



# North Pender Island Local Trust Committee

## Regular Meeting Agenda

Date: May 30, 2025  
Time: 10:00 am  
Location: Anglican Parish Hall  
4703 Canal Road, RR#1, North Pender Island, BC

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### Pages

- |     |                                                                                                                                                 |                                                                                |         |
|-----|-------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------|---------|
| 1.  | <b>CALL TO ORDER</b>                                                                                                                            | 10:00 AM - 10:25 AM                                                            |         |
|     | "Please note, the order of agenda items may be modified during the meeting. Times are provided for convenience only and are subject to change." |                                                                                |         |
| 2.  | <b>TERRITORIAL ACKNOWLEDGEMENT</b>                                                                                                              |                                                                                |         |
| 3.  | <b>APPROVAL OF AGENDA</b>                                                                                                                       |                                                                                |         |
| 4.  | <b>TRUSTEE REPORT</b>                                                                                                                           |                                                                                |         |
| 5.  | <b>CHAIR'S REPORT</b>                                                                                                                           |                                                                                |         |
| 6.  | <b>ELECTORAL AREA DIRECTOR'S REPORT</b>                                                                                                         |                                                                                |         |
| 7.  | <b>TOWN HALL AND QUESTIONS</b>                                                                                                                  | 10:25 AM - 10:40 AM                                                            |         |
| 8.  | <b>COMMUNITY INFORMATION MEETING - None</b>                                                                                                     |                                                                                |         |
| 9.  | <b>PUBLIC HEARING - None</b>                                                                                                                    |                                                                                |         |
| 10. | <b>MINUTES</b>                                                                                                                                  | 10:40 AM - 10:50 AM                                                            |         |
|     | 10.1                                                                                                                                            | Local Trust Committee Special Meeting Minutes Dated May 5, 2025 (for Adoption) | 4 - 7   |
|     | 10.2                                                                                                                                            | Section 26 Resolutions-without-meeting Report - None                           |         |
|     | 10.3                                                                                                                                            | Advisory Planning Commission Minutes Dated April 15, 2025 (for Receipt)        | 8 - 11  |
| 11. | <b>BUSINESS ARISING FROM THE MINUTES</b>                                                                                                        |                                                                                |         |
|     | 11.1                                                                                                                                            | Follow-up Action List Dated May 2025                                           | 12 - 14 |
| 12. | <b>DELEGATIONS</b>                                                                                                                              |                                                                                |         |
|     | 12.1                                                                                                                                            | Sara Miles                                                                     |         |

|             |                                                                                                                    |                            |                  |
|-------------|--------------------------------------------------------------------------------------------------------------------|----------------------------|------------------|
| <b>13.</b>  | <b>CORRESPONDENCE</b>                                                                                              | <b>10:50 AM - 11:00 AM</b> |                  |
|             | <i>Correspondence received concerning current applications or projects is posted to the LTC webpage</i>            |                            |                  |
| <b>13.1</b> | <b>Hardal Management Inc re Driftwood Centre</b>                                                                   |                            | <b>15 - 15</b>   |
| <b>13.2</b> | <b>Julia Nicholls re Response from the Province</b>                                                                |                            | <b>16 - 18</b>   |
| <b>14.</b>  | <b>APPLICATIONS AND REFERRALS</b>                                                                                  | <b>11:00 AM - 12:00 PM</b> |                  |
| <b>14.1</b> | <b>Salt Spring Island Local Trust Committee Referral for Proposed Bylaw No. 543 (for Response) (attached)</b>      |                            | <b>19 - 26</b>   |
| <b>14.2</b> | <b>Salt Spring Island Local Trust Committee Referral for Proposed Bylaws 544 and 545 (for Response) (attached)</b> |                            | <b>27 - 36</b>   |
| <b>14.3</b> | <b>Saturna Island Local Trust Committee Referral for Draft Bylaw No. 143 (for Response) (attached)</b>             |                            | <b>37 - 39</b>   |
| <b>14.4</b> | <b>PL-DVP-2025-0086 (Wood) - Staff Report (attached)</b>                                                           |                            | <b>40 - 57</b>   |
| <b>14.5</b> | <b>PL-DVP-2025-0124 (Hurbin) - Staff Report (attached)</b>                                                         |                            | <b>58 - 91</b>   |
| <b>14.6</b> | <b>PL-TUP-2025-0093 (Rawlings) - Staff Report (attached)</b>                                                       |                            | <b>92 - 127</b>  |
| <b>15.</b>  | <b>LOCAL TRUST COMMITTEE PROJECTS</b>                                                                              | <b>12:00 PM - 12:30 PM</b> |                  |
| <b>15.1</b> | <b>Housing Access and Affordability Project – Staff Report (attached)</b>                                          |                            | <b>128 - 138</b> |
| <b>16.</b>  | <b>REPORTS</b>                                                                                                     | <b>12:30 PM - 12:40 PM</b> |                  |
| <b>16.1</b> | <b>Work Program Report (attached)</b>                                                                              |                            |                  |
|             | <b>16.1.1     <u>Active Projects Report Dated May 2025</u></b>                                                     |                            | <b>139 - 139</b> |
|             | <b>16.1.2     <u>Future Projects Report Dated May 2025</u></b>                                                     |                            | <b>140 - 141</b> |
| <b>16.2</b> | <b>Applications Report Dated May 2025 (attached)</b>                                                               |                            | <b>142 - 146</b> |
| <b>16.3</b> | <b>Trustee and Local Expense Report Dated Feb 2025 (attached)</b>                                                  |                            | <b>147 - 147</b> |
| <b>16.4</b> | <b>Adopted Policies and Standing Resolutions (attached)</b>                                                        |                            | <b>148 - 151</b> |
| <b>16.5</b> | <b>Local Trust Committee Webpage</b>                                                                               |                            |                  |
| <b>16.6</b> | <b>Islands Trust Conservancy Report Dated March 2025</b>                                                           |                            | <b>152 - 153</b> |
| <b>17.</b>  | <b>NEW BUSINESS</b>                                                                                                | <b>12:40 PM - 1:00 PM</b>  |                  |
| <b>17.1</b> | <b>2024/25 Annual Report - Request for Decision (attached)</b>                                                     |                            | <b>154 - 156</b> |
| <b>17.2</b> | <b>6601 Razor Point Road Covenant Update</b>                                                                       |                            |                  |

17.3      Review of Standing Resolution 2022-002 - Travel Trailer Enforcement

18.      UPCOMING MEETINGS

18.1      Next Regular Meeting Scheduled for July 25, 2025 at the St. Peter's Anglican Church  
Hall, Pender Island

19.      TOWN HALL      1:00 PM - 1:15 PM

20.      CLOSED MEETING - None

21.      ADJOURNMENT      1:15 PM - 1:15 PM

## North Pender Island Local Trust Committee Minutes of Special Meeting

**Date:** May 5, 2025  
**Location:** Electronic Meeting

**Members Present:** David Maude, Chair  
Aaron Campbell, Local Trustee  
Deb Morrison, Local Trustee

**Staff Present:** Robert Kojima, Regional Planning Manager  
Brad Smith, Island Planner  
Bruce Belcher, Planner 2  
Lisa Millard, Meeting Administrator/Recorder

**Others Present:** There were 5 members of the public present.

### 1. CALL TO ORDER

Chair Maude called the meeting to order at 2:00 p.m.

### 2. TERRITORIAL ACKNOWLEDGEMENT

Chair Maude acknowledged that the meeting was being held in territory of the Coast Salish First Nations.

### 3. APPROVAL OF AGENDA

By general consent, the agenda was approved as presented.

### 4. TOWN HALL AND QUESTIONS

There were no public comments.

### 5. MINUTES

#### 5.1 April 4, 2025 Local Trust Committee Minutes (for Adoption)

By general consent the North Pender Island Local Trust committee meeting minutes of April 4, 2025 were adopted.

#### 5.2 April 12, 2025 Local Trust Committee Special Meeting Minutes (for Adoption)

By general consent the North Pender Island Local Trust committee meeting minutes of April 12, 2025 were adopted.

### 6. BUSINESS ITEMS – None

## 7. APPLICATIONS AND REFERRALS

### 7.1 PL-DVP-2024-0350 (Smith) - Staff Report

Planner Belcher summarized the staff report and highlighted the following:

- The Local Trust Committee considered the application during the April 4, 2025 regular business meeting and the community requested further consultation
- The application seeks a Development Variance Permit to vary the maximum height and number of storeys for the conversion of an agricultural building to an accessory building
- The applicant wishes to save and repurpose the existing barn and use the building as a shop, office, and storage space
- All correspondence received regarding the application has been provided for review and includes 3 letters objecting to the proposed variance and one letter in support

Discussion ensued and the following comments were noted:

- The building would not be allowed to be built the way it currently exists for the use that is being planned
- Allowing an accessory dwelling building to be over height potentially results in greater impact to residents on neighbouring properties
- The primary issues identified by neighbours are the building would not have been approved as an accessory structure, windows on the upper level could shed light toward neighbours, and the removal of vegetation on the north side of the building has resulted in the structure being more obvious
- The building plans are included with the building permit; therefore, construction would need to be substantially consistent with the approved plans
- The Local Trust Committee could request a change to the plans which might result in the requirement for the building permit to be updated
- The Local Trust Committee has less control over design elements such as paint color or external lighting than structural elements
- The applicant could currently add windows to the extended height of the building but could only use the structure for agricultural purposes unless a variance is granted
- Trustee Campbell spoke with residents on neighbouring properties and advised them what expectations might be considered as reasonable, and not reasonable, in relation to the Local Trust Committee's jurisdiction
- Windows would be allowed on the north face of the structure if the building was constructed within height allowances (ie. a single storey building)
- There is support for granting the variance if north facing second storey windows were removed

#### **NP-2025-016**

#### **It was MOVED and SECONDED,**

that North Pender Local Trust Committee request the applicant to remove north facing upper storey window openings from application PL DVP 2024 0350.

**CARRIED**

Staff will request the applicant submit revised plans to the Local Trust Committee for future consideration.

## **7.2 PL-DP-2025-0141 (Kayne) - Staff Report**

Island Planner Smith summarized the staff report and highlighted the following:

- The application seeks a Development Permit to authorize construction of Green Shores/Bioengineering stabilization work on the shoreline slope of a property located with Development Permit Area 6 – Intertidal Sensitive Ecosystems
- The objectives and guidelines of the Development Permit Area have been met
- An assessment report completed by a professional biologist has been received

Discussion ensued and the following comments and clarifications were recorded:

- The Department of Fisheries and Oceans (DFO) window for construction in the foreshore is July 1 to October 1; however, DFO has authorized work be done before whale sanctuary restrictions commence on June 1
- There is possibility of archaeological significance and First Nations consultation has not been undertaken as Development Permit Area applications are not subject to the referral process
- All Development Permit Area applications are reviewed for known archaeology sites and if there were any the applicant would be advised of their obligations. In this case there is archeological potential identified but no known registered sites.
- If an archaeological find is discovered during construction the applicant is required to stop work and obtain a permit issued by the BC Archaeology Branch.
- Staff and the LTC encourage the applicant to proactively confirm with the province if a permit is required in this case.
- The applicant has made a request to the BC Archaeology Branch inquiring about know sites and has not received a response yet

Trustee Campbell lost connectivity at 2:50 p.m. and dialed into the meeting at 2:55 p.m.

### **NP-2025-017**

#### **It was MOVED and SECONDED,**

that North Pender Island Local Trust Committee approve issuance of Development Permit PL-DP-2025-0141 (Kayne).

**CARRIED**

8. **ADJOURNMENT**

**By general consent** the meeting was adjourned at 2:57 p.m.

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David Maude, Chair

Certified Correct:

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Lisa Millard, Meeting Administrator/Recorder



Islands Trust

**DRAFT**

## **Minutes of the North Pender Island Advisory Planning Commission**

**Date:** April 15, 2025  
**Location:** Fireside Room, St. Peter's Church

**Members Present:** Theresa Barker  
Mike Dine  
Jay Gilbert  
Peter Pare  
Joyce Thayer

**Regrets:** Lisa Baile

**Staff Present:** Brad Smith, Island Planner (electronic)  
Carly Bilney, APC Secretary (electronic)

**Members of the Public:** There were no members of the public present.

**1. Call to Order**

Chair Pare called the meeting to order at 9:28 a.m.

**2. Approval of Agenda**

**By general consent**, the agenda was approved as presented.

**3. North Pender March 4, 2025 APC Minutes (for Adoption)**

**By general consent**, the North Pender Advisory Planning Commission minutes of March 4, 2025 were adopted.

**4. Discussion - Response to Housing Action Plan at April 4 LTC & April 12 CIM**

Chair Pare reviewed comments made at the April meetings. Discussion was held about Recreational Vehicles (RVs) and mobile homes.

- Mobile homes are designed for continuous use and have CSA approval
- On Pender Island, a moratorium on enforcement against RVs came into effect in part because workers on the island had no place to live; since then, people have come from off-island and set up permanent residences in RVs without process or oversight
- Mayne uses Temporary Use Permits (TUP) to ensure sewage and water standards in RVs are met
- The TUP, which must be revisited after a set number of years, is a very good idea (better than turning a blind eye) as it provides the opportunity for inspections
- TUPs have been used on North Pender Island in the past for short-term rentals

- TUPs are a blunter instrument than Zoning since they are by definition “temporary”. Zoning is meant to provide some certainty to individuals and the neighbourhood
- A TUP process for RVs on North Pender Island should include fire safety standards in addition to sewage and water
- The CSA standard for RVs could be enforced but it is less rigorous than for mobile homes because RVs are not designed for continuous use
- The fire department on North Pender has the capacity to inspect RVs, though the number of RVs being used as permanent residences is unknown and there is question as to which standards should be applied
- The Capital Regional District has authority over fire protection services on the island and is contemplating the challenge of regulating RVs and their associated liability. The CRD can delegate authority over fire safety inspection to the Islands’ fire departments and has done so on Pender but the liability issue is in flux

Planner Smith joined the meeting at 9:45 a.m. Discussion continued and the following comments were made:

- Electoral Area Director for Southern Gulf Islands Paul Brent is aware of the current situation on Pender regarding inspections
- The CRD has an obligation to enforce the building code and the fire code, but it is hard to inspect for fire safety in a place that has never met the building code
- A TUP is an option that could facilitate more restrictive requirements through the bylaws
- A TUP might also give people a route to legalize something that right now is illegal (although under the moratorium)
- An RV is not certified for year-round use, but with a TUP you could have some kind of inspection regime to maintain standards
- For those who do not want to apply for a TUP because they won’t be able to meet the standards, the only mechanism for enforcement would be through complaint
- If someone is using an RV on someone else’s property, bylaw enforcement would primarily deal with the property owner, and it would be the property owner that applies for a TUP

Planner Smith noted he would provide the APC with a copy of the TUP used on Mayne Island.

A question was raised about how Plum Tree Court could get the capital to expand to six more units. The following comments were made:

- Expansion of Plum Tree Court will require grassroots efforts from the community
- Actions 13 and 14 in the draft plan include engaging in advocacy and collaboration with other levels of government on island-based affordable housing initiatives including potential expansion of Plum Tree Court, and engaging with community members to increase participation in community housing initiatives and non-profit community housing organizations
- One challenge with Plum Tree Court is that the buildings are aging and it is hard to compete for funding for six additional units when other projects could have greater impact
- A development that provided 15 or 20 units that would provide a real impact to the working-class community, for example, would more likely be at a scale that would get on the radar of funding agencies
- Opportunities within the Southern Gulf Islands to access funding for housing initiatives (e.g. CRD loan) should be assessed

It was agreed that Planner Smith would invite Capital Regional District representatives Paul Brent and Justine Starke to a meeting with the North Pender APC.

## **5. Summary from Brad about the Tiny Home Workshop held in Nanaimo**

Planner Smith reviewed discussions at the recently held Tiny Home Workshop in Nanaimo. The following comments were made:

- Discussion as the workshop was about tiny homes on wheels (structures made in factories and being certified to a year-round living standard – “manufactured home on wheels” might be a better term)
- Currently, the CRD is very risk adverse and will not provide building permits for structures on wheels
- The Regional District of Nanaimo (Regional Inspector Lexie Boekenkruger) was very open to issuing permits for structures with semi-permanent foundations (e.g. screw piles or engineered strapping) as long as a structure had a favourable engineer’s report

Planner Smith agreed to share the document that comes out of the workshop with the APC. Discussion continued and the following comments were made:

- The Suitable Land Analysis might be used to identify areas where tiny homes could be hooked up to receive basic services
- There was discussion about a potential for CRD to develop/ facilitate the island-wide management of rentals so people do not have to be landlords
- Density provisions are determined through the Official Community Plan (OCP), and the Local Trust Committee can amend the OCP to create whatever pathway is needed to increase density
- Density is not fixed on North Pender and new density opportunities could be created in appropriate places to, for example, create a community housing zone near the Driftwood
- One of the priorities of the housing initiative on North Pender was to house people who work on the island

## **6. Discussion of draft Housing Action Plan. What can we do while we wait for the Suitable Land and Build Out Analyses?**

Peter suggested APC members do more research individually on specific issues for discussion at the next meeting:

- Joyce will look into the Temporary Use Permit on Mayne and housing related bylaws on Saturna (Planner Smith will connect Joyce to Planner Chadwick)
- Mike will learn more about potential inspections on RVs and can attend the May 30 Local Trust Committee meeting where Trustees will discuss the standing resolution on housing and enforcement
- Jay will look into funding options to create affordable housing options
- Theresa will explore joining the Pender Island Housing Association and could act as a liaison between the Association and the APC
- Peter will work with Planner Smith to schedule a meeting between the Capital Regional District (Paul Brent and Justine Starke) and the APC with an agenda that includes discussion of the following topics:

- Opportunities within the Southern Gulf Islands to tap into funding for housing initiatives (e.g. CRD loan)
- Fire safety chain of command
- Making a non-profit that would manage rentals so people do not have to be landlords
- Planner Smith will work to get the Suitable Land Analysis and Build-Out Analysis moving forward
- Planner Smith will also draft an island-wide mailout and a letter to send to First Nations

Planner Smith commented that Trust-Council wide efforts have been going into housing and there is fairly good collaboration between jurisdictions on the work being done. He noted the draft action plan will be brought to the May 30 meeting of the Local Trust Committee for endorsement.

## 7. Next Meeting

To be determined. Jay will report when he is scheduled to be on-island we will try to accommodate

## 8. Adjournment

**By general consent** the meeting was adjourned at 11:00 a.m.

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Peter Pare, Chair

Certified Correct:

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Carly Bilney, Recorder

## Follow Up Action Report

### North Pender Island

31-Jan-2025

| Progress | Activity |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | Responsibility             | Dates               | Status      |
|----------|----------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------|---------------------|-------------|
| 0%       | 1        | 15.2 Raptor Nest DPA project<br>1) Staff to send letter to all property owners within buffer areas including both core and seasonal buffers (~361 properties) - PENDING FURTHER MAPPING UPDATES DUE IN JUNE 2025<br>2) Staff to investigate the feasibility of retaining Caurinus Environmental on contract to support raptor project to provide information support for staff consultation with property owners<br>3) Staff to request \$5,000 for 2025/26 fiscal for Raptor Project - DONE | Brad Smith<br>Emily Bryant | Target: 18-Apr-2025 | In Progress |

## Follow Up Action Report

### North Pender Island

04-Apr-2025

| Progress | Activity                                                                                                                                             | Responsibility                             | Dates               | Status    |
|----------|------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------|---------------------|-----------|
| 0%       | 1 10.1 January 31, 2025 LTC meeting minutes adopted as presented                                                                                     | Emily Bryant                               | Target: 18-Apr-2025 | Completed |
| 0%       | 2 14.1 PL-DVP-20240330 - Keay - permit approved as presented - staff to issue permit and close file                                                  | Emily Bryant<br>Jas Chonk                  | Target: 18-Apr-2025 | Completed |
| 0%       | 3 PL-DVP-20240350 - Smith - decision deferred - staff to schedule special meeting to be held electronically, ~ end of April                          | Bruce Belcher<br>Jas Chonk<br>Lisa Millard | Target: 11-Apr-2025 | Completed |
| 0%       | 4 14.3 PL-DP-20250033 - Lansdowne - Development permit approved as presented - staff to issue permit, update monitoring requirements and close file  | Brad Smith<br>Emily Bryant<br>Jas Chonk    | Target: 18-Apr-2025 | Completed |
| 0%       | 5 17.1 New Business - Defer 6601 Razor Point Rd. covenant update to May 30 meeting                                                                   | Jas Chonk                                  | Target: 12-Apr-2025 | Completed |
| 100%     | 6 IC rise and report:<br>1) Jan 31, 2025 IC meeting minutes adopted as presented<br>2) Bert Hol, Andrew Maclean, Jon Spalding reappointed to the BoV | Emily Bryant<br>Jas Chonk                  | Target: 18-Apr-2025 | Completed |

12-Apr-2025

| Progress | Activity                                                                                                                                 | Responsibility | Dates               | Status    |
|----------|------------------------------------------------------------------------------------------------------------------------------------------|----------------|---------------------|-----------|
| 0%       | 1 Special meeting - Staff to add review of standing resolution 2022-002 - Travel Trailer Enforcement to May 30 agenda under new business | Jas Chonk      | Target: 30-Apr-2025 | Completed |

## Follow Up Action Report

### North Pender Island

05-May-2025

| Progress | Activity |                                                                                                                                                                | Responsibility                          | Dates               | Status    |
|----------|----------|----------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------|---------------------|-----------|
| 0%       | 1        | 5.1 April 4 regular and April 12 special meeting minutes adopted as presented                                                                                  | Emily Bryant                            | Target: 23-May-2025 | Completed |
| 0%       | 2        | 7.1 PL-DVP-2024-0350 (Smith) - application deferred, LTC directed staff to seek updated plans from applicant removing north facing upper story window openings | Bruce Belcher                           | Target: 23-May-2025 | Completed |
| 0%       | 3        | 7.2 PL-DP-2025-0141 (Kayne) - DP approved as presented, staff to issue permit (Jas), close file (Emily), document QEP monitoring report requirements (Brad)    | Brad Smith<br>Emily Bryant<br>Jas Chonk | Target: 07-May-2025 | Completed |

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# Hardal Management Inc.

