID: 014-385-694 110 lot subdivision Civic address: 900 Keats Road, Gibsons, BC

Planning Status

Status Date: 28-Dec-2018

Referral response sent to MOTI and applicant. Several conditions for PLA must be met prior to final subdivision approval.

Islands Trust
LTC EXP SUMMARY REPORT F2019
Invoices posted to Month ending February 2019

630 Gambier	Invoices posted to Month ending February 2019	<u>Budget</u>	<u>Spent</u>	<u>Balance</u>
65000-630	LTC "Trustee Expenses"	3,000.00	2,664.98	335.02
LTC Local				
65200-630	LTC - Local Exp - LTC Meeting Expenses	4,750.00	4,300.74	449.26
65210-630	LTC - Local Exp - APC Meeting Expenses	500.00	414.14	85.86
65220-630	LTC - Local Exp - Communications	250.00	0.00	250.00
65230-630	LTC - Local Exp - Special Projects	500.00	2,500.00	-2,000.00
TOTAL LTC Local Expense		<u>6,000.00</u>	<u>7,214.88</u>	<u>-1,214.88</u>
Projects				
73001-630-2016	Gambier OCP/LUB	3,000.00	863.38	2,136.62
73001-630-2019	Gambier Keats Island OCP/LUB	3,500.00	0.00	3,500.00
73001-630-3003	Gambier RAR	5,000.00	3,903.24	1,096.76
73001-630-4094	Gambier Keats Island Shoreline Protection Review	3,500.00	1,970.80	1,529.20
TOTAL Project Expenses		<u>15,000.00</u>	<u>6,737.42</u>	<u>8,262.58</u>

Gambier Island Local Trust Committee Policies & Standing Resolutions

No	Meeting Date	Resolution No.	Issue	Policy
1.	October 6, 2010	GM-082-2010	Guidelines for the appointment of members to the advisory planning commission	It was MOVED and SECONDED that the Gambier Island Local Trust Committee endorses the following guidelines for the appointment of members to the advisory planning commission and requests that such guidelines be posted on the Islands Trust website and are used in any posting to solicit expressions of interest from candidates for advisory planning commission membership: “The Gambier Island Local Trust Committee shall make all reasonable efforts, in the consideration of appointments to the advisory planning commission that members are: - Representative of a broad cross section of the geographical areas of the Gambier Island Local Trust Committee area; - Representative of a range of backgrounds and expertise that is supportive to each other in the consideration of matters referred to the advisory planning commission; - Where feasible and practical of a balanced representation of gender and age groups. Consideration shall be given to the following criteria in any appointment: • Previous experience as a member of a Board of Variance; • Experience on a local government council, board, local trust committee, commission or other body; • Experience with other volunteer boards, commissions or committees; • Experience and credential in a planning, design or related profession; • Experience and credentials in a building or design trade; • Educational background; • Length of residency in the local trust area; • Availability, and willingness to travel between local trust areas.
2.	March 26, 2015	GM-2015-018	Amend APC appointment guidelines	It was MOVED and SECONDED, that the Gambier Island Local Trust Committee amend the APC appointment guidelines to allow for representation of members to be weighted to a geographic area subject to a current top priority project.

3.	October 26, 2017	GM-2017-065	Development Permit Area (DPA) No. 3: Riparian Areas administration	It was MOVED and SECONDED that the Gambier Island Local Trust Committee adopt a Standing Resolution which directs staff to administer Development Permit Area (DPA) No. 3: Riparian Areas in the interim before formal amendments are made to the DPA, as follows: a. The “Designated Area” provisions of Section 12.3.1 of Gambier Island Official Community Plan No. 73 should be used to determine whether or not a proposed development is subject to DPA No. 3: Riparian Areas; b. When development is proposed within the “Designated Area”, applicants shall be required to have a Qualified Environmental Professional assess the water feature to determine whether or not it is subject to the Riparian Areas Regulation; c. When development is proposed within the “Designated Area” of a water feature which is determined to be subject to the Riparian Areas Regulation, a DPA No. 3: Riparian Areas Development Permit shall be required; d. When development is proposed within the “Designated Area” of a water feature which is determined not to be subject to the Riparian Areas Regulation, a DPA No. 3: Riparian Areas Development Permit shall not be required.
4.	December 11, 2017	GM-2017-078	Adding item to agenda	It was MOVED and SECONDED that the Gambier Island Local Trust Committee request staff to add to each agenda “First Nations Activities” under the Reports section.
5.	January 25, 2018	GM-2018-009	First Nations Words, Phrases and Place Names	It was MOVED and SECONDED that the Gambier Island Local Trust Committee adopt the following standing resolution: a) That staff incorporate First Nations’ words, phrases, and place names in Local Trust Committee communications, as appropriate.