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**150 – 3751 Jacombs Road, Richmond, BC V6V 2R4**

Tel: (604) 269-0030  
Email: [hardal@hardal.ca](mailto:hardal@hardal.ca)

27<sup>th</sup> February, 2025

Brad Smith  
Planner  
Islands Trust North Pender

Dear Brad

It has been a while since we spoke regarding the possibility of putting housing units above buildings 5, 6 and 7 under our Development Permit for Driftwood Centre.

I did speak to both North Pender Trustees, who did indicate they would be supportive of this plan, due to the housing shortage on Pender Island.

At this time, the owner, Davie Rae, would like to know what steps need to be taken to pursue this plan. Would it be a variance to the Development Permit, or a total rezoning application?

Could you advise what the next steps would be to proceed. I have copied Phil Testemale, as I believe he still looks after Driftwood Centre?

I look forward to hearing from you.

Dorothy Murdoch  
Property manager

[driftwoodcentre@shaw.ca](mailto:driftwoodcentre@shaw.ca)  
250 516 3877

**From:** North Pender Planner  
**Sent:** Wednesday, May 14, 2025 1:59 PM  
**To:** Jas Chonk  
**Subject:** FW: Response from the Province  
**Attachments:** 185578 Luckham Signed28\_4\_25 (4).pdf

Please add this email to agenda. Thanks.

**From:** Julia Nicholls <[REDACTED]>  
**Sent:** Wednesday, May 14, 2025 1:09 PM  
**To:** Deb Morrison <[dmorrison@islandstrust.bc.ca](mailto:dmorrison@islandstrust.bc.ca)>; Aaron Campbell <[acampbell@islandstrust.bc.ca](mailto:acampbell@islandstrust.bc.ca)>; SouthInfo <[SouthInfo@islandstrust.bc.ca](mailto:SouthInfo@islandstrust.bc.ca)>; North Pender Island Local Trust Committee <[NorthPenderIslandLocalTrustCommittee@islandstrust.bc.ca](mailto:NorthPenderIslandLocalTrustCommittee@islandstrust.bc.ca)>  
**Subject:** Fwd: Response from the Province

Dear Pender Local Trust Committee

I am forwarding you the attached letter - the response from the province to the IT's two requests for a review of the Islands Trust - dated April 28, in case you have not yet seen it. It is in the Executive Committee agenda for this Wednesday's meeting. I hope you will agree that the Minister's view of the mandate and his expectations of trustees is quite clear, as quoted below from the letter (my bolding):

"Land use planning to preserve and protect the Trust area and its unique amenities and environment is the core responsibility of the Islands Trust. This reflects **the ecological mandate of the Trust**, the toolkit deliberately supplied by government, and that island communities have a role to play in local **environmental stewardship**. It is my expectation that the Trust Council recognizes that this requires **careful deliberation and consideration of perspectives to manage expectations of growth, development and local economies without exceeding the carry capacity of local ecosystems and preserving unspoiled natural amenities.**"

Hopefully this will provide LTCs with more clarity and purpose as they consider local land use decisions, as well as providing clearer direction at Trust Council as it considers the Trust Policy Statement review and other important issues.

Sincerely,

Julia Nicholls  
[REDACTED]



April 28, 2025

Reference: 185578

Laura Patrick  
Chair,  
Islands Trust Council  
200 - 1627 Fort Street  
Victoria BC V8R 1H8  
Email: [information@islandstrust.bc.ca](mailto:information@islandstrust.bc.ca)

Dear Chair Laura Patrick:

I am writing to acknowledge correspondence from Peter Luckham of March 4, 2025, prior to his resignation as Chair, in which he requested a meeting between myself and the members of the Islands Trust Executive Committee to discuss the request for a review of the Islands Trust that was sent to the former Minister of Municipal Affairs during the last provincial election.

During this time of extraordinary change and uncertainty, our government is focusing on the services and choices that make an immediate and material difference while managing within our means. We will have to make difficult choices about the order in which we commit to new initiatives, like a review as sweeping as that laid out in the letter to Minister Kang. I am therefore not in a position to consider a review of the *Islands Trust Act* prior to the next general local elections.

Land use planning to preserve and protect the Trust area and its unique amenities and environment is the core responsibility of the Islands Trust. This reflects the ecological mandate of the Trust, the toolkit deliberately supplied by government, and that island communities have a role to play in local environmental stewardship. It is my expectation that the Trust Council recognizes that this requires careful deliberation and consideration of perspectives to manage expectations of growth, development and local economies without exceeding the carrying capacity of local ecosystems and preserving unspoiled natural amenities.

Page 1 of 2

Over the balance of their term of office, I will need the Trust Council to take particular care to ensure that engagement with the public and First Nations on the bylaws put before me for approval, including amendments to Official Community Plans and the Trust Policy Statement, are undertaken in a manner that demonstrates mutual respect and builds towards consensus.

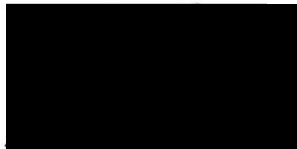
The established Trust Policy Statement is the current touchstone which aids in the interpretation of the organization's mandate. The development of the next iteration requires care to result in a Policy Statement in which all involved can all have confidence.

Along similar lines, before returning with another request for provincial review I will expect the Trust Council to ensure that it has engaged in a meaningful way with the agencies and governments that would be expected to participate in or be impacted by such a review. These include the First Nations in whose territories the Trust are stewards through its land use authorities and the local governments who share constituents with the Local Trustees, and the Islands Trust Conservancy Board.

The Ministry of Housing and Municipal Affairs will continue to support the Islands Trust in its work at the staff level. I understand that a strong working relationship has been established between your staff and the Land Use, Planning, and Regional Impacts Branch. Your team can continue to reach out to the Ministry through Marijke Edmondson, Executive Director, and Kris Nichols, Manager Planning Advice and Approvals, for support on the Trust Policy Statement and the progress of Official Community Plan bylaws that require my approval. Ms. Edmondson can be reached at: [marijke.edmondson@gov.bc.ca](mailto:marijke.edmondson@gov.bc.ca) or 778-698-3227 and Mr. Nichols can be reached at: [kris.nichols@gov.bc.ca](mailto:kris.nichols@gov.bc.ca) or 778-698-3450.

Thank you again for taking the time to write.

Sincerely,



Ravi Kahlon  
Minister of Housing and Municipal Affairs

CC: Rob Botterell, MLA for Saanich North and the Islands  
Rueben Bronee, Chief Administrative Officer, Islands Trust

**From:** Rob Pingle  
**Sent:** Monday, March 31, 2025 12:25 PM  
**To:** mtippett@cprd.bc.ca; Jas Chonk; Nadine Mourao;  
realestate@crd.bc.ca; amanda.vanderkloof@bcas.ca;  
saltspring@rcmp-grc.gc.ca; jholmes@saltspringfire.com;  
ALC.LUPRT@gov.bc.ca; FrontCounterBC@gov.bc.ca;  
cathie.mcintyre@bcassessment.ca  
**Cc:** Oluwashogo Garuba  
**Subject:** Salt Spring Island Local Trust Committee Proposed Bylaw No 543  
Referral - For Response  
**Attachments:** SS-BL-543\_2024-03-31\_ReferralForm.pdf

Dear Referral Coordinators,

We are contacting you in regards to a referral of Bylaw No. 543 (attached), which proposes to amend the Land Use Bylaw (LUB) to include administrative definition of Public Works Facility in the LUB and change subject property zoning from Agriculture 1 and Residential 2 (A1 & R2) to Community Facility 3 (CF3) zone to permit the proposed upgrade to the CRD parks maintenance facility on the properties at 210 & 220 Kanaka Road, Salt Spring Island. Our planner is available to discuss this referral with you if you would like to ensure that your Nation's concerns or comments are considered by our elected officials.

Staff reports and other materials related to the proposed bylaw can be viewed on our website at: <https://islandstrust.bc.ca/island-planning/salt-spring/current-applications/> as PLRZ20240188.

A reply is respectfully requested by **May 30, 2025**.

Should you have any questions, or require further information on the Proposed Bylaw, please contact

Islands Trust Planner Oluwashogo Garuba at (250) 538-5603 or [ogaruba@islandstrust.bc.ca](mailto:ogaruba@islandstrust.bc.ca) and she would be happy to answer any questions you may have.

Referral responses should be addressed to myself at [rpingle@islandstrust.bc.ca](mailto:rpingle@islandstrust.bc.ca).

Thank you for your time and attention to this referral,

**Rob Pingle**

Legislative Clerk | Deputy Secretary

Islands Trust | Salt Spring Island

Phone: 250-538-5600 | [www.islandstrust.bc.ca](http://www.islandstrust.bc.ca)

You can also reach us toll-free via Service BC 1-800-663-7867 | 604-660-2421

*The new Islands Trust office at 121 McPhillips Avenue, Salt Spring Island is not open to the public at this time. Staff will continue to provide services by phone and e-mail until the new office space opens*

## **Preserving and protecting over 450 islands and surrounding waters in the Salish Sea**

*I respectfully acknowledge that the Islands Trust Area is located within the treaty lands and territories of the BOKÉĆEN, Cowichan Tribes, K'ómoks, Lyackson, MÁLEXET, Qualicum, scəwəθən, səlilwətəʔ, SEMYOME, shíshálh, Skwxwú7mesh, Snaw-naw-as, Snuneymuxw, Songhees, Spune'luxutth', STÁUTW, Stz'uminus, ʔaʔəmen, Ts'uubaa-asatx, Wei Wai Kum, We Wai Kai, WJOŁEŁP, WSIKEM, Xeláltxw, Xwémalhwu, Xwsepsum, and xʷməθkʷəy̓əm First Nations. Islands Trust is committed to reconciliation and to working together to preserve and protect this ecologically, culturally, and spiritually significant region in the Salish Sea.*



Islands Trust

# BYLAW REFERRAL FORM

4-121 McPhillips Ave  
Salt Spring Island, BC V8K 2T6  
Ph: (250) 537-9144  
ssiinfo@islandstrust.bc.ca  
[www.islandstrust.bc.ca](http://www.islandstrust.bc.ca)

Island: Salt Spring Island Trust Area Bylaw No.: 543 Date: March 31, 2025

You are requested to comment on the attached Bylaw for potential effect on your agency's interests. We would appreciate your response within 60 days. If no response is received within that time, it will be assumed that your agency's interests are unaffected.

**APPLICANTS NAME / ADDRESS:**

Dan Ovington for Capital Regional District 108-121 McPhillips Ave. Salt Spring Island BC V8K 2T6

**PURPOSE OF BYLAW:**

To include administrative definition of Public Works Facility in the LUB and change subject property zoning from Agriculture 1 and Residential 2 (A1 & R2) to Community Facility 3 (CF3) zone to permit the proposed upgrade to the CRD parks maintenance facility.

**GENERAL LOCATION:**

210 & 220 Kanaka Road, Salt Spring Island

**LEGAL DESCRIPTION:**

PARCEL A (DD 362513I) OF LOT 1, SECTION 2, RANGE 3 EAST, NORTH SALT SPRING ISLAND, COWICHAN DISTRICT, PLAN 17333;  
LOT 1, SECTION 2, RANGE 3 EAST, NORTH SALT SPRING ISLAND, COWICHAN DISTRICT, PLAN 17333, EXCEPT PARCEL A (DD 362513I) THEREOF

**SIZE OF PROPERTY AFFECTED:**

0.5 ha (1.2 ac)

**ALR STATUS:**

Within ALR

**OFFICIAL COMMUNITY PLAN DESIGNATION:**

Ganges Village Upper & Agriculture

**OTHER INFORMATION:**

Please fill out the Response Summary on the back of this form. If your agency's interests are "*Unaffected*", no further information is necessary. In all other cases, we would appreciate receiving additional information to substantiate your position and, if necessary, outline any conditions related to your position. Please note any legislation or official government policy which would affect our consideration of this Bylaw.

(Signature)

Name: Oluwashogo Garuba

Title: Island Trust Planner

**This referral has been sent to the following agencies:**

**First Nations**

Cowichan Tribes  
Halalt First Nation  
Lyackson First Nation  
Pauquachin First Nation  
Penelakut Tribe  
Semiahmoo First Nation  
Stz'uminus First Nation  
Tsartlip First Nation  
Tsawout First Nation  
Tsawwassen First Nation  
Tseycum First Nation  
Ts'uubaa-Asatx (Lake Cowichan) First Nation

Salt Spring Island Coast Salish Society

**Provincial Agencies**

Agricultural Land Commission  
BC Assessment Authority  
Front Counter BC

**Regional Agencies**

Capital Regional District  
CRD – SSI Building Inspection  
SSI Advisory Planning Commission  
SSI Agricultural Advisory Planning Commission

**Non-Agency Referrals**

BC Ambulance Service  
RCMP  
SSI Fire-Rescue

**Adjacent Local Trust Committees and Municipalities**

Galiano Island Local Trust Committee  
Mayne Island Local Trust Committee  
North Pender Island Local Trust Committee  
Thetis Island Local Trust Committee  
Cowichan Valley Regional District

**BYLAW REFERRAL FORM  
RESPONSE SUMMARY**

- ☐ Approval Recommended for Reasons Outlined Below
- ☐ Approval Recommended Subject to Conditions Outlined Below
- ☐ Interests Unaffected by Bylaw
- ☐ Approval Not Recommended Due to Reason Outlined Below

Salt Spring Island Trust Area  
(Island)

(Signature)

(Date)

543  
(Bylaw Number)

(Title)

(Agency)

# DRAFT

## SALT SPRING ISLAND LOCAL TRUST COMMITTEE BYLAW NO. 543

### A BYLAW TO AMEND SALT SPRING ISLAND LAND USE BYLAW, 1999

The Salt Spring Island Local Trust Committee, being the Local Trust Committee having jurisdiction in respect of the Salt Spring Island Local Trust Area under the *Islands Trust Act*, enacts as follows:

1. Citation

This bylaw may be cited for all purposes as “Salt Spring Island Land Use Bylaw, 1999, Amendment No. 2, 2025”.

2. Salt Spring Island Local Trust Committee Bylaw No. 355, cited as “Salt Spring Island Land Use Bylaw, 1999,” is amended as follows:

**2.1 Section 1.1 – Definitions**, Sub-section 1.1.1 is amended by adding the following new definition:

“**public works facility**” means the use of land, buildings or structures for the maintenance, repair or storage of vehicles, equipment and materials that are used solely for the provision, maintenance or repair of public infrastructure, transit buses and vehicles in general and houses operational or administrative functions for the general benefit of the island on which it is located.

**2.2 Section 9.4 – COMMUNITY FACILITIES ZONES**, is amended by deleting the word “and” and adding the words “and Community Facilities 3” as follows:

The regulations in the tables in this Section apply to land in the Community Facilities 1 (CF1), Community Facilities 2 (CF2) and Community Facilities 3 (CF3) *zones* as indicated by the column headings.

**2.3 Section 9.4 – COMMUNITY FACILITIES ZONES**, Subsection 9.4.1, is amended by inserting column CF3 in the table as follows:

|                                                                       | CF1 | CF2 | CF3 |
|-----------------------------------------------------------------------|-----|-----|-----|
| <b>Principal Uses, Buildings and Structures</b>                       |     |     |     |
| <i>Public</i> schools, pre-schools and <i>child day care</i> centres. | •   |     |     |
| Libraries                                                             | •   |     |     |
| <i>Churches</i>                                                       | •   |     |     |
| <i>Community halls</i>                                                | •   |     |     |
| <i>Public</i> hospitals, clinics and health care facilities           | •   |     |     |
| Non-commercial active <i>outdoor</i> recreation                       | •   |     |     |
| Non-commercial <i>indoor</i> recreation facilities                    | •   |     |     |
| Service club <i>buildings</i>                                         | •   |     |     |
| Performing and visual art centres, including <i>accessory</i> sales   | •   |     |     |
| Collection of recyclable materials                                    | •   | •   |     |
| Sorting and <i>temporary</i> storage of recyclable materials          |     | •   |     |
| Collection of <i>municipal solid waste</i>                            |     | •   |     |

|                                                                            |   |   |   |
|----------------------------------------------------------------------------|---|---|---|
| Sorting and temporary storage of municipal storage waste                   |   | • |   |
| Liquid waste treatment                                                     |   | • |   |
| Public service uses                                                        |   | • |   |
| Public works facility                                                      |   |   | • |
| <b>Accessory Uses</b>                                                      |   |   |   |
| Intermittent retail sales and retail services accessory to a principal use | • | • | • |
| Residential unit accessory to a principal use                              |   |   | • |

**2.4 Section 9.4 – COMMUNITY FACILITIES ZONES**, Subsection 9.4.2 is amended by inserting column CF3 in the table as follows:

|                                                                                                  | CF1 | CF2 | CF3 |
|--------------------------------------------------------------------------------------------------|-----|-----|-----|
| <b>Lot Coverage and Floor Area</b>                                                               |     |     |     |
| Maximum combined lot coverage of all buildings and structures (per cent)                         | 25  | 25  | 25  |
| <b>Setbacks</b>                                                                                  |     |     |     |
| Despite Subsection 4.3.1, the following lot line setbacks apply for the specific zone indicated: |     |     |     |
| Minimum rear lot line setback abutting commercial or general employment zone (metres)            | 3.0 | *   | N/A |
| Minimum interior side lot line abutting non-commercial or non-general employment zone (metres)   | 7.5 | 7.5 | N/A |
| Minimum interior side lot line setback abutting commercial or general employment zone (metres)   | *   | 7.5 | N/A |
| Minimum exterior side lot line setback (metres)                                                  | *   | 7.5 | 0.0 |

\* indicates the provisions of Section 4.3 apply.

**2.5 Section 9.4 – COMMUNITY FACILITIES ZONES**, Subsection 9.4.3 (1), is amended by deleting the word “and” and inserting the words “and Community Facility 3” before the as follows:

- (1) The regulations in this Subsection apply to the *subdivision* of land under the Land Title Act or the Strata Property Act for land in the Community Facility 1, Community Facility 2 and Community Facility 3 Zones.

**2.6 Section 9.4 – COMMUNITY FACILITIES ZONES**, Subsection 9.4.3, is amended by inserting column CF3 into the table as follows:

|                                                                                                                                                                                                               | CF1 | CF2 | CF3 |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----|-----|-----|
| <b>Minimum Lot Areas, Water Supply and Sewage Treatment Servicing Requirements</b>                                                                                                                            |     |     |     |
| Minimum area of an individual lot that may be created through <i>subdivision</i> , provided each lot has an individual on-site sewage treatment system and an adequate supply of <i>potable</i> water (ha)    | 1   | 1   | N/A |
| Minimum area of an individual lot that may be created through <i>subdivision</i> , provided each lot has a connection to a <i>community sewage collection system</i> and a <i>community water system</i> (ha) | 0.2 | 0.2 | N/A |

**2.7 Section 9.4 – COMMUNITY FACILITIES ZONES** is amended by adding a new Subsection 9.4.5 as follows:

**9.4.5 Special Provisions**

- (1) The following special provisions apply to the Community Facility Zone 3 (CF3) zone:
- (a) Despite Section 4.3, no *building* or *structure* other than a *pumphouse*, *public utility structure* or underground utility may be constructed within the following setbacks from lot lines or road access easements:
 

|                                              |     |
|----------------------------------------------|-----|
| Setback from <i>front lot line</i> :         | 0m  |
| Setback from <i>rear lot line</i> :          | 0m  |
| Setback from <i>interior side lot line</i> : | 0m  |
| Setback from <i>exterior side lot line</i> : | 0m. |
  - (b) The maximum number of *residential* unit accessory to a *principal use* is one (1) per lot.

**2.8 Schedule "A" – Zoning Map** is amended by changing the zoning classification of PARCEL A (DD 362513I) OF LOT 1, SECTION 2, RANGE 3 EAST, NORTH SALT SPRING ISLAND, COWICHAN DISTRICT, PLAN 17333 and LOT 1, SECTION 2, RANGE 3 EAST, NORTH SALT SPRING ISLAND, COWICHAN DISTRICT, PLAN 17333, EXCEPT PARCEL A (DD 362513I) THEREOF from Agriculture 1 (A1) and Residential 2 (R2) respectively to Community Facility 3 (CF3), as shown on Plan No. 1 attached to and forming part of this bylaw, and by making such alterations to Schedule "A" to Bylaw No. 355 as are required to effect this change.

### 3. SEVERABILITY

If any provision of this Bylaw is for any reason held to be invalid by a decision of any Court of competent jurisdiction, the invalid provision must be severed from the Bylaw and the decision that such provision is invalid must not affect the validity of the remaining provisions of the Bylaw.

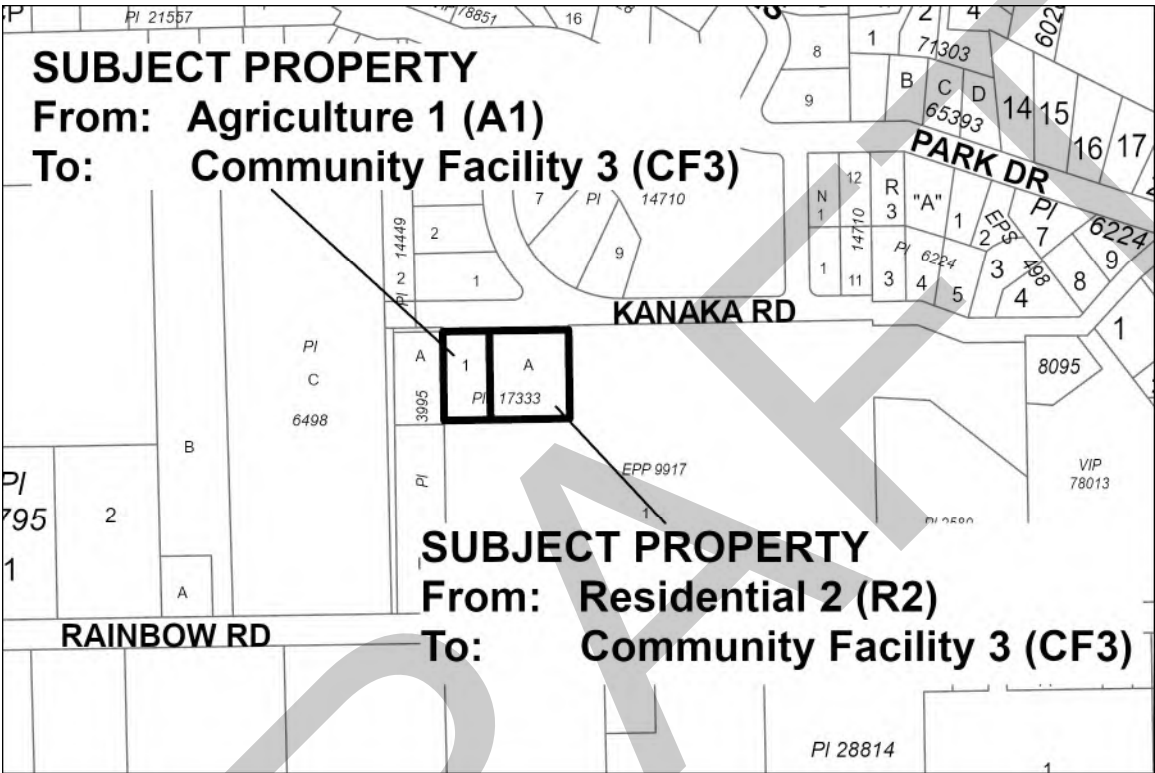
|                                                               |       |        |       |        |
|---------------------------------------------------------------|-------|--------|-------|--------|
| READ A FIRST TIME THIS                                        | _____ | DAY OF | _____ | 20____ |
| READ A SECOND TIME THIS                                       | _____ | DAY OF | _____ | 20____ |
| READ A THIRD TIME THIS                                        | _____ | DAY OF | _____ | 20____ |
| APPROVED BY THE EXECUTIVE COMMITTEE OF THE ISLANDS TRUST THIS | _____ | DAY OF | _____ | 20____ |
| ADOPTED THIS                                                  | _____ | DAY OF | _____ | 20____ |

\_\_\_\_\_  
CHAIR

\_\_\_\_\_  
SECRETARY

SALT SPRING ISLAND LOCAL TRUST COMMITTEE  
BYLAW NO. 543

Plan No. 1



**From:** Rob Pingle  
**Sent:** Tuesday, April 15, 2025 9:57 AM  
**To:** 'mtippett@cvrd.bc.ca'; Jas Chonk; Nadine Mourao;  
'realestate@crd.bc.ca'; 'amanda.vanderkloof@bcas.ca';  
'cathie.mcintyre@bcassessment.ca'; 'FrontCounterBC@gov.bc.ca';  
'saltspring@rcmp-grc.gc.ca'; 'jholmes@saltspringfire.com'  
**Cc:** Oluwashogo Garuba  
**Subject:** Salt Spring Island Local Trust Committee Proposed Bylaw Nos 544 &  
545 Referral - For Response  
**Attachments:** SS-BL-544-545\_ReferralFRM.pdf; SS-BL-544\_2025-04-10\_OCP-  
1stReading.pdf; SS-BL-545\_2025-04-10\_LUB-1stReading.pdf

Dear Referral Coordinators,

We are contacting you in regards to a referral of Bylaw Nos. 544 & 545 (attached), which proposes to amend the Official Community Plan (OCP) and Land Use Bylaw (LUB) to legalize commercial uses previously permitted by a Temporary Use Permit and amend the OCP designation from Residential Neighbourhood to Non-village commercial and General Employment land use designation on the property at 248 Lower Ganges Road, Salt Spring Island.

Staff reports and other materials related to the proposed bylaw can be viewed on our website at: <https://islandstrust.bc.ca/island-planning/salt-spring/current-applications/> as SS-RZ-2019.1.

A reply is respectfully requested by **June 16, 2025**.

Should you have any questions, or require further information on the Proposed Bylaw, please contact

Islands Trust Planner Oluwashogo Garuba at (250) 538-5603 or [ogaruba@islandstrust.bc.ca](mailto:ogaruba@islandstrust.bc.ca) and she would be happy to answer any questions you may have.

Referral responses should be addressed to myself at [rpingle@islandstrust.bc.ca](mailto:rpingle@islandstrust.bc.ca).

Thank you for your time and attention to this referral,

**Rob Pingle**

Legislative Clerk | Deputy Secretary

Islands Trust | Salt Spring Island

Phone: 250-538-5600 | [www.islandstrust.bc.ca](http://www.islandstrust.bc.ca)

You can also reach us toll-free via Service BC 1-800-663-7867 | 604-660-2421

*The new Islands Trust office at 121 McPhillips Avenue, Salt Spring Island is not open to the public at this time. Staff will continue to provide services by phone and e-mail until the new office space opens*

## **Preserving and protecting over 450 islands and surrounding waters in the Salish Sea**

*I respectfully acknowledge that the Islands Trust Area is located within the treaty lands and territories of the BOKÉĆEN, Cowichan Tribes, K'ómoks, Lyackson, MÁLEXET, Qualicum, scəwəθən, səlilwətəʔ, SEMYOME, shíshálh, Skwxwú7mesh, Snaw-naw-as, Snuneymuxw, Songhees, Spune'luxutth', STÁUTW, Stz'uminus, ʔaʔəmen, Ts'uubaa-asatx, Wei Wai Kum, We Wai Kai, WJOŁEŁP, WSIKEM, Xeláltxw, Xwémalhwu, Xwsepsum, and xʷməθkʷəy̓əm First Nations. Islands Trust is committed to reconciliation and to working together to preserve and protect this ecologically, culturally, and spiritually significant region in the Salish Sea.*



# BYLAW REFERRAL FORM

4-121 McPhillips Avenue  
Salt Spring Island, BC V8K 2T6  
Ph: (250) 537-9144  
ssiinfo@islandstrust.bc.ca  
www.islandstrust.bc.ca

Island: Salt Spring Island Trust Area Bylaw No.: 544 & 545 Date: April 15, 2025

You are requested to comment on the attached Bylaw for potential effect on your agency's interests. We would appreciate your response within 60 days. If no response is received within that time, it will be assumed that your agency's interests are unaffected.

**APPLICANTS NAME / ADDRESS:**

Nick Williams & Eric Beamish – 248 Upper Ganges Rd, SSI BC, V8K 2P8

**PURPOSE OF BYLAW:**

To legalize commercial uses previously permitted by a Temporary Use Permit.

**GENERAL LOCATION:**

248 Upper Ganges Road, SSI

**LEGAL DESCRIPTION:**

LOT A, SECTION 4, RANGE 4 EAST, NORTH SALT SPRING ISLAND, COWICHAN DISTRICT, PLAN 42183

**SIZE OF PROPERTY AFFECTED:**

0.8 ha (1.98 ac)

**ALR STATUS:**

Not in ALR

**OFFICIAL COMMUNITY PLAN DESIGNATION:**

Residential Neighbourhood Designation (RN)

**OTHER INFORMATION:**

The applicant is seeking amendment to the Land Use Bylaw (LUB) to legalize commercial uses permitted by a Temporary Use Permit and also amend the Official Community Plan (OCP) designation from Residential Neighbourhood to Non-village commercial and General Employment land use designation.

Please fill out the Response Summary on the back of this form. If your agency's interests are "Unaffected", no further information is necessary. In all other cases, we would appreciate receiving additional information to substantiate your position and, if necessary, outline any conditions related to your position. Please note any legislation or official government policy which would affect our consideration of this Bylaw.

(Signature)

Name: Oluwashogo Garuba

Title: A/Planner 2

This referral has been sent to the following agencies:

**First Nations**

Cowichan Tribes  
Halalt First Nation  
Lyackson First Nation  
Malahat Nation  
Pauquachin First Nation  
Penelakut Tribe  
Semiahmoo First Nation  
Snuneymuxw First Nation  
Stz'uminus First Nation  
Ts'uubaa-Asatx First Nation  
Tsartlip First Nation  
Tsawout First Nation  
Tsawwassen First Nation  
Tseycum First Nation

**Provincial Agencies**

BC Assessment Authority  
Front Counter BC

**Regional Agencies**

CRD – All Referrals

**Non-Agency Referrals**

BC Ambulance Service  
RCMP  
SSI Fire-Rescue  
Salt Spring Island Coast Salish Society

**Adjacent Local Trust Committees and Municipalities**

Galiano Island Local Trust Committee  
Mayne Island Local Trust Committee  
North Pender Island Local Trust Committee  
Thetis Island Local Trust Committee  
Cowichan Valley Regional District

**BYLAW REFERRAL FORM  
RESPONSE SUMMARY**

- ☐ Approval Recommended for Reasons Outlined Below
- ☐ Approval Recommended Subject to Conditions Outlined Below
- ☐ Interests Unaffected by Bylaw
- ☐ Approval Not Recommended Due to Reason Outlined Below

Salt Spring Island Trust Area

(Island)

(Signature)

(Date)

544 & 545

(Bylaw Number)

(Title)

(Agency)

# PROPOSED

## SALT SPRING ISLAND LOCAL TRUST COMMITTEE BYLAW NO. 544

### A BYLAW TO AMEND SALT SPRING ISLAND OFFICIAL COMMUNITY PLAN BYLAW NO. 434, 2008

The Salt Spring Island Local Trust Committee enacts in open meeting assembled as follows:

#### 1. CITATION

This Bylaw may be cited for all purposes as “Salt Spring Island Official Community Plan Bylaw No. 434, 2008, Amendment No. 1, 2025”.

#### 2. SCHEDULES

Salt Spring Island Official Community Plan No. 434, cited as “Salt Spring Island Official Community Plan Bylaw No. 434, 2008” is amended as shown on Schedule 1, attached to and forming part of this bylaw.

#### 3. SEVERABILITY

If any provision of this Bylaw is for any reason held to be invalid by a decision of any Court of competent jurisdiction, the invalid provision must be severed from the Bylaw and the decision that such provision is invalid must not affect the validity of the remaining provisions of the Bylaw.

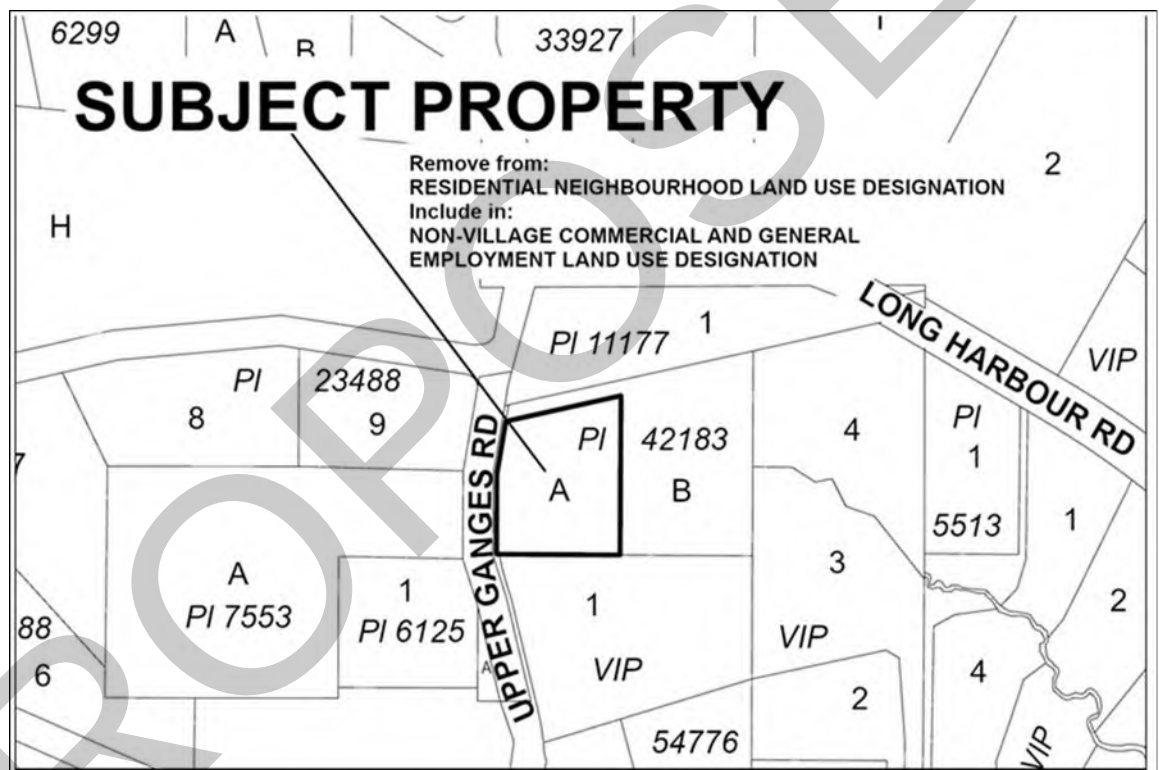
|                                                               |       |        |       |        |
|---------------------------------------------------------------|-------|--------|-------|--------|
| READ A FIRST TIME THIS                                        | 10th  | DAY OF | APRIL | 2025   |
| PUBLIC HEARING HELD THIS                                      | _____ | DAY OF | _____ | 20____ |
| READ A SECOND TIME THIS                                       | _____ | DAY OF | _____ | 20____ |
| READ A THIRD TIME THIS                                        | _____ | DAY OF | _____ | 20____ |
| APPROVED BY THE EXECUTIVE COMMITTEE OF THE ISLANDS TRUST THIS | _____ | DAY OF | _____ | 20____ |
| APPROVED BY THE MINISTER MUNICIPAL AFFAIRS AND HOUSING THIS   | _____ | DAY OF | _____ | 20____ |
| ADOPTED THIS                                                  | _____ | DAY OF | _____ | 20____ |

\_\_\_\_\_  
Chair

\_\_\_\_\_  
Secretary

## SCHEDULE 1

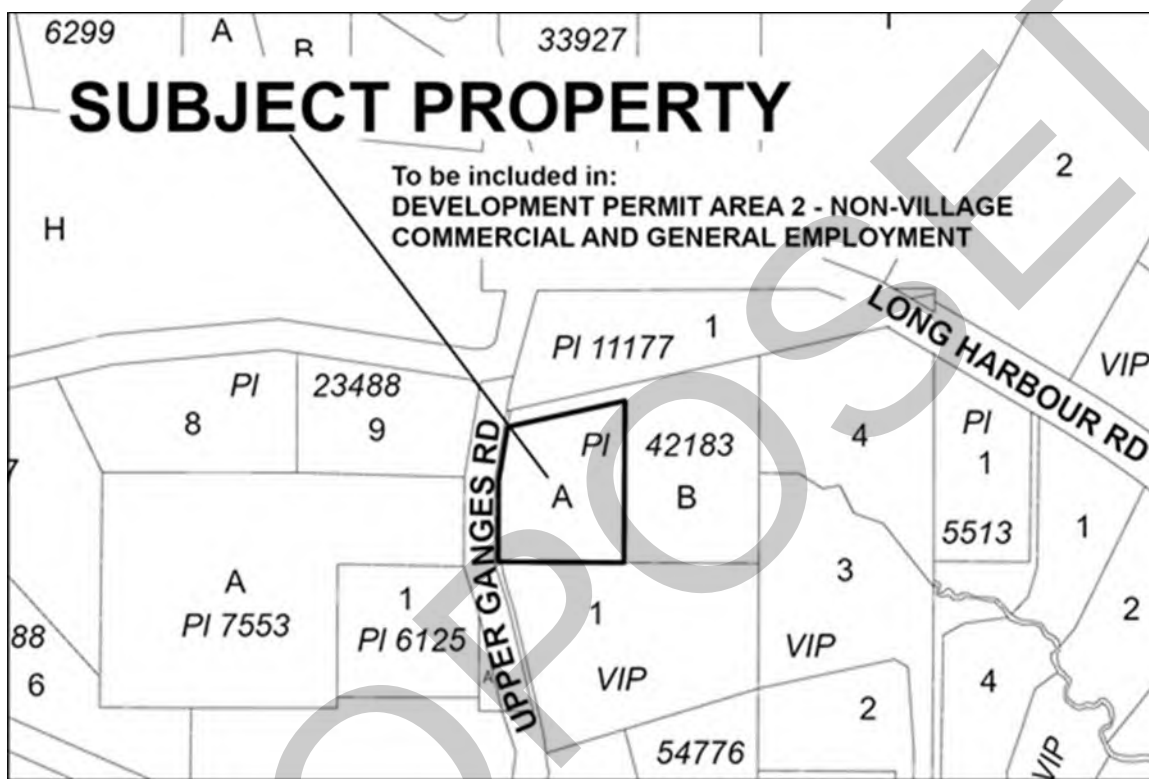
- PLAN NO 1**



2. Schedule "A", Volume 2 is amended as follows:

1.1 Map 19 – Development Permit Area 2 – Non-Village Commercial and General Employment is amended by including LOT A, SECTION 4, RANGE 4 EAST, NORTH SALT SPRING ISLAND, COWICHAN DISTRICT, PLAN 42183, as shown on Plan No. 1 of this bylaw.

**PLAN NO. 1**



# PROPOSED

## SALT SPRING ISLAND LOCAL TRUST COMMITTEE BYLAW NO. 545

### A BYLAW TO AMEND SALT SPRING ISLAND LAND USE BYLAW, 1999

The Salt Spring Island Local Trust Committee, being the Trust Committee having jurisdiction in respect of the Salt Spring Island Local Trust Area under the *Islands Trust Act*, enacts as follows:

#### 1. Citation

This bylaw may be cited for all purposes as “Salt Spring Island Land Use Bylaw, 1999, Amendment No. 3, 2025”.

#### 2. Salt Spring Island Local Trust Committee Bylaw No. 355, cited as “Salt Spring Island Land Use Bylaw, 1999,” is amended as follows:

2.1 Schedule “1” – Zoning Map, is amended by changing the zoning classification of LOT A, SECTION 4, RANGE 4 EAST, NORTH SALT SPRING ISLAND, COWICHAN DISTRICT, PLAN 42183 from Residential 7 (R7) to General Employment 3 variant b (GE3 (b)), as shown on Plan No. 1 attached to and forming part of this bylaw, and by making such alterations to Schedule “1” to Bylaw No. 355 as are required to effect this change.

#### 2.2 By adding the following within Section 9.7.5 – Exceptions in Particular Locations:

“Zone Variation – GE3(b)

(16) The following accessory use is permitted:

(a) One accessory dwelling and one personal services business accessory to the dwelling unit (248 Upper Ganges Road).”

#### 2.3 And by making such consequential numbering alterations to effect this change.

#### 3. SEVERABILITY

If any provision of this Bylaw is for any reason held to be invalid by a decision of any Court of competent jurisdiction, the invalid provision must be severed from the Bylaw and the decision that such provision is invalid must not affect the validity of the remaining provisions of the Bylaw.

|                          |       |        |       |        |
|--------------------------|-------|--------|-------|--------|
| READ A FIRST TIME THIS   | 10th  | DAY OF | APRIL | 2025   |
| PUBLIC HEARING HELD THIS | _____ | DAY OF | _____ | 20____ |
| READ A SECOND TIME THIS  | _____ | DAY OF | _____ | 20____ |
| READ A THIRD TIME THIS   | _____ | DAY OF | _____ | 20____ |

APPROVED BY THE EXECUTIVE COMMITTEE OF THE ISLANDS TRUST

\_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

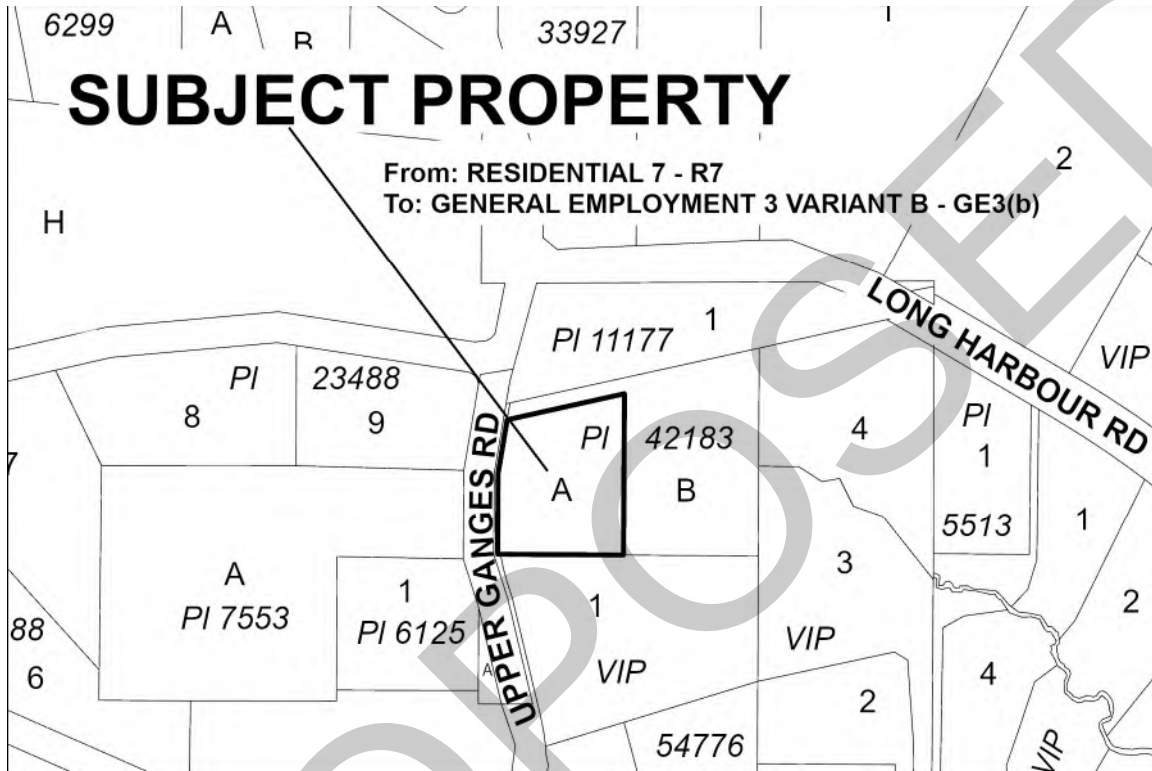
ADOPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

\_\_\_\_\_  
**Chair**

\_\_\_\_\_  
**Secretary**

SALT SPRING ISLAND LOCAL TRUST COMMITTEE  
BYLAW NO. 545

Plan No. 1





# BYLAW REFERRAL FORM

Suite 200, 1627 Fort Street  
Victoria, B.C. V8R 1H8  
Ph: (250) 405-5151  
Fax: (250) 405-5155  
southinfo@islandstrust.bc.ca  
www.islandstrust.bc.ca

Island: Saturna Island Local Trust Area Bylaw No.: 143 Date: May 13, 2025

You are requested to comment on the attached Bylaw for potential effect on your agency's interests. We would appreciate your response within 30 days. If no response is received within that time, it will be assumed that your agency's interests are unaffected.

**APPLICANTS NAME / ADDRESS:**

N/A

**PURPOSE OF BYLAW:**

Amendments would be made to the Saturna Island Land Use Bylaw No. 119, 2018 (LUB) to update where secondary suites are permitted in the Saturna Island Local Trust Area in consideration of most recently available provincial saltwater intrusion mapping data, to amend references of rainwater storage to be more inclusively referenced as freshwater, and to amend minimum cistern capacity provisions to align with industry standards for tank sizes.

**GENERAL LOCATION:**

Saturna Island Local Trust Area

**LEGAL DESCRIPTION:**

N/A

**SIZE OF PROPERTY AFFECTED:**

N/A

**ALR STATUS:**

N/A

**OFFICIAL COMMUNITY PLAN DESIGNATION:**

N/A

**OTHER INFORMATION:**

Additional project information, including associated staff reports, is available at:  
<https://islandstrust.bc.ca/island-planning/saturna/projects/>

Please fill out the Response Summary. If your agency's interests are "*Unaffected*", no further information is necessary. In all other cases, we would appreciate receiving additional information to substantiate your position and, if necessary, outline any conditions related to your position. Please note any legislation or official government policy which would affect our consideration of this Bylaw.

BSmith

(Signature)

Name:

Brad Smith

Title:  
Contact Info

Island Planner

Tel: 778-679-5185

Email: [bsmith@islandstrust.bc.ca](mailto:bsmith@islandstrust.bc.ca)

**This referral has been sent to the following agencies:**

**Government Agencies**

Parks Canada  
Ministry of Water, Land and Resource Stewardship – Water  
Management Branch

**Regional Agencies**

CRD, Planning and Protective Services, Building Inspection  
CRD, Integrated Water Services (Lyall Harbour – Boot  
Cove Water System)  
Island Health

**Adjacent Local Trust Committees and Municipalities**

North Pender Island Local Trust Committee  
Mayne Island Local Trust Committee  
South Pender Island Local Trust Committee

**First Nations**

Cowichan Tribes  
Halalt First Nation  
Lyackson First Nation  
Malahat First Nation  
Pauquachin First Nation  
Penelakut Tribe  
Semiahmoo First Nation  
Snuneymuxw First Nation  
Stz'uminus First Nation  
Ts'uubaa-asatx First Nation  
Tsartlip First Nation  
Tsawout First Nation  
Tsawwassen First Nation  
Tseycum First Nation  
WSANEC Leadership Council

**BYLAW REFERRAL FORM  
RESPONSE SUMMARY**

- ☐ Approval Recommended for Reasons Outlined Below
- ☐ Approval Recommended Subject to Conditions Outlined Below
- ☐ Interests Unaffected by Bylaw
- ☐ Approval Not Recommended Due to Reason Outlined Below

\_\_\_\_\_  
Saturna Island Local Trust Area  
(Island)

\_\_\_\_\_  
(Signature)

\_\_\_\_\_  
(Date)

\_\_\_\_\_  
143  
(Bylaw Number)

\_\_\_\_\_  
(Name and Title)

\_\_\_\_\_  
(Agency)

DATE OF MEETING: May 30, 2025  
TO: North Pender Island Local Trust Committee  
FROM: Bruce Belcher, Planner 2  
Southern Team  
COPY: Robert Kojima, Regional Planning Manager  
SUBJECT: PL-DVP-2025-0086  
Applicant: Ernestine Wood  
Location: 1204 Port Washington Road, North Pender Island

## RECOMMENDATION

1. That the North Pender Island Local Trust Committee approve issuance of PL-DVP-2025-0086.

## REPORT SUMMARY

The purpose of this report is to consider a Development Variance Permit (DVP) to increase the maximum height regulation and the maximum storey regulation for the construction of a new accessory building.

## RATIONALE FOR VARIANCE

The applicant's rationale for the height variance is to allow the siting of a new accessory building to be located on an existing deck foundation on the property. The applicant would like to site the building on the raised deck foundation due to the property being seasonally flooded and having saturated soil throughout the wet season. The accessory building is coming from a pre-fabricated kit and therefore the height cannot be reduced without choosing an alternative option. The applicant's rationale letter is included as Attachment 3.

## BACKGROUND

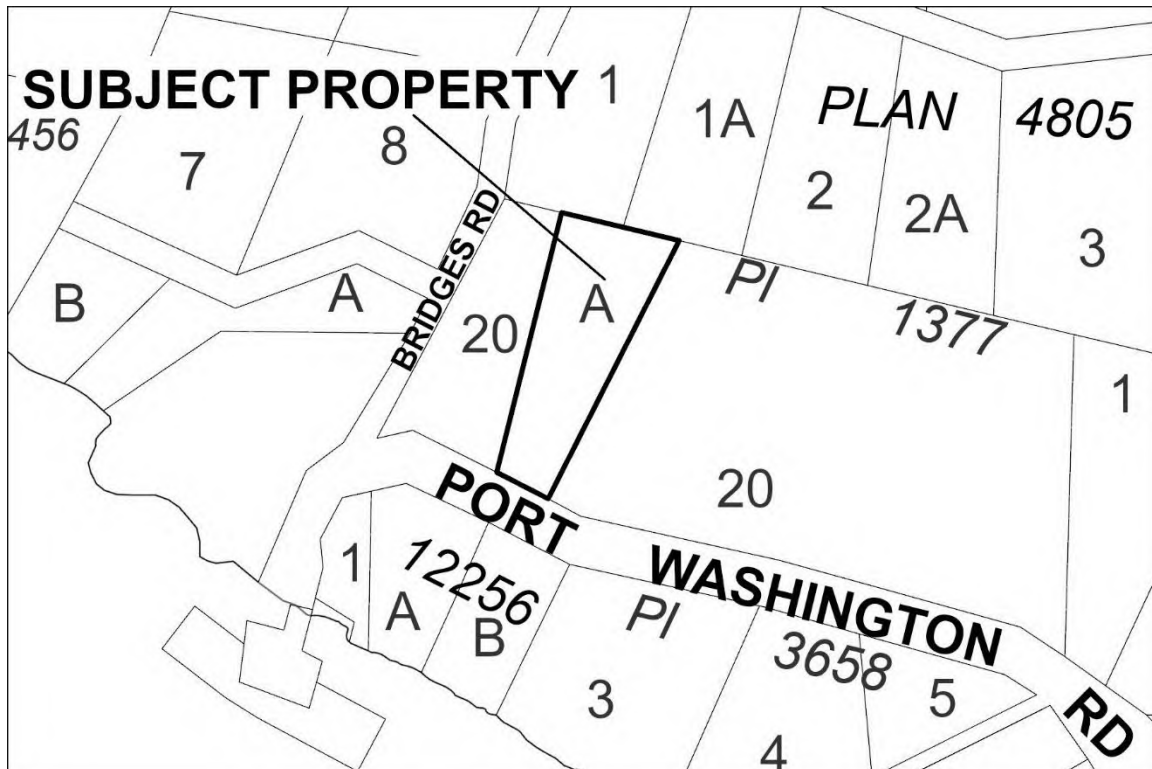
The variance application was initiated by the applicant following discussions with Islands Trust staff on the feasibility of construction an accessory building on an existing deck foundation. The applicant identified that the proposed pre-fabricated design they had chosen would be slightly over height once sited on the deck, which staff identified would require a variance to reach compliance with the North Pender Land Use Bylaw No. 224, 2022 (LUB). Upon review the variance to the one-storey maximum requirement was included due to the building having a loft with a floor to ceiling distance greater than 1.5 metres.

The specific variance to the LUB is as follows:

- a) Subsection 5.2 (7) which states that *all buildings and structures must not exceed 4.6 metres in height and one storey except for a dwelling or cottage* is varied to permit the construction of a new accessory building with maximum height of 5.3 metres and two storeys.

The subject lot is located at 1204 Port Washington Road on North Pender Island. The parcel is zoned Rural Residential 2 (RR2) and is 0.39 ha (0.97 ac) in area. The zoning allows the property to a total lot coverage of 25%, while the current coverage is about 3.5%. Based on the property's size the maximum floor area for all buildings must not exceed 500m<sup>2</sup>, the total floor area including the proposed accessory building would be about 140m<sup>2</sup>. The property is a south facing sloped lot just inland from Grimmer Bay and the Port Washington public dock.

A copy of the notice and proposed permit is included as Attachment 4 and 5. Staff conducted a site visit on March 24<sup>th</sup>, photos of the site are included with Attachment 2.



**Figure 1 - Subject Property Location**

## ANALYSIS

### Intent of Regulations being varied

The overall purpose of the maximum height and storey requirements for accessory buildings are to minimize impacts related to:

- Limiting the visual impact of development on adjacent properties;
- Establishing consistent development patterns within a local area;
- Maintaining rural character;
- Establishing certainty with respect to development by maintaining consistent regulations;

- Protecting views, scenic areas, and distinctive features contributing to the overall visual quality and scenic value of the Trust Area.

#### Potential impacts of granting to variance

Granting a variance can potentially create an expectation in the community with regard to future applications. As variances consider the unique circumstances pertaining to a particular situation that may warrant the relaxation of a specific zoning regulation, each application should be evaluated on its own merits.

If the variance is approved the anticipated impacts on the neighbouring properties would be minimal since the building would be located further north and up the slope from the buildings on the adjacent properties. The views towards the water would not be impacted. The tree cover along the northern lot line of the property also protects the views from the neighbours to the north.

The applicant is aware that the building cannot be used as a residence. The intended use is an accessory private work space and hobby area due to the limited space in the existing principal dwelling. Granting a variance does not exempt a property from complying with the permitted uses within the property's zone. Based on the property's zone there is a maximum of one dwelling permitted on the lot.

If the variance is not approved the applicant could choose an alternative design to meet the height and storey regulations.

#### **Circulation**

The draft permits were circulated to surrounding property owners and residents on May 9, 2025. The notification period will end on May 21, 2025.

No submissions have been received at the time of writing. Any comments received subsequently will be forwarded to the Local Trust Committee and reported at the meeting.

#### ***First Nations***

The Islands Trust reviews all applications to ensure the preservation and protection of cultural heritage, archaeological sites, and ancestral places. As reviewed, the application is consistent with respect to LTC Standing Resolutions on reconciliation. Notwithstanding, to provide applicants with awareness regarding unknown archaeological areas, staff forwarded the Islands Trust Chance Find Protocol and the provincial Archaeological Branch guidelines on Heritage Act directly to the applicants with the initial application.

#### **Rationale for Recommendation**

Staff is recommending that the resolutions on page 1 be supported for the following reasons:

- The rationale for siting the building on the existing deck foundation is reasonable;
- The anticipated new impacts on neighbouring properties would be minimal.

#### **ALTERNATIVES**

The LTC may consider the following alternatives to the staff recommendation:

##### **1. Request further information**

The LTC may request further information prior to making a decision. If selecting this alternative, the LTC should describe the specific information needed and the rationale for this request. Recommended wording for the resolution is as follows:

*That the North Pender Island Local Trust Committee request that the applicant submit to the Islands Trust ....*

## **2. Deny the application**

The LTC may deny the application. Recommended wording for the resolution is as follows:

*That the North Pender Island Local Trust Committee refuse application PL-DVP-2025-0086*

|               |                                          |              |
|---------------|------------------------------------------|--------------|
| Submitted By: | Bruce Belcher, Planner 2                 | May 20, 2025 |
| Concurrence:  | Robert Kojima, Regional Planning Manager | May 20, 2025 |

## **ATTACHMENTS**

1. Site Context
2. Maps, Plans, Photographs
3. Applicant's Letter
4. Notice
5. Draft Development Variance Permit

## ATTACHMENT 1 – SITE CONTEXT

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### LOCATION

|                   |                                                                 |
|-------------------|-----------------------------------------------------------------|
| Legal Description | LOT A, SECTION 23, PENDER ISLAND, COWICHAN DISTRICT, PLAN 12416 |
| PID               | 004-756-207                                                     |
| Civic Address     | 1204 PORT WASHINGTON RD, PENDER ISLAND, BC V0N 2M1              |
| Lot Size          | 0.39 ha (0.97 ac)                                               |

### LAND USE

|                      |             |
|----------------------|-------------|
| Current Land Use     | Residential |
| Surrounding Land Use | Residential |

### HISTORICAL ACTIVITY

| File No.      | Purpose               |
|---------------|-----------------------|
| NP-BP-2024.10 | New deck construction |

### POLICY/REGULATORY

|                                      |                           |
|--------------------------------------|---------------------------|
| Official Community Plan Designations | Rural Residential - RR    |
| Land Use Bylaw                       | Rural Residential 2 – RR2 |
| Other Regulations                    | N/A                       |
| Covenants                            | N/A                       |
| Bylaw Enforcement                    | N/A                       |

### SITE INFLUENCES

|                                |                                                                                                              |
|--------------------------------|--------------------------------------------------------------------------------------------------------------|
| Islands Trust Conservancy      | The application has no considerations for the Islands Trust Conservancy                                      |
| Regional Conservation Strategy | This application has no considerations within the Regional Conservation Plan.                                |
| Species at Risk                | Common Sharp-tailed Snake – (Extirpated & Historical)<br>Douglas-fir / dull Oregon-grape – Ecosystem at Risk |

|                      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
|----------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                      | <div><p>5/20/2025, 10:31:01 AM</p><ul style="list-style-type: none"><li>• Civic Address</li><li>□ Property Boundaries</li><li>■ Ecosystems at Risk - CDC</li><li>■ Species at Risk (Extirpated &amp; Historical) - CDC</li><li>■ Vertebrate Animal</li></ul><p>Sources: Esri, Maxar, Airbus DS, USGS, NOAA, NASA, CGIAR, N. Robinson, NCEAS, N.S., OS, NMA, Geodatasystemen, Rijksdienst, GSA, Geoland, FEMA, Intermap, and the GIS user community, Esri Community Maps Contributors, Whatcom County, WA</p><p>Islands Trust GIS Dept<br/>Esri Community Maps Contributors, Whatcom County, WA State Parks GIS, © OpenStreetMap, Microsoft, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METRNAS, USGS, Bureau of Land Management, EPA, NPS, US Census Bureau, USDA, USFWS, NRCan, Parks Canada   Source: Esri</p></div> |
| Sensitive Ecosystems | <div><h3>Seasonally Flooded</h3><p>5/20/2025, 10:30:36 AM</p><ul style="list-style-type: none"><li>• Civic Address</li><li>□ Property Boundaries</li><li>■ Primary Class</li><li>■ Seasonally Flooded</li></ul><p>Sources: Esri, Maxar, Airbus DS, USGS, NOAA, NASA, CGIAR, N. Robinson, NCEAS, N.S., OS, NMA, Geodatasystemen, Rijksdienst, GSA, Geoland, FEMA, Intermap, and the GIS user community, Esri Community Maps Contributors, Whatcom County, WA</p><p>Islands Trust GIS Dept<br/>Esri Community Maps Contributors, Whatcom County, WA State Parks GIS, © OpenStreetMap, Microsoft, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METRNAS, USGS, Bureau of Land Management, EPA, NPS, US Census Bureau, USDA, USFWS, NRCan, Parks Canada   Source: Esri</p></div>                                              |
| Hazard Areas         | <div><h3>Low-Risk Steep Slopes</h3></div>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |

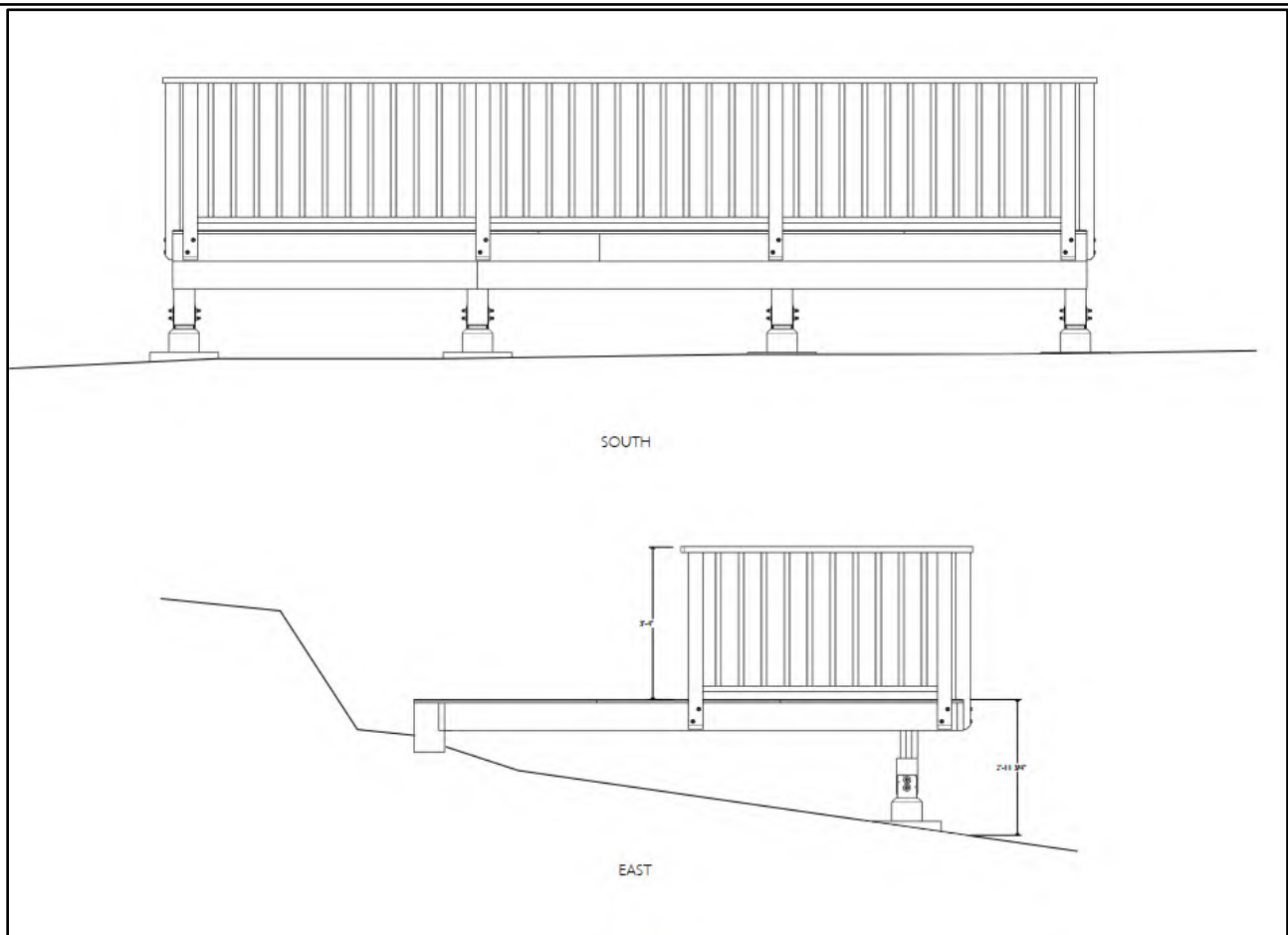
|                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
|------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                                          |  <p>5/20/2025, 10:29:58 AM</p> <ul style="list-style-type: none"> <li>• Civic Address</li> <li>□ Property Boundaries</li> <li>Low Risk</li> <li>Moderate Risk</li> <li>High Risk</li> </ul> <p>Scale: 1:1,128<br/>0 0.01 0.01 0.03 mi<br/>0 0.01 0.03 0.05 km</p> <p>Sources: Esri, Maxar, Airbus DS, USGS, NGA, NASA, CGIAR, N. Robinson, NCEAS, NLS, OS, NMA, Geobase, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap, and the GIS user community, Esri Community Maps Contributors, Whistler County, WA</p> <p>Islands Trust GIS Dept</p>  |
| Archaeological Sites                     | <p>Archaeological potential on subject site. Notwithstanding the foregoing, and by copy of this report, the owners and applicant should be aware that there is still a chance that the lot may contain previously unrecorded archaeological material that is protected under the Heritage Conservation Act. If such material is encountered during development, all work should cease and Archaeology Branch should be contacted immediately as a Heritage Conservation Act permit may be needed before further development is undertaken. This may involve the need to hire a qualified archaeologist to monitor the work</p> |
| Climate Change Adaptation and Mitigation | <p>No anticipated impacts to GHG emissions as a result of this proposal.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |

## ATTACHMENT 2 – MAPS, PLANS, PHOTOGRAPHS

### 2.1 SITE PLAN



## 2.2 ELEVATION PLANS





## 2.4 PHOTOS



DECK FOUNDATION, LOOKING NORTH AND EAST





**BUILDING LOCATION, LOOKING SOUTH**





**BUILDING LOCATION, LOOKING NORTH**



**FORESTED AREA ALONG PROPERTY LINE, LOOKING NORTH**

To whom it may concern,

Please accept this letter as justification for the height variance requested on our property at 1204 Port Washington Rd, Pender Island

We are requesting this variance for the following reasons:

Originally we had planned to build an accessory building from scratch but it is far more cost effective to have a pre fab kit. In fact it would be close to 70 percent more costly to design and build it ourselves.

Although the company we are using is called “Bunkie Life” we are not using this as a dwelling, it is to be used as an accessory building.

We really like the layout and look of this building, and felt that it will look very attractive for our neighbours etc. It is built very environmentally friendly which also is quite appealing to us and our neighbours. Both our neighbours have shown us their support of this project.

There is a 85 year home on the property but it is very small for our family and we very much need the extra space for things such as hobbies, private work space, to watch TV etc. We also felt that the extra height will offer a bit more natural lighting to shine in and offer more perceived space.

The deck that was built on site does make the accessory building appear higher, however it was built to level out the grade. The deck has been passed with all permits in hand.

Also, because of the excessive wetness of the property, it is beneficial for us to provide a foundation that is raised off the ground.

I should mention that there are no properties behind us that this building would obstruct and there is nothing that could ever be built behind this building.

We appreciate this consideration.

Thank you,

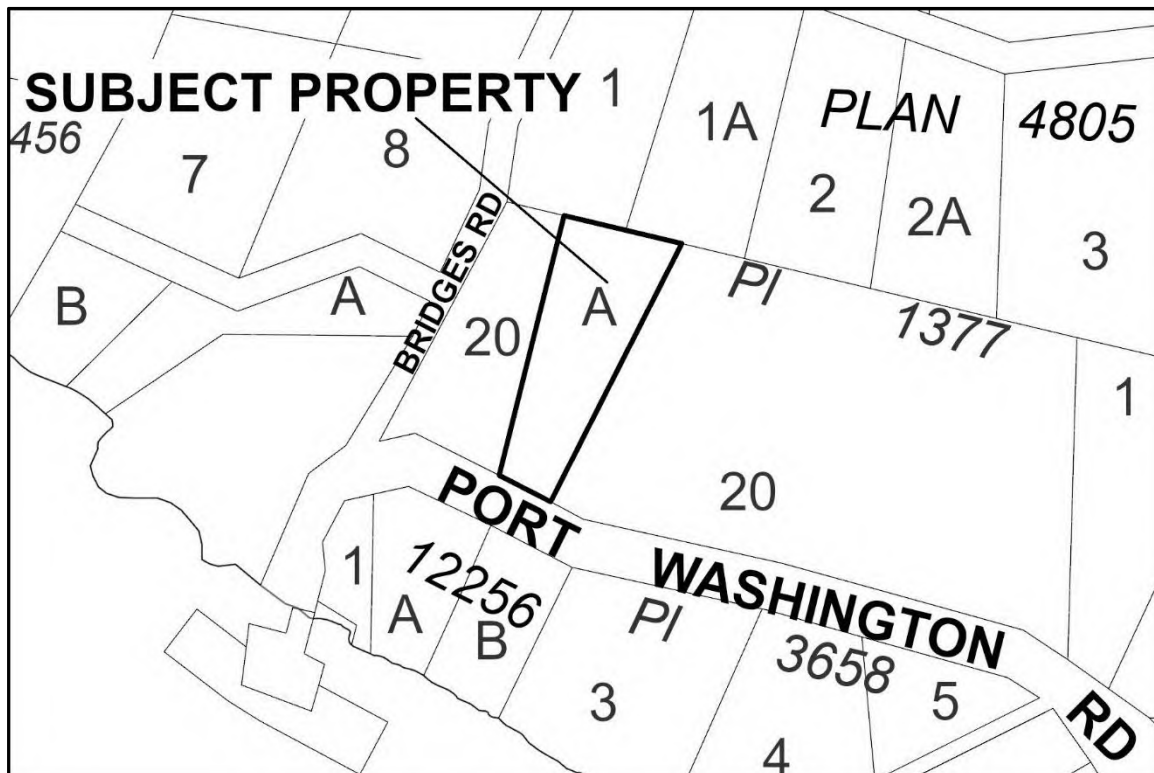
Angela & Ryan

**NOTICE** is hereby given pursuant to Section 499 of the *Local Government Act* that the North Pender Island Local Trust Committee will be considering a resolution allowing for the issuance of a Development Variance Permit, the proposed permit would vary the North Pender Island Land Use Bylaw No. 224, 2022 by:

- Increasing the maximum height from 4.6 to 5.3 metres and from one storey to two storeys for the construction of an accessory building.

The property is located at **1204 Port Washington Road** and is legally described as LOT A, SECTION 23, PENDER ISLAND, COWICHAN DISTRICT, PLAN 12416 (PID: 004-756-207).

The general location of the subject property is shown on the following sketch:



A copy of the proposed permit may be inspected at the Islands Trust Office, 200 - 1627 Fort Street, Victoria, B.C. V8R 1H8 between the hours of 8:30 a.m. to 4:30 p.m. Monday to Friday inclusive, excluding statutory holidays, commencing **May 9, 2025** and continuing up to and including **May 21, 2025**.

For the convenience of the public only, and not to satisfy Section 499 (2) (c) of the *Local Government Act*, additional copies of the Proposed Permit may be inspected at various Notice Boards on North Pender Island.

Enquiries or comments should be directed to Bruce Belcher, Planner 2 at (250) 405-5179, for Toll Free Access, request a transfer via Enquiry BC: In Vancouver 660-2421 and elsewhere in BC 1-800-663-7867; or by fax (250) 405-5155; or by email to: [southinfo@islandstrust.bc.ca](mailto:southinfo@islandstrust.bc.ca) before 4:30 pm, **May 21, 2025**.

The North Pender Island Local Trust Committee may consider a resolution allowing for the issuance of the permit during the regular business meeting starting at **10:00 a.m.** on **May 30, 2025**, to be held at the **St. Peter's Anglican Church Hall**, 4703 Canal Rd, North Pender Island.

All applications are available for review by the public with prior appointment. Written comments made in response to this notice will also be available for public review.



**PROPOSED**  
**NORTH PENDER ISLAND LOCAL TRUST COMMITTEE**  
**DEVELOPMENT VARIANCE PERMIT**  
**PLDVP20250086**

To: Margaret Ernestine Wood

1. This Development Variance Permit applies to the land described below:

LOT A, SECTION 23, PENDER ISLAND, COWICHAN DISTRICT, PLAN 12416  
(PID: 004-756-207)

2. North Pender Island Land Use Bylaw No. 224, 2022 is varied as follows:

- a) Subsection 5.2 (7) which states that *all buildings and structures must not exceed 4.6 metres in height and one storey except for a dwelling or cottage* is varied to permit the construction of a new accessory building with maximum height of 5.3 metres and two storeys.

The development shall be substantially consistent with Schedules 'A' and 'B' which are attached to and form part of this permit.

3. This permit is not a building permit and does not remove any obligation on the part of the permittee to comply with all other requirements of "North Pender Island Land Use Bylaw No. 224, 2022" and to obtain other approvals necessary for completion of the proposed development, including approval of the Capital Regional District and Ministry of Transportation and Infrastructure.

**AUTHORIZING RESOLUTION PASSED BY THE NORTH PENDER ISLAND LOCAL TRUST COMMITTEE THIS ##th DAY OF [MONTH], [YEAR].**

\_\_\_\_\_  
Deputy Secretary, Islands Trust

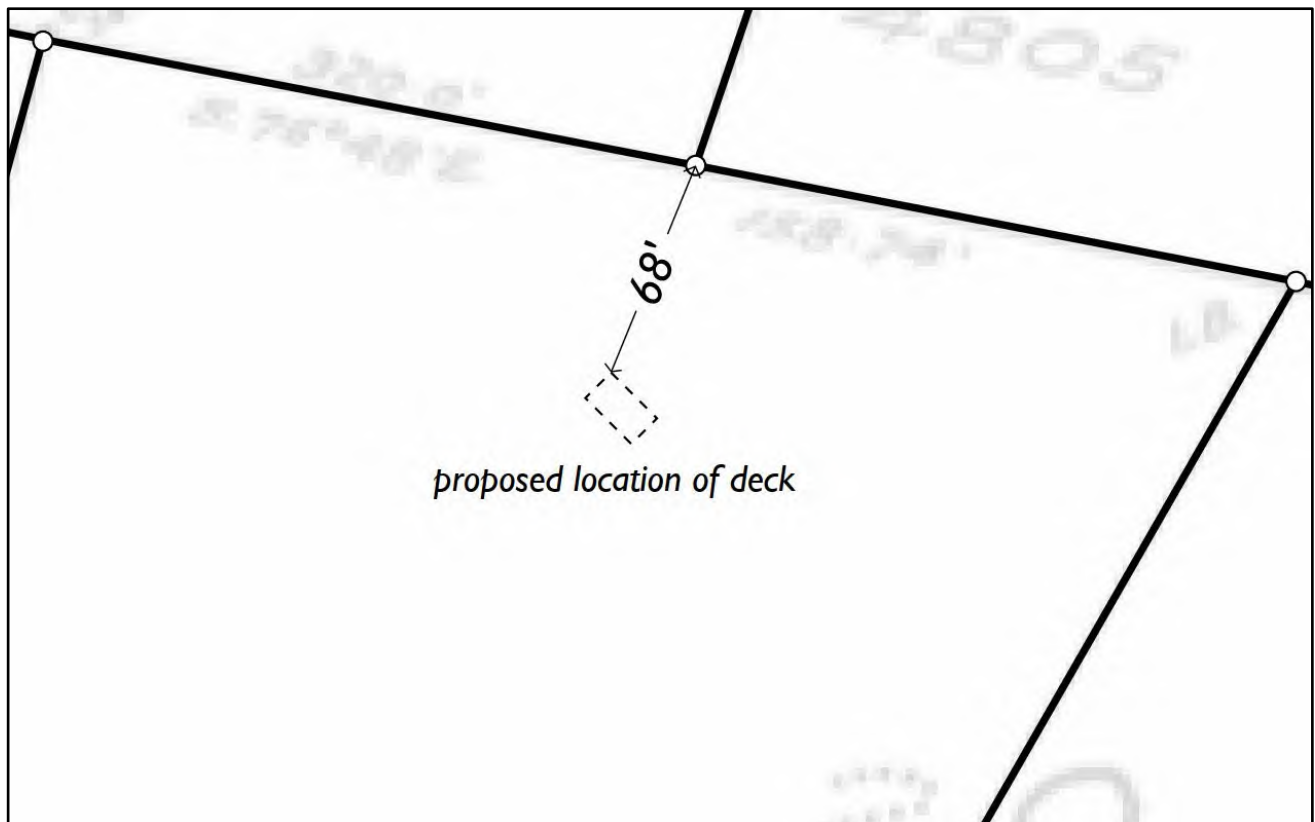
\_\_\_\_\_  
Date of Issuance

**IF THE DEVELOPMENT DESCRIBED HEREIN IS NOT COMMENCED BY THE ##th DAY OF [MONTH], [YEAR (2 YEARS FROM DATE OF ISSUANCE)] THIS PERMIT AUTOMATICALLY LAPSES.**

**NORTH PENDER ISLAND LOCAL TRUST COMMITTEE**

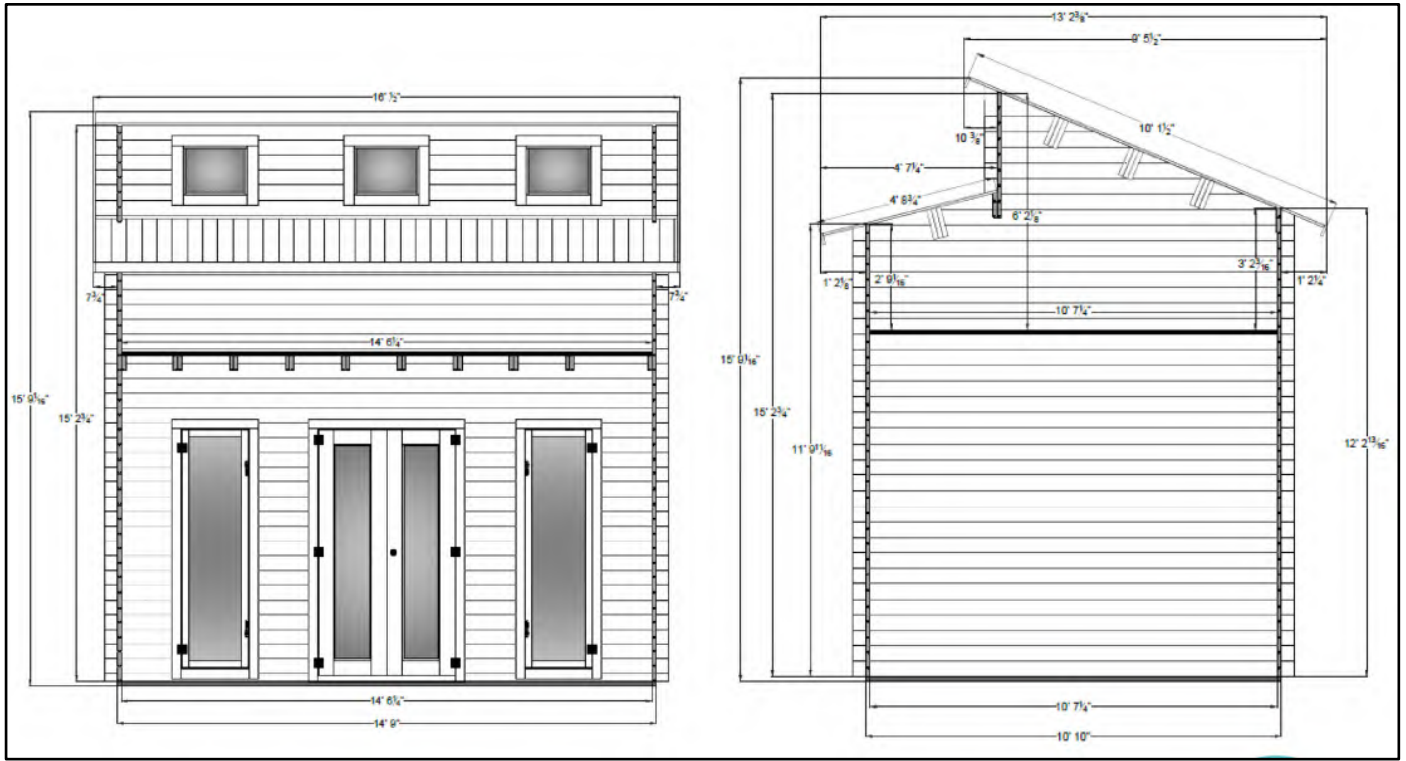
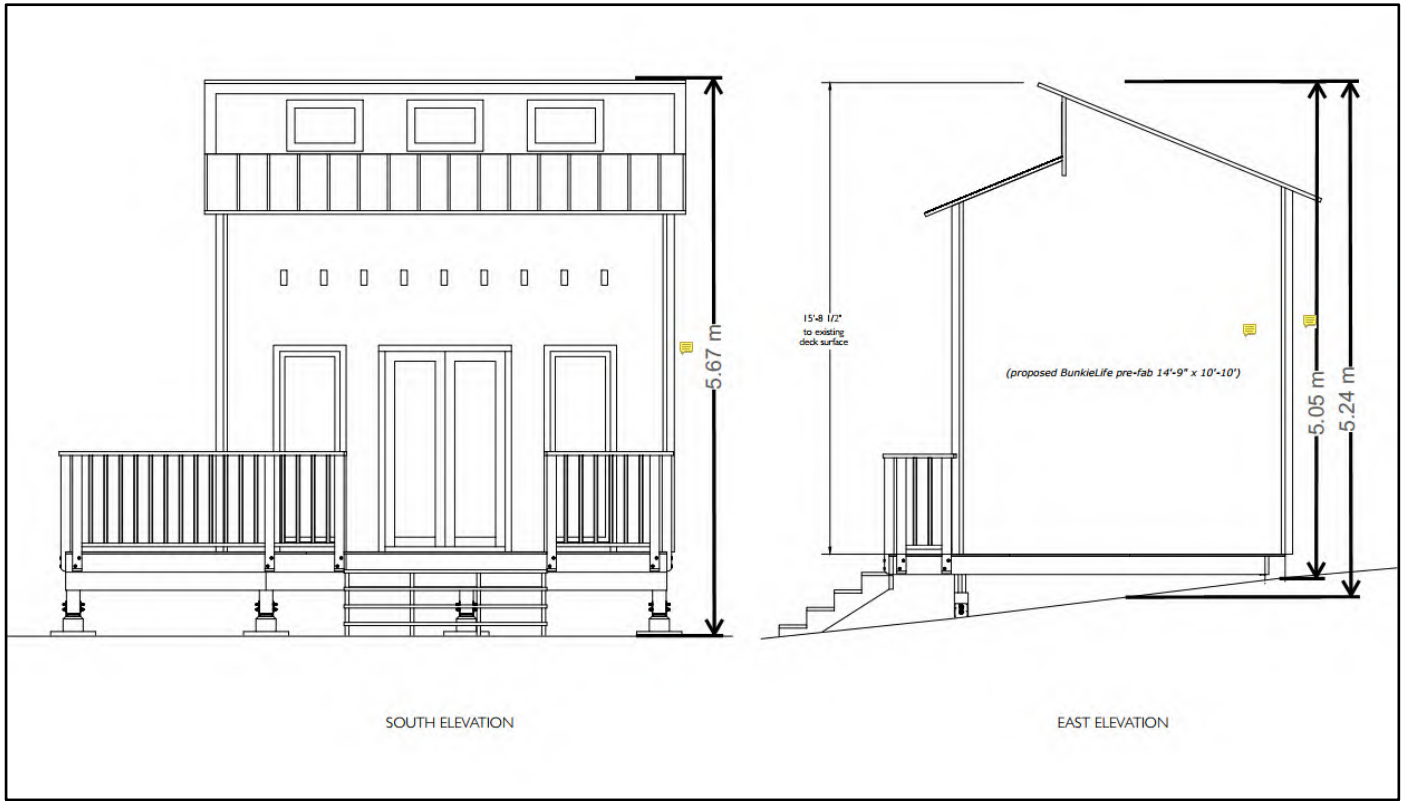
**PLDVP20250086**

**SCHEDULE 'A'**



**NORTH PENDER ISLAND LOCAL TRUST COMMITTEE**  
**PLDVP20250086**

**SCHEDULE 'B'**



DATE OF MEETING: May 30, 2025  
TO: North Pender Island Local Trust Committee  
FROM: Bruce Belcher, Planner 2  
Southern Team  
COPY: Robert Kojima, Regional Planning Manager  
SUBJECT: PL-DVP-2025-0124  
Applicant: Rolf Hurbin  
Location: 2319 MacKinnon Road, North Pender Island

## RECOMMENDATION

1. That the North Pender Island Local Trust Committee approve issuance of PL-DVP-2025-0124.

## REPORT SUMMARY

The purpose of this report is to consider a Development Variance Permit (DVP) to relax the vertical and horizontal natural boundary setback requirements for the new construction of a shoreline stabilization rock retaining wall and riprap.

## RATIONALE FOR VARIANCE

The applicant's rationale for the variance is to restore and secure the bank along the natural boundary by building a new retaining wall and rip-rap structure where the bank erosion has occurred. The applicant is concerned that if the bank is not secured further erosion will occur and impact the property's septic field, the Otter Bay Marina water line running across the property through an easement, and negatively impact the safety of the property. The applicant's rationale is further outlined in a letter included with this report as Attachment 3.

## BACKGROUND

The variance application was initiated by the applicant to permit the proposed shoreline stabilization rock retaining wall and riprap in the setback from the natural boundary of the sea. Due to the shoreline erosion taking place along the natural boundary of the sea any new structure would require a variance to bring the siting into compliance. The applicant hired a geotechnical engineer to assess the risk of further erosion and design the structure to secure the bank, and a registered professional biologist to produce a report on the potential environmental impacts of the proposed structure.

The Geotechnical Assessment, included as Attachment 5, identified that periodic surface runoff flowing down the property and groundwater saturated soils have led to the bank eroding and further erosion, while minor, is likely to occur until the slope naturally flattens. The Geotechnical Assessment determined that a

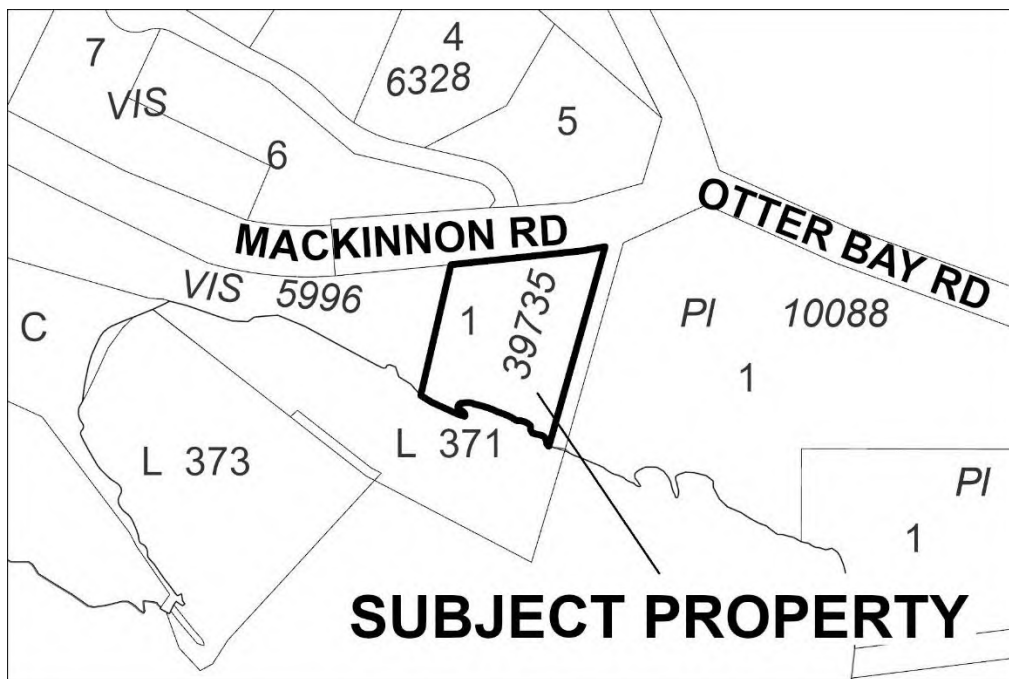
softer Green Shores approach to bank stabilization would not be appropriate given the steepness of the slope and high energy marine environment.

The specific variances to the LUB are as follows:

- a) Subsection 3.3 (1) (a) which states that no building or structure, other than those in Subsection 3.3(2), may be sited, nor fill placed to support a building or structure, within 15 metres upland of the natural boundary of the sea is varied to permit the construction of a structure (rock retaining wall) 0.3 metres upland from the natural boundary of the sea.
- b) Subsection 3.3 (1) (b) which states that no building or structure, other than those in Subsection 3.3(2), may be sited, nor fill placed to support a building or structure, within 1.5 metres from the natural boundary of the sea as measured on the vertical plane is varied to permit the construction of a structure (rock retaining wall) 0.0 metres upland on the vertical plane from the natural boundary of the sea.

The subject lot is located at 2319 MacKinnon Road on North Pender Island. The parcel is zoned Rural Residential 2 (RR2) and is 0.64 ha (1.58 ac) in area. The property is a south facing sloped lot on Hiyashi Cove, accessible via an easement to MacKinnon Road through the west neighbour's property. The property is used by the owner as a part-time residence and has a principal dwelling as well as an accessory garage.

A copy of the notice and proposed permit is included as Attachment 6 and 7. Staff conducted a site visit on March 24<sup>th</sup>, photos of the site are included as Attachment 2.



**Figure 1 - Subject Property Location**

## ANALYSIS

### Intent of Regulations being varied

The overall purpose of the setbacks from the natural boundary of the sea are to minimize development related impacts on shoreline adjacent properties related to:

- Ensuring that buildings and structures are located outside of environmentally sensitive areas;
- Ensuring that a sufficient distance from the water is established to avoid impacts from changing shoreline and marine conditions;
- Protection for the public use and access to the foreshore;
- Establishing consistent development patterns;
- Protecting development from hazards;
- Limiting the visual impact of shoreline development.

### Potential impacts of granting to variance

Granting a variance can potentially create an expectation in the community with regard to future applications. As variances consider the unique circumstances pertaining to a particular situation that may warrant the relaxation of a specific zoning regulation, each application should be evaluated on its own merits.

If the variance is approved the anticipated visual impacts on neighbouring properties would be minimal as the structures would not impact the views of any properties due to the proposed height matching the existing bank. The proposed riprap and stacked boulders would cover a total area of about 75m<sup>2</sup> or about 800ft<sup>2</sup> which is a small portion of the property's shoreline, the remaining area would be left in its natural state. Following construction, the visual impact would be reduced further as the owner intends to restore the bank through the removal of invasive species and reintroducing native species. The applicant has identified that removing the Himalayan blackberry is a priority once the shoreline structure is complete.

The Environmental Assessment, included as Attachment 4, did not identify any species at risk during the vegetation survey, and the location of the structure is not within a mapped sensitive ecosystem. The Environmental Assessment identified that the shoreline adjacent to the erosion in Hiyashi Cove is important Pacific sand lance spawning habitat and an eelgrass site. Restoration and construction of the bank would need to be completed during the dry season and low tides to prevent sediment erosion into the sea and increased water turbidity. The area has been previously disturbed and is mainly a grassy lawn with numerous invasive species and a few native species. Planting and restoration following bank stabilization would help prevent future erosion of the bank.

The Geotechnical Assessment identified that the riprap and retaining wall design would be the most effective solution to prevent further bank erosion over a softer Green Shores approach. Given the steepness of the slope, regrading the bank to align with Green Shores methods would require significant removal of soil and excavation.

If the permit is not approved the shoreline may be at risk of future erosion during high rainfall events, potentially impacting the Otter Bay Marina water line which is located between 0.5 and 7.5 metres from the top of the eroding bank based on the easement registered on title.

**Circulation**

The draft permits were circulated to surrounding property owners and residents on May 9, 2025. The notification period will end on May 21, 2025.

No submissions have been received at the time of writing. Any comments received subsequently will be forwarded to the Local Trust Committee and reported at the meeting.

**First Nations**

The Islands Trust reviews all applications to ensure the preservation and protection of cultural heritage, archaeological sites, and ancestral places. As reviewed, the application is consistent with respect to LTC Standing Resolutions on reconciliation. Notwithstanding, to provide applicants with awareness regarding unknown archaeological areas, staff forwarded the Islands Trust Chance Find Protocol and the provincial Archaeological Branch guidelines on Heritage Act directly to the applicants with the initial application.

**Rationale for Recommendation**

Staff is recommending that the resolutions on page 1 be supported for the following reasons:

- The proposed construction would have limited impacts on adjacent properties, the environment, and the public use of the foreshore;
- The applicant intends to follow the guidance within the professional reports, which provide reasonable construction recommendations to help limit impacts on the adjacent marine ecosystems;
- The proposed construction would enable the owner to remove invasive species along the steep slope and plant native species while preventing future erosion.

**ALTERNATIVES**

The LTC may consider the following alternatives to the staff recommendation:

**1. Request further information**

The LTC may request further information prior to making a decision. If selecting this alternative, the LTC should describe the specific information needed and the rationale for this request. Recommended wording for the resolution is as follows:

*That the North Pender Island Local Trust Committee request that the applicant submit to the Islands Trust ....*

**2. Deny the application**

The LTC may deny the application. Recommended wording for the resolution is as follows:

*That the North Pender Island Local Trust Committee refuse application PL-DVP-2025-0124*

|               |                          |              |
|---------------|--------------------------|--------------|
| Submitted By: | Bruce Belcher, Planner 2 | May 20, 2025 |
|---------------|--------------------------|--------------|

|              |                                          |              |
|--------------|------------------------------------------|--------------|
| Concurrence: | Robert Kojima, Regional Planning Manager | May 22, 2025 |
|--------------|------------------------------------------|--------------|

## ATTACHMENTS

1. Site Context
2. Maps, Plans, Photographs
3. Applicant's Letter
4. Environmental Assessment
5. Geotechnical Assessment
6. Notice
7. Draft Development Variance Permit

## ATTACHMENT 1 – SITE CONTEXT

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### LOCATION

|                   |                                                                 |
|-------------------|-----------------------------------------------------------------|
| Legal Description | LOT 1, SECTION 17, PENDER ISLAND, COWICHAN DISTRICT, PLAN 39735 |
| PID               | 000-985-325                                                     |
| Civic Address     | 2319 MACKINNON RD, PENDER ISLAND, BC V0N 2M1                    |
| Lot Size          | 0.64 ha (1.58 ac)                                               |

### LAND USE

|                      |             |
|----------------------|-------------|
| Current Land Use     | Residential |
| Surrounding Land Use | Residential |

### HISTORICAL ACTIVITY

| File No.      | Purpose                                                 |
|---------------|---------------------------------------------------------|
| NP-DVP-2020.3 | Variance for siting of accessory building in a setback. |
| NP-BP-2020.29 | New accessory building.                                 |
| NP-BP-2019.32 | Addition to single-family dwelling.                     |
| NP-BP-2019.19 | New garage.                                             |

### POLICY/REGULATORY

|                                      |                                                        |
|--------------------------------------|--------------------------------------------------------|
| Official Community Plan Designations | Rural Residential - RR<br>DPA 1 – Woodland on property |
| Land Use Bylaw                       | Rural Residential 2 – RR2                              |
| Other Regulations                    | N/A                                                    |
| Covenants                            | N/A                                                    |
| Bylaw Enforcement                    | NP-BE-2015.22 – STVR (file closed, previous owner)     |

### SITE INFLUENCES

|                                |                                                                                                          |
|--------------------------------|----------------------------------------------------------------------------------------------------------|
| Islands Trust Conservancy      | The application has no considerations for the Islands Trust Conservancy                                  |
| Regional Conservation Strategy | This application has eelgrass shoreline protection considerations within the Regional Conservation Plan. |
| Species at Risk                | Northern Red-legged Frog – (Extirpated & Historical)                                                     |



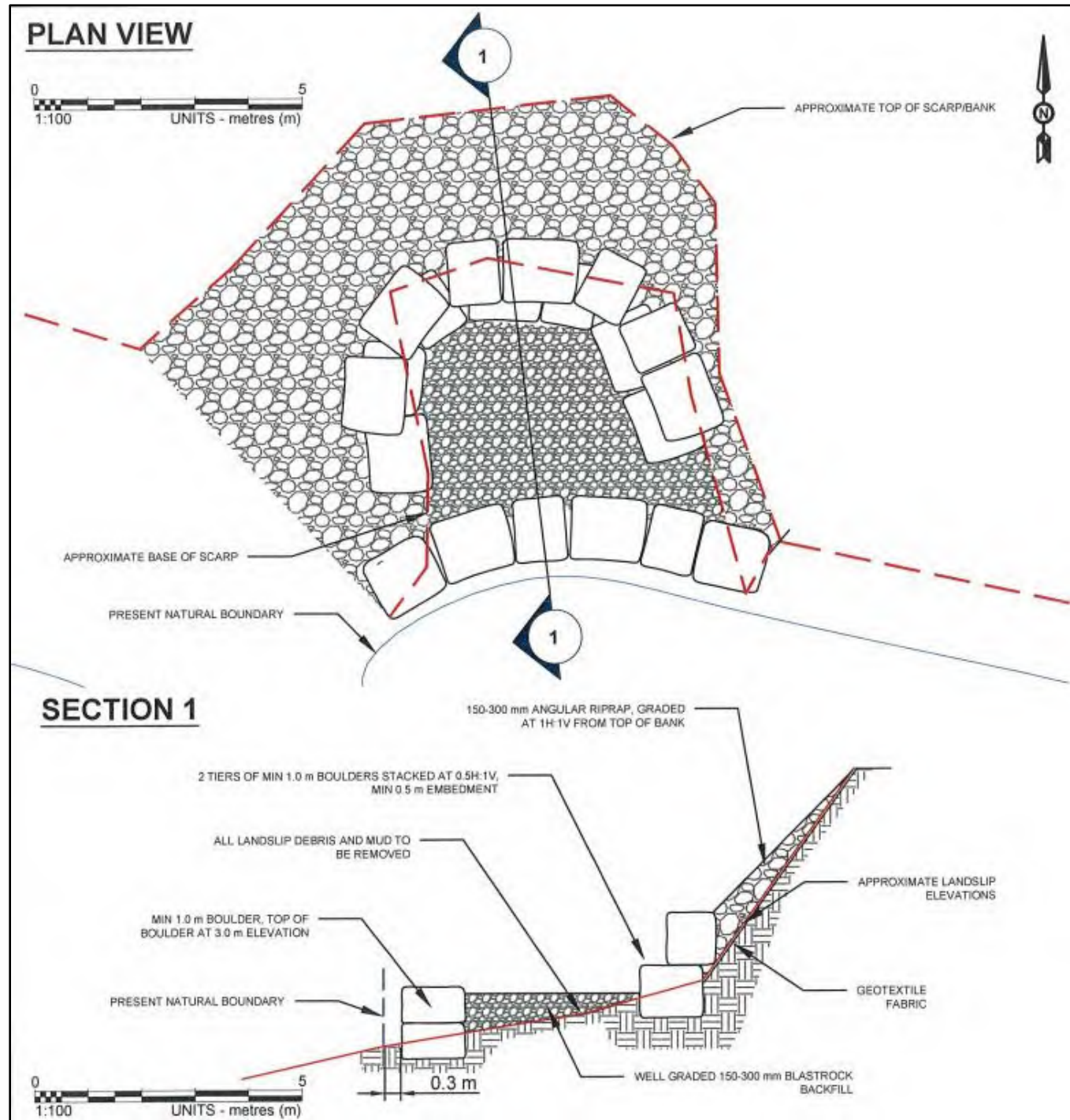
|                                                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
|--------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><b>Hazard Areas</b></p>                             | <p><b>Moderate to Low-Risk Steep Slopes</b></p>  <p>5/16/2025, 1:47:14 PM</p> <ul style="list-style-type: none"> <li>● Civic Address</li> <li>□ Property Boundaries</li> <li>Low Risk</li> <li>Moderate Risk</li> </ul> <p>1:1,128</p> <p>0 0.01 0.01 0.03 mi<br/>0 0.01 0.03 0.05 km</p> <p>Sources: Esri, Mapbox, Airbus DS, USGS, NOAA, NASA, CCAR, N. Robinson, NCEAS, NLS, OS, NMA, GeoBlast, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap, and the GIS user community. Esri Community Maps Contributors, Whatcom County, WA</p> <p>Islands Trust GIS Dept</p>                                                            |
| <p><b>Archaeological Sites</b></p>                     | <p>Archaeological potential on subject site. Notwithstanding the foregoing, and by copy of this report, the owners and applicant should be aware that there is still a chance that the lot may contain previously unrecorded archaeological material that is protected under the Heritage Conservation Act. If such material is encountered during development, all work should cease and Archaeology Branch should be contacted immediately as a Heritage Conservation Act permit may be needed before further development is undertaken. This may involve the need to hire a qualified archaeologist to monitor the work</p>                                                                                    |
| <p><b>Climate Change Adaptation and Mitigation</b></p> | <p>No anticipated impacts to GHG emissions as a result of this proposal.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
| <p><b>Shoreline Classification</b></p>                 | <p><b>Low Rock/Boulder</b></p>  <p>5/16/2025, 1:50:49 PM</p> <ul style="list-style-type: none"> <li>● Civic Address</li> <li>□ Property Boundaries</li> <li>Shoreline Type (Islands Trust)</li> <li>Low Rock/Boulder</li> <li>Boulder/Cobble Beach</li> <li>Sea Cliff</li> </ul> <p>1:1,128</p> <p>0 0.01 0.01 0.03 mi<br/>0 0.01 0.03 0.05 km</p> <p>Sources: Esri, Mapbox, Airbus DS, USGS, NOAA, NASA, CCAR, N. Robinson, NCEAS, NLS, OS, NMA, GeoBlast, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap, and the GIS user community. Esri Community Maps Contributors, Whatcom County, WA</p> <p>Islands Trust GIS Dept</p> |



## 2.2 SITE PLAN



## 2.3 STRUCTURE PLANS



## 2.4 PHOTOS



EROSION SITE AND EXISTING STAIRCASE, LOOKING NORTH





**EROSION SITE, LOOKING EAST**





**EXISTING VEGETATION ADJACENT TO EROSION**





EXISTING FENCE, LOOKING SOUTH-EAST



### Attachment 3

Dear Bruce,

Thursday April 4. 2025

Regarding the property located at 2319 MacKinnon Road on Pender Island, we need a variance permit to restore and secure the bank after the mudslide. We are concerned that further erosion will occur if we don't take action.

Very close to the edge of the mud slide, there is a waterline running from our well house to Otter Bay Marina, we share the water with them, and we are concerned it will potentially impact and damage this waterline. Additionally, we have septic lines from our house that are also close to the eroding bank, in addition we would like to make it safe for all of us walking on the property, especially our Grandchildren.

Regarding the restoration, our plan is to follow the strategy outlined by Dan Baxter for removing blackberries and replanting the area with native plants to restore and maintain the bank. As you know, this will take multiple growing seasons, likely years, to accomplish. Getting rid of the Blackberries permanently is not an easy task they are very suborn, plus having a steep slope makes it a bigger challenge.



Sincerely,

Rolf and Francoise Hurbin



3601 Masthead Cr.  
Pender Island BC Canada  
V0N 2M0  
250-222-4571  
[caurinusenvironmental@gmail.com](mailto:caurinusenvironmental@gmail.com)

09 September 2024

**Attn: Brad Smith**

**Re: Review of property located at Lot 1, Plan VIP39735 Section 17, Cowichan Land District, Portion Pender Island (PID: 000-985-325) - 2319 MacKinnon Road in support of the granting of a Variance Permit Application for development within the 15 m setback from the sea.**

Caurinus Environmental was retained to assess the impact of proposed shoreline and bank stabilization works following a slumping event at 2319 MacKinnon Road within the 15 m setback from the sea. Following a review of the possible impacts, suggestions for mitigating further impacts during site restoration are provided.

We visited the property at 2319 MacKinnon Road on August 8, 2024 to assess the slumped portion of the bank and to document the potential presence of species at risk on the subject property within the proposed restoration area (Figure 1).



**Figure 1. Location of Woodland Ecosystem DPA on subject property adjacent to proposed bank stabilization works (Islands Trust (MapIT) 2024)**

The majority of the site near the shore consists of a fenced grassy lawn with a steep grade facing the ocean. The disturbed slump area below the fence is supporting the growth of numerous invasive species, along with a few remnant native species common to Pender Island (Plates 1, 2).

**Plate 1. Fenced grassy area above localized erosion slump at 2319 MacKinnon Road.**



**Plate 2. Slump area with numerous invasive plant species at 2319 MacKinnon Road.**



The plants detected during the site survey are presented in Table 1; the primary invasive species detected include: Himalayan blackberry (*Rubus armeniacus*), Scotch broom (*Cytisus scoparius*), bull thistle (*Cirsium vulgare*), and purple toadflax (*Linaria purpurea*).

No species at risk were detected during the vegetation survey. However, the timing of our inventory (summer) would not preclude the potential occurrence of rare species at some other point during the growing season (this would apply to all plant species). Given the prior disturbance to the area, however, it is unlikely such species would be found on site.

**Table 1. List of plant species detected at 2319 MacKinnon Road, Pender Island, BC.**

| Common Name      | Scientific Name              | Origin Status <sup>1</sup> | BC Status <sup>2</sup> | BC List <sup>3</sup> | COSEWIC <sup>4</sup> |
|------------------|------------------------------|----------------------------|------------------------|----------------------|----------------------|
| Common snowberry | <i>Symphoricarpos albus</i>  | Native                     | S5                     | Yellow               | Not Listed           |
| Saskatoon        | <i>Amelanchier alnifolia</i> | Native                     | S5                     | Yellow               | Not Listed           |
| Common horsetail | <i>Equisetum arvense</i>     | Native                     | S5                     | Yellow               | Not Listed           |
| Bracken fern     | <i>Pteridium aquilinum</i>   | Native                     | S5                     | Yellow               | Not Listed           |
| Scouler's willow | <i>Salix scouleriana</i>     | Native                     | S5                     | Yellow               | Not Listed           |
| Arbutus          | <i>Arbutus menziesii</i>     | Native                     | S5                     | Yellow               | Not Listed           |
| Big leaf maple   | <i>Acer macrophyllum</i>     | Native                     | S5                     | Yellow               | Not Listed           |
| Douglas-fir      | <i>Pseudotsuga menziesii</i> | Native                     | S5                     | Yellow               | Not Listed           |

### Invasive/non-native

|                      |                          |        |     |        |            |
|----------------------|--------------------------|--------|-----|--------|------------|
| Himalayan blackberry | <i>Rubus armeniacus</i>  | Exotic | SNA | Exotic | Not Listed |
| Scotch broom         | <i>Cytisus scoparius</i> | Exotic | SNA | Exotic | Not Listed |
| Common burdock       | <i>Arctium minus</i>     | Exotic | SNA | Exotic | Not Listed |
| Purple toadflax      | <i>Linaria purpurea</i>  | Exotic | SNA | Exotic | Not Listed |
| Bull thistle         | <i>Cirsium vulgare</i>   | Exotic | SNA | Exotic | Not Listed |
| Canada thistle       | <i>Cirsium arvense</i>   | Exotic | SNA | Exotic | Not Listed |
| Wild carrot          | <i>Daucus carota</i>     | Exotic | SNA | Exotic | Not Listed |
| Wild teasel          | <i>Dipsacus fullonum</i> | Exotic | SNA | Exotic | Not Listed |
| Sweet-briar rose     | <i>Rosa rubiginosa</i>   | Exotic | SNA | Exotic | Not Listed |

<sup>1</sup>Origin Status: <https://ibis.geog.ubc.ca/biodiversity/eflora/>

<sup>2</sup>BC Status: <https://www2.gov.bc.ca/gov/content/environment/plants-animals-ecosystems/conservation-data-centre/explore-cdc-data/status-ranks>

<https://explorer.natureserve.org/AboutTheData/Statuses>

<sup>3</sup>BC List: <https://www2.gov.bc.ca/gov/content/environment/plants-animals-ecosystems/conservation-data-centre/explore-cdc-data/red-blue-yellow-lists>

<sup>4</sup>COSEWIC: <http://www.cosewic.ca/index.php/en-ca/assessment-process/wildlife-species-assessment-process-categories-guidelines/status-categories>

### Foreshore and Marine Environment

Intertidal ecosystems are valued, important habitats for marine and estuarine organisms which have the potential to be affected by human development. Areas such as salt marshes, eelgrass and kelp beds provide habitat for sensitive and ecologically important fish. These ecosystems are an important regional resource, supporting economic activities ranging from fisheries and kelp harvesting to tourism and recreational activities. Intertidal ecosystems are one of the most biologically diverse marine communities. Shoreline areas provide terrestrial, marine and aquatic species with food, den and burrowing sites, flyways and travel corridors, perching and sunning sites, protection from weather and predators, and nursery sites for young. At Hyashi Cove, the intertidal area along the shoreline adjacent to the slump site has been designated as having a high spawning habitat suitability for Pacific sand lance (*Ammodytes hexapterus*) and is also a known important eelgrass site (Figures 2,3). Mitigation and restoration measures during construction activities must prevent sediment erosion into the marine environment to minimize disturbance to these and other marine-associated species. Increased water turbidity due to overland sediment transport in coastal areas can negatively impact habitats for diving birds and mammals, forage fish species, filter-feeding invertebrates, and photosynthetic algae (e.g. bull kelp, *Nereocystis luetkeana*).

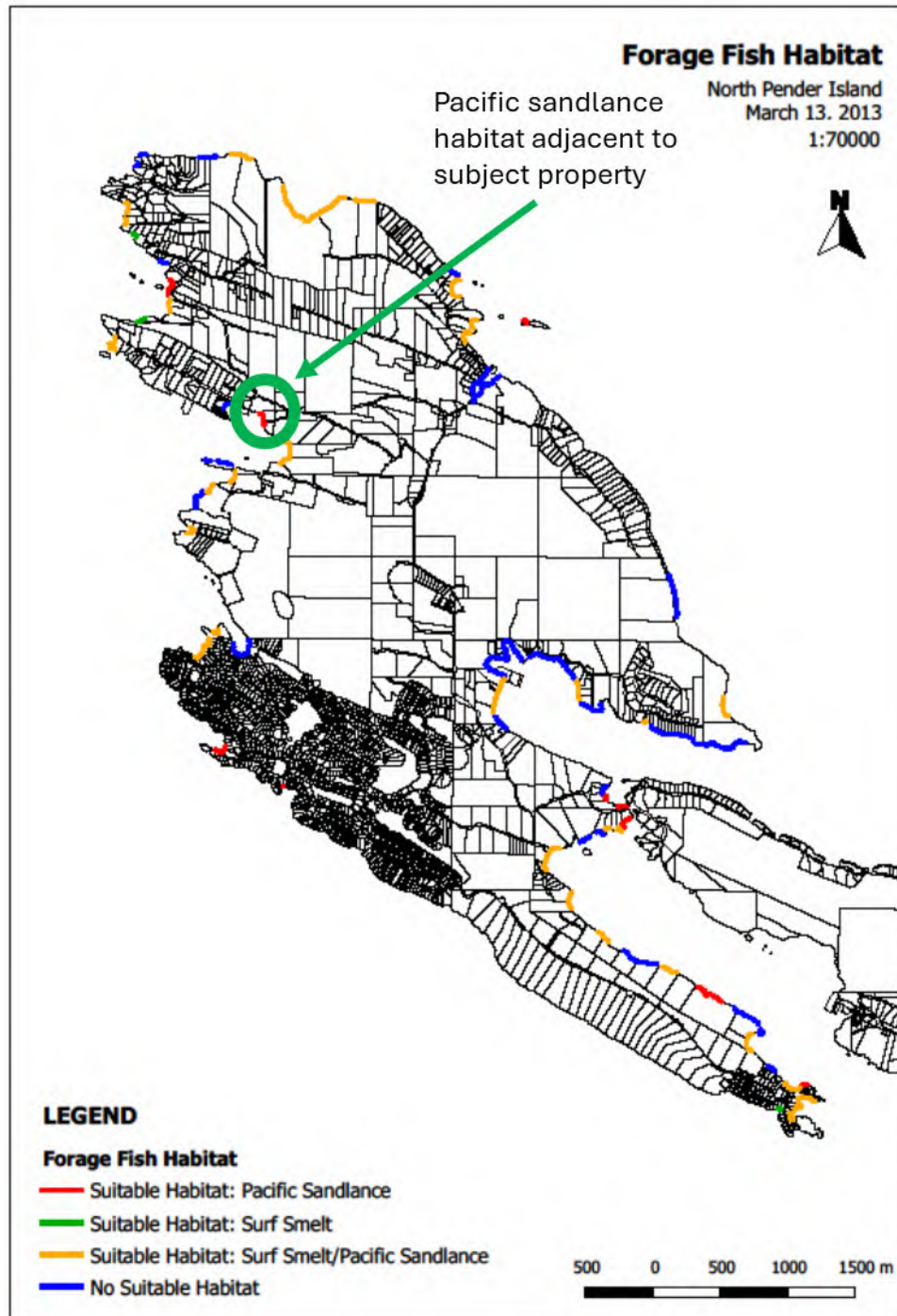
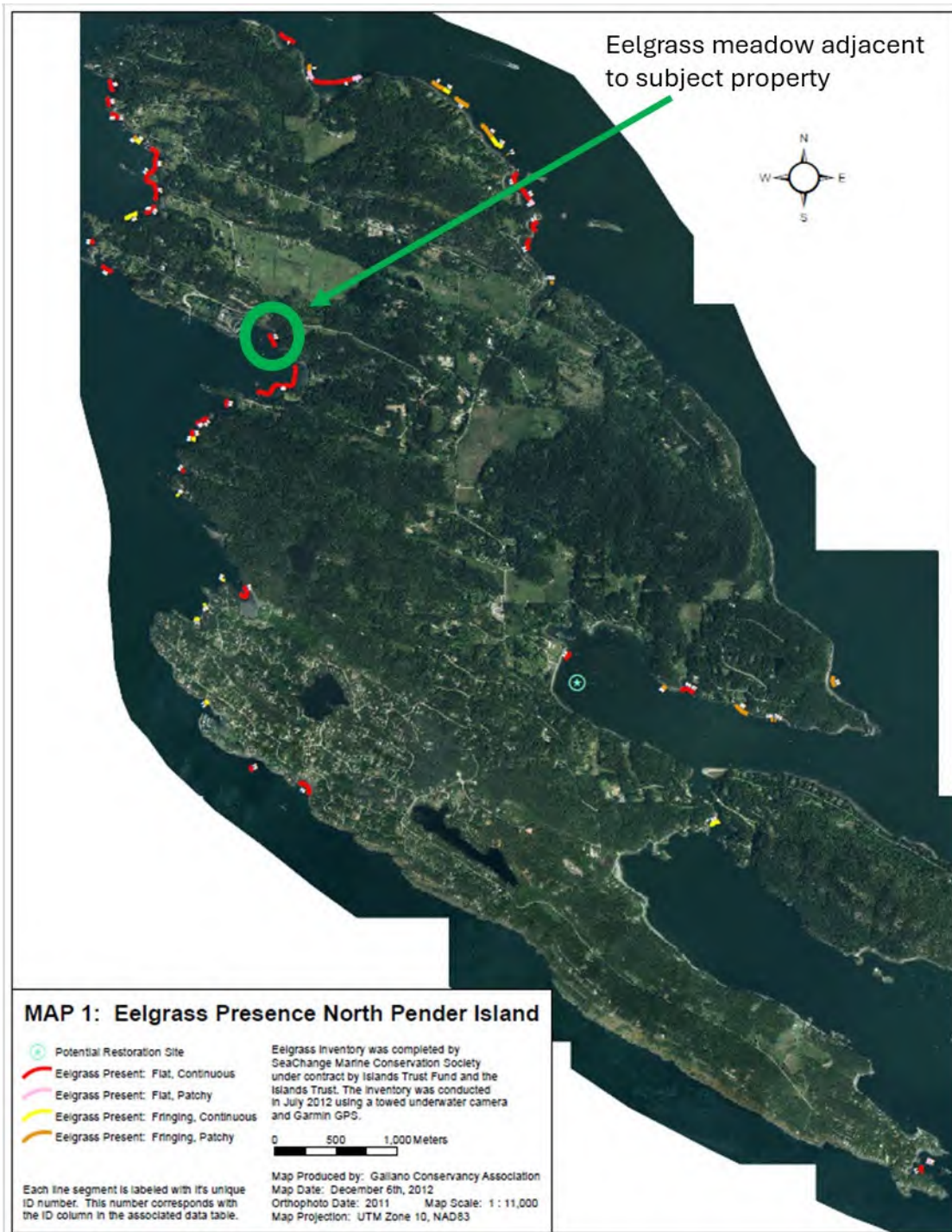


Figure 2. Forage fish spawning habitat assessment for North Pender Island, showing Pacific sand lance habitat in the vicinity of the subject property. Map accessed at <https://islandstrust.bc.ca/programs/ecosystem-inventories/>.



**Figure 3. Eelgrass meadow mapping for North Pender Island, showing eelgrass meadow adjacent to the subject property. Map accessed at <https://islandstrust.bc.ca/programs/ecosystem-inventories/>.**

Uncontrolled run-off from upland areas is the primary cause of increased siltation, which increases nearshore water temperatures and restricts functioning of nearshore ocean flora and fauna. Currently, the foreshore area of the subject property is a steep slope consisting of a mixture of native and non-native plant species with no barriers, diversions or catchments installed to inhibit water flow;

consequently, flow of seasonal rainfall will be funneled down and concentrated in the soils at the slump area. Oversaturation of soils in this localized area will likely lead to erosional losses along the embankment, potentially destabilizing the area and increasing sediment inputs into Hyashi Cove.

### **Maintaining and Planting Native Species**

To maintain ecological integrity of the property, it is recommended that no tree removal beyond what is required for the protection of current structures should occur along the embankment. This includes the retention of standing dead trees (snags), as these features provide critical habitat for many species of birds, bats, and invertebrates. Existing seedlings or young trees should be managed to provide the best opportunity for survival (e.g. removal of competing vegetation and non-native species as needed, protection from deer browsing). Retention of all mature trees currently present on the property will help stimulate the natural tree regeneration process, since mature trees provide a source of seed for future regeneration. The continued removal of invasive species is recommended, including throughout the entire property, to prevent their continued spread and improve the quality of natural areas. Invasive plants should be removed with as little soil disturbance as possible (cut above-ground growth but do not pull plants growing along the bank) and should be immediately replaced with plantings of native species to ensure soil is sufficiently stabilized by plant roots and erosion is prevented. Continued removal of above-ground growth (over multiple growing seasons) will be required to eradicate the invasive plants that have established on the property. It is also recommended that native trees or bank-stabilizing shrubs such as ocean spray or snowberry be planted above the fence line (see Plate 1). Landscaping and restoration of natural areas throughout the property should be completed using only locally sourced native plants.

It is my professional opinion that rebuilding and restoration of the slumped embankment at the subject property will not have a negative impact on the local environment, providing proper Green Shores methods and practices for foreshore protection are followed. No species at risk were detected in or adjacent to the restoration area, and with sufficient remediation and planting of native shrub and tree species throughout and above the slump area, future erosional losses can be prevented.

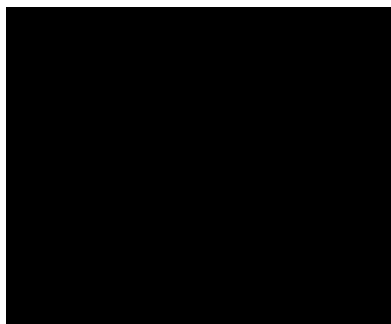
Please do not hesitate to contact me if you have any additional questions or concerns, or if you require additional information.

### **CAURINUS ENVIRONMENTAL**

Per:



Dan Baxter, B.Sc., R.P.Bio. #1999  
Project Manager



**RYZUK GEOTECHNICAL**

Engineering &amp; Materials Testing

6-40 Cadillac Ave, Victoria, BC, V8Z 1T2 Tel: 250-475-3131 E-mail: mail@ryzuk.com www.ryzuk.com

April 17, 2024  
File No: 11992-1Mr. Rolf Hurbin  
[REDACTED]

Pender Island, BC

By Email: [REDACTED]

Re: Assessment of Landslip  
2319 MacKinnon Road, Pender Island, BC

As requested, we attended the noted property on March 14, 2024, to complete a visual assessment of the landslip which occurred upon the coastal slope at the subject property sometime in mid to late January 2024. Our associated observations, comments, and recommendations in this regard are contained herein. Our work has been undertaken in accordance with, and is subject to, the previously accepted Terms of Engagement.

The landslip occurred upon the 5 to 6 m high, 30 to 40 degree coastal slope, which extends along the southern edge of the property, situated between a large grassy lawn and the marine shoreline of Hyashi Cove. The existing home is setback approximately 25 m from the crest of the coastal slope and landslip scarp.

As shown in the attached Photo Table, the landslip was approximately 6 m wide and 6 m long (diagonal length), with a varying depth of between 1 to 2 m (deeper in the middle). The landslip body (disturbed soil and woody debris) had runout onto the marine shoreline and thin boulder beach, leaving behind an approximately 3.5 m high, 50 to 55 degree main scarp with 1 to 1.2 m high minor (lateral) scarps. The crown (upper edge) of the landslip was nearly vertical and approximately 1 m high, with a timber fence dangling along the crest. No tension cracks were detected adjacent the landslip margins, although a large, 1 to 1.5 m size sandstone boulder resting on the coastal slope to the immediate east of the landslip scarp appeared to have been destabilized by the removal of lateral soil support caused by the landslip. Probing with a steel rod, we detected soft soil below and adjacent to the boulder.

Undisturbed soils observed within the main scarp consisted of hard, brown silty sand with trace to some rounded gravel, cobbles and boulders (basal glacial till). Probing the main scarp with a steel rod yielded little to no penetration. Soils observed within the minor (lateral) scarps consisted of firm, brown silty sand with trace to some rounded gravel, cobbles and boulders. The main body of

the landslide consisted of disturbed, soft to firm brown silty sand with trace to some rounded gravel, cobbles, and boulders, as well as some branches and minor vegetation mixed in.

The marine shoreline is comprised of intact sandstone bedrock as well as a thin boulder covered beach. The toe of the landslide runout material was situated near the high-water mark, and completely covered the thin boulder beach. A timber staircase provides access to the toe of the coastal slope and the lowest segment of the staircase was destroyed by the landslide.

We observed evidence of periodic surface runoff flowing down through the property and directly at the landslide site. Also, during our previous geotechnical engineering work on the property back in 2020 to support the home addition, we noted saturated soils in the home addition site, with heavy seepage and groundwater present within excavations. The home addition site is approximately 25 m upslope from the landslide site, with moderately sloping grassed lawn present between.

We understand the landslide was first detected shortly after the region experienced several days of extreme cold and below freezing temperatures.

While minor landslips are sometimes part of the naturally occurring erosion process of a coastal slope comprised of soil (as opposed to bedrock), it is our opinion that this landslide may have initiated due to a combination of several contributory factors, including: the period of extreme cold and below freezing temperatures forming frost and related volume expansion within the weathered soil mass upon the slope, excess upslope surface and shallow subsurface runoff flowing towards coastal slope/landslide area during thawing, weathered/softened soil mass sitting atop steeply inclined deposit of hard glacial till and very steep overall terrain. While we do not believe there is an immediate risk of large-scale propagation of the landslide into the lawn area or laterally along the coastal slope, the landslide's very steep main scarp will erode over time and minor losses of soil at the crown and around the margins are anticipated as the scarps naturally flatten out to more stable angles. Parts of the fence dangling along the crown may fall into the landslide.

We understand that you desire to remove the landslide debris and soil from the site of the landslide and remediate and stabilize the scarp to prevent further loss of property and soil down into the beach area. To stabilize the landslide scarp and crown, we would recommend placement two tiers of large rectangular boulders and a sloping wedge of angular rock riprap extending up along the crown and lateral scarps, as shown on the attached Photo 4 Preliminary Concept Sketch (see Photo Table). Each of the two boulder tiers would be less than 1.2 m high and be supported upon and backfilled with well graded 300 mm minus angular rock and gravel. Preferred boulder dimensions would be at least 1 m long x 0.5 m wide x 0.6 m tall, with the larger boulders placed in the lower tier, and smaller in the upper tier. Boulders and riprap may be of sedimentary, metamorphic, or volcanic rock types. The riprap would perform best if comprised of well graded 150 mm to 300 mm sized angular rock. Coir matting blankets or similar could also be placed along the upper portions of the scarps and crown to assist with erosion resistance and regeneration of vegetation.

Prior to placement of the boulders and riprap, the landslip soil mass would need to be removed by excavation. The destabilized boulder adjacent the landslip should also be removed or adjusted at this time. Excavator and material access would need to come from a barge at the beach level. The work would need to be completed during dry weather and a period of low tides to minimize sediment creation. Completion of the landslip remediation works may be subject to regional or other government permit approvals. If required, we can provide detailed design drawings for the recommended landslip remediation works.

We would also recommend that you consider changes to the existing stormwater drainage/runoff regime at the property to prevent surface runoff from flowing towards the coastal slope. Minimizing the surface and shallow subsurface runoff flowing towards the coastal slope will decrease the risk of further landslips and soil erosion. We would recommend concentrated stormwater be directed to the beach level within solid/nonperforated UV resistant pipes, to discharge onto intact sandstone bedrock or a small collection of boulders. Further assessment and guidance on the cutoff, collection, and disposal of surface and shallow subsurface runoff at the property can be provided if desired.

We trust the preceding is suitable for your purposes at present. Please do not hesitate to contact our office if we can be of further assistance.

Sincerely,  
Ryzuk Geotechnical  
PTPN: 1002996



Patrick Sails, P.Eng.  
Intermediate Geotechnical Engineer

Reviewed By:   
Christian Flanagan, P.Eng.

Attachment: Photo Table & Preliminary Concept Sketch

Photo Table & Preliminary Concept Sketch



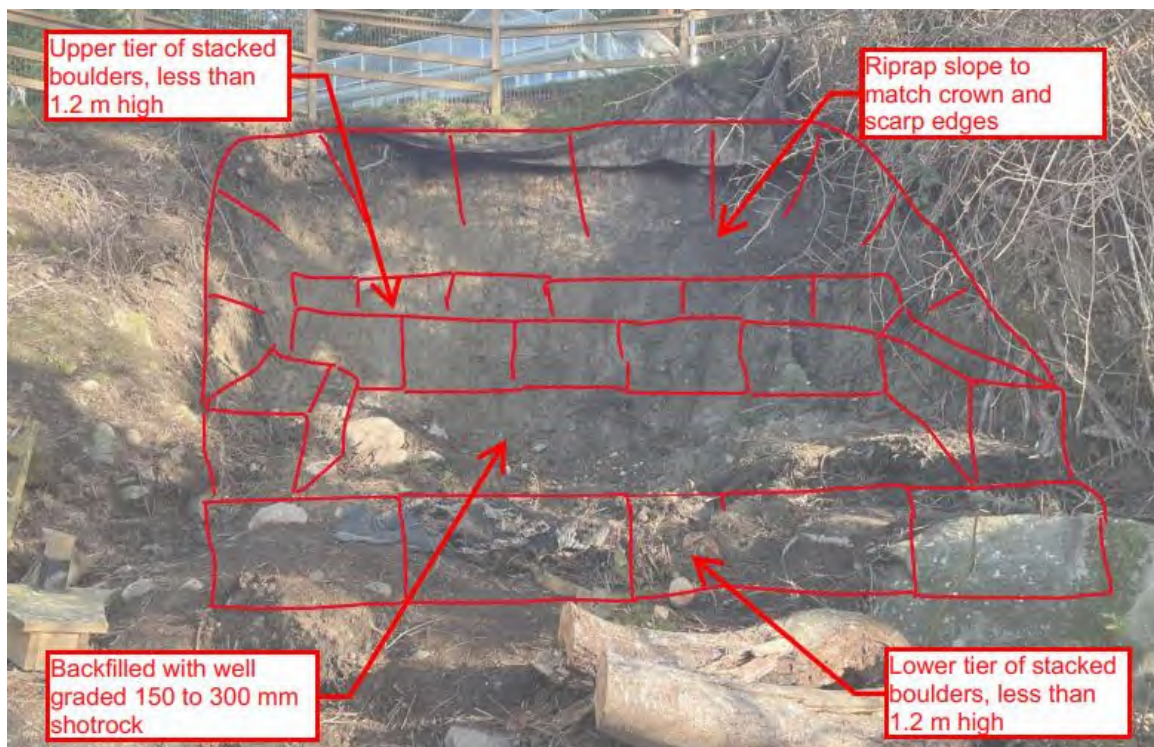
**Photo 1: Standing near shoreline looking NW at landslide. Note soft soil and other debris in foreground.**



**Photo 2: Closeup of landslide scarp.**



**Photo 3: Looking SE at landslide. Note soil and debris in runout path, with sandstone bedrock on beach.**



**Photo 4: Preliminary concept sketch of recommended landslide remediation work.**

In short, it is our opinion that a softer Green Shores type approach to stabilize and support the landslide scarp and our client's property would not be appropriate given the very steep slope conditions and high energy marine environment. While we recognize the Green Shores approach offers environmentally friendly alternatives to traditional shoreline armoring, its effectiveness for stabilizing coastal slopes such as at the subject property is often limited due to several challenges as discussed below:

### **1. Steep and Unstable Coastal Slopes**

Many of our local shorelines, including the subject property's, feature very steep coastal slopes comprised of glacial sediments, making them prone to erosion and shallow landslips. The Green Shores methodology recommends gentle slopes of 7:1 or flatter for stability, with slopes up to 4:1 being conditionally stable. However, regrading our client's very steep slope to these angles is impractical due to property constraints and the risk of destabilizing existing structures. The yard and lawn behind and above the coastal slope are also sloping, so decreasing the angle of the coastal slope would require vast amounts of bulk excavation, land loss and disturbance to the coastal slope and our client's property.

### **2. High-Energy Wave Environments**

The subject property's shoreline is subject to strong wave action, especially during the combination of high tides and winter storms. Soft shoreline techniques like beach nourishment, log anchoring and vegetation planting are unlikely to resist these forces, leading to frequent maintenance and potential failure.

### **3. Maintenance and Regulatory Challenges**

Implementing and maintaining Green Shores projects can be resource intensive, very costly for the private property owner, and requires approvals from entities and jurisdictions extending well beyond the private property owner and local authority. Maintenance is often needed every 5–10 years, and obtaining permits for activities extending off private property (beach nourishment, log anchoring, etc.) involves navigating complex regulatory frameworks, including approvals from local jurisdictions and provincial and federal government agencies. This decreases the probability of approval and implementation and vastly extends the time to get stabilization works approved and built, increasing the risk of further erosion and/or landslide progression at our client's property.

## Conclusions

While the Green Shores approach promotes sustainable shoreline management, its effectiveness for stabilizing our client's coastal slope is constrained by the very steep conditions, high-energy wave environments, as well as maintenance and regulatory challenges. It is our opinion that a hardened boulder and rip rap approach is required to stabilize the landslip area and protect our client's property from further loss. It should be noted that our boulder and rip rap stabilization design would only cover a small fraction of the overall shoreline on our client's property, with the remainder to be left in its natural state, with a well vegetated coastal slope comprised of both bedrock and soil. The proposed work would also include excavation/removal of the blanket of silty landslip soil which still partly covers the beach and intertidal area.

We trust this is sufficient, please let us know if any other questions or concerns.

Regards,

**Patrick Sails, P.Eng.**

Intermediate Geotechnical Engineer



[250-475-3131](tel:250-475-3131) [psails@ryzuk.com](mailto:psails@ryzuk.com)

100 - 771 Vernon Avenue, Victoria, BC

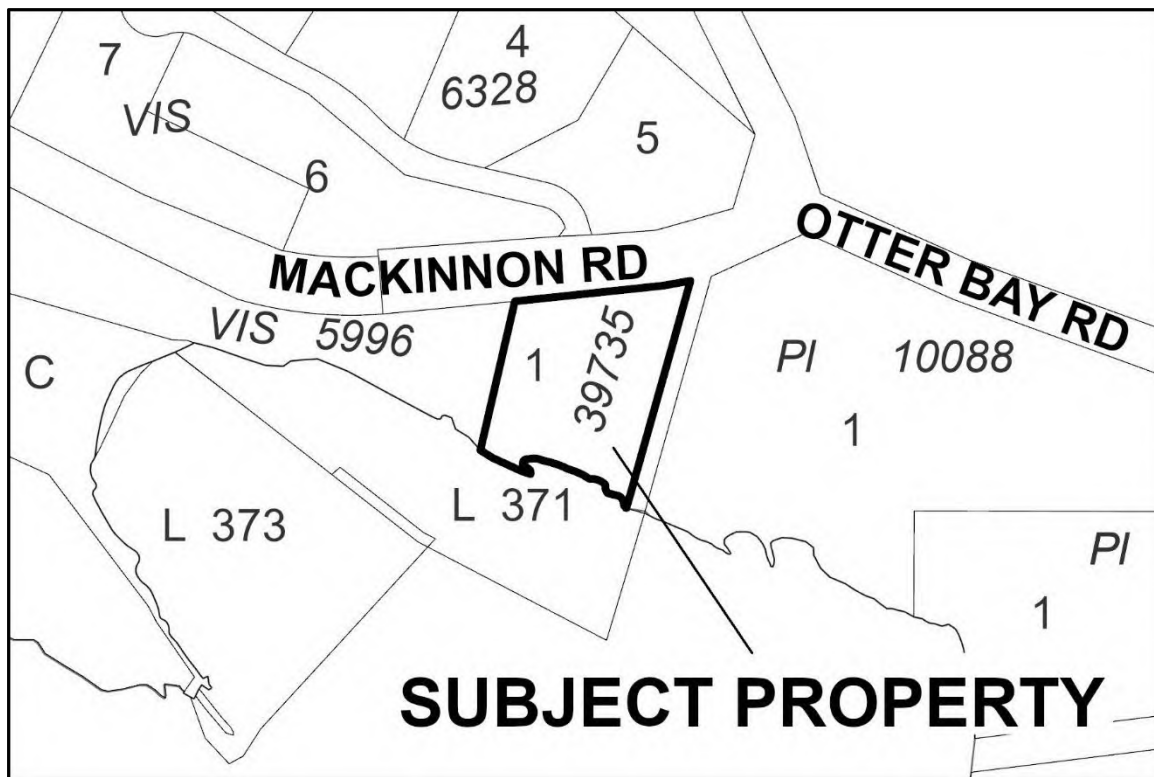
[ryzuk.com](http://ryzuk.com)

**NOTICE** is hereby given pursuant to Section 499 of the *Local Government Act* that the North Pender Island Local Trust Committee will be considering a resolution allowing for the issuance of a Development Variance Permit, the proposed permit would vary the North Pender Island Land Use Bylaw No. 224, 2022 by:

- Relaxing the setback from the natural boundary of the sea from 15.0 to 0.3 metres, and setback from the natural boundary of the sea on a vertical plane from 1.5 to 0.0 metres for the construction of a rock retaining wall for erosion stabilization.

The property is located at **2319 MacKinnon Road** and is legally described as LOT 1, SECTION 17, PENDER ISLAND, COWICHAN DISTRICT, PLAN 39735 (PID: 000-985-325).

The general location of the subject property is shown on the following sketch:



A copy of the proposed permit may be inspected at the Islands Trust Office, 200 - 1627 Fort Street, Victoria, B.C. V8R 1H8 between the hours of 8:30 a.m. to 4:30 p.m. Monday to Friday inclusive, excluding statutory holidays, commencing **May 9, 2025** and continuing up to and including **May 21, 2025**.

For the convenience of the public only, and not to satisfy Section 499 (2) (c) of the *Local Government Act*, additional copies of the Proposed Permit may be inspected at various Notice Boards on North Pender Island.

Enquiries or comments should be directed to Bruce Belcher, Planner 2 at (250) 405-5179, for Toll Free Access, request a transfer via Enquiry BC: In Vancouver 660-2421 and elsewhere in BC 1-800-663-7867; or by fax (250) 405-5155; or by email to: [southinfo@islandstrust.bc.ca](mailto:southinfo@islandstrust.bc.ca) before 4:30 pm, **May 21, 2025**.

The North Pender Island Local Trust Committee may consider a resolution allowing for the issuance of the permit during the regular business meeting starting at **10:00 a.m.** on **May 30, 2025**, to be held at the **St. Peter's Anglican Church Hall**, 4703 Canal Rd, North Pender Island.

All applications are available for review by the public with prior appointment. Written comments made in response to this notice will also be available for public review.



# PROPOSED

Attachment 7

## NORTH PENDER ISLAND LOCAL TRUST COMMITTEE DEVELOPMENT VARIANCE PERMIT PLDVP20250124

To: Rolf Hurbin

1. This Development Variance Permit applies to the land described below:

LOT 1, SECTION 17, PENDER ISLAND, COWICHAN DISTRICT, PLAN 39735  
(PID: 000-985-325)

2. North Pender Island Land Use Bylaw No. 224, 2022 is varied as follows:

- a) Subsection 3.3 (1) (a) which states that *no building or structure, other than those in Subsection 3.3(2), may be sited, nor fill placed to support a building or structure, within 15 metres upland of the natural boundary of the sea* is varied to permit the construction of a structure (rock retaining wall) 0.3 metres upland from the natural boundary of the sea.
- b) Subsection 3.3 (1) (b) which states that *no building or structure, other than those in Subsection 3.3(2), may be sited, nor fill placed to support a building or structure, within 1.5 metres from the natural boundary of the sea as measured on the vertical plane* is varied to permit the construction of a structure (rock retaining wall) 0.0 metres upland on the vertical plane from the natural boundary of the sea.

The development shall be substantially consistent with Schedules 'A' and 'B' which are attached to and form part of this permit.

3. This permit is not a building permit and does not remove any obligation on the part of the permittee to comply with all other requirements of "North Pender Island Land Use Bylaw No. 224, 2022" and to obtain other approvals necessary for completion of the proposed development, including approval of the Capital Regional District and Ministry of Transportation and Infrastructure.

**AUTHORIZING RESOLUTION PASSED BY THE NORTH PENDER ISLAND LOCAL TRUST COMMITTEE THIS ##th DAY OF [MONTH], [YEAR].**

\_\_\_\_\_  
Deputy Secretary, Islands Trust

\_\_\_\_\_  
Date of Issuance

**IF THE DEVELOPMENT DESCRIBED HEREIN IS NOT COMMENCED BY THE ##th DAY OF [MONTH], [YEAR (2 YEARS FROM DATE OF ISSUANCE)] THIS PERMIT AUTOMATICALLY LAPSES.**

# NORTH PENDER ISLAND LOCAL TRUST COMMITTEE

PLDVP20250124

## SCHEDULE 'A'

BC Land Surveyor's Site Plan Of:  
Lot 1, Section 17, Pender Island,  
Cowichan District, Plan 39735,  
P.I.D. 000-985-325

Dated this 5th day of September, 2024.

Distances and elevations shown are in metres.

Directions are based on geodetic datum CHD2011.

This site plan is for building and design purposes  
and is for the exclusive use of our client.

This document shows the relative location of the  
surveyed structures and features with respect to  
the boundaries of the parcel described above.  
This document shall not be used to define property  
lines or property corners.



Mackinnon Road

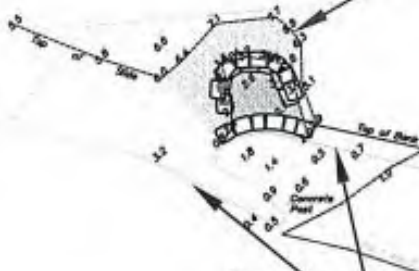
2319 Mackinnon Road  
Subject Property

1  
Plan 39735

Strata Plan V55996

Van Road (Unconstructed)

LANDSLIP AND PROPOSED  
REMEDATION AREA



PRESENT NATURAL BOUNDARY

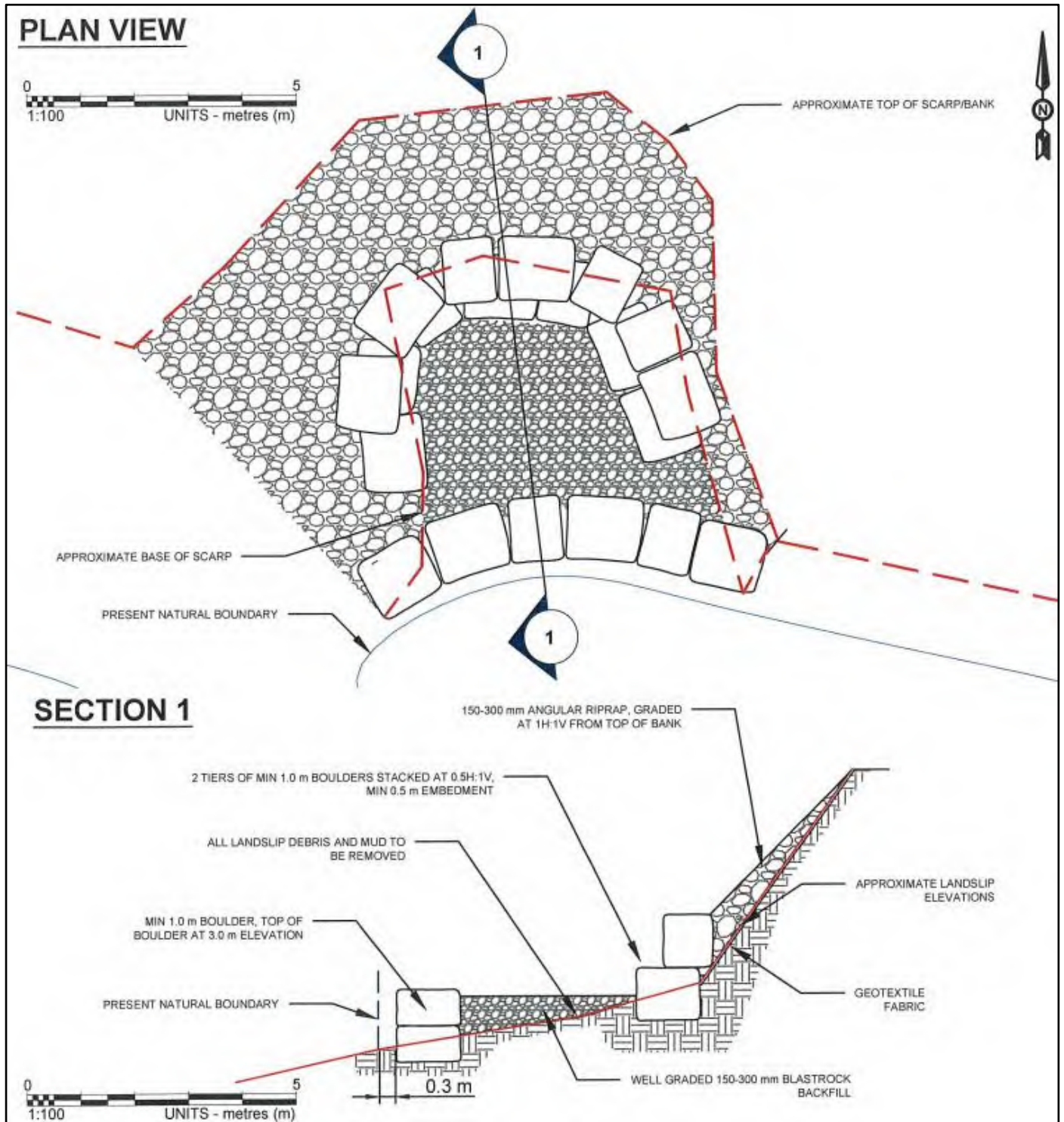
District Lot 371

The subject property is affected by  
the following registered documents:  
C4205512, C48224113

Way Mayenburg Land Surveying Inc.  
www.waymayenburg.com  
#1-2227 James White Boulevard  
Sidney, BC V8L 1Z3  
Telephone (250) 656-5155  
Fax: 8048321517(M)

**NORTH PENDER ISLAND LOCAL TRUST COMMITTEE**  
**PLDVP20250124**

**SCHEDULE 'B'**



DATE OF MEETING: May 30, 2025  
TO: North Pender Island Local Trust Committee  
FROM: Bruce Belcher, Planner 2  
Southern Team  
COPY: Robert Kojima, Regional Planning Manager  
SUBJECT: PL-TUP-2025-0093  
Applicant: David Rawlings  
Location: 6622 Razor Point Road, North Pender Island

## RECOMMENDATION

1. That the North Pender Island Local Trust Committee approve issuance of Temporary Use Permit PL-TUP-2025-0093 for a period of three (3) years.

## REPORT SUMMARY

The purpose of this report is to consider a Temporary Use Permit (TUP) for a Short Term Vacation Rental (STVR) within a dwelling unit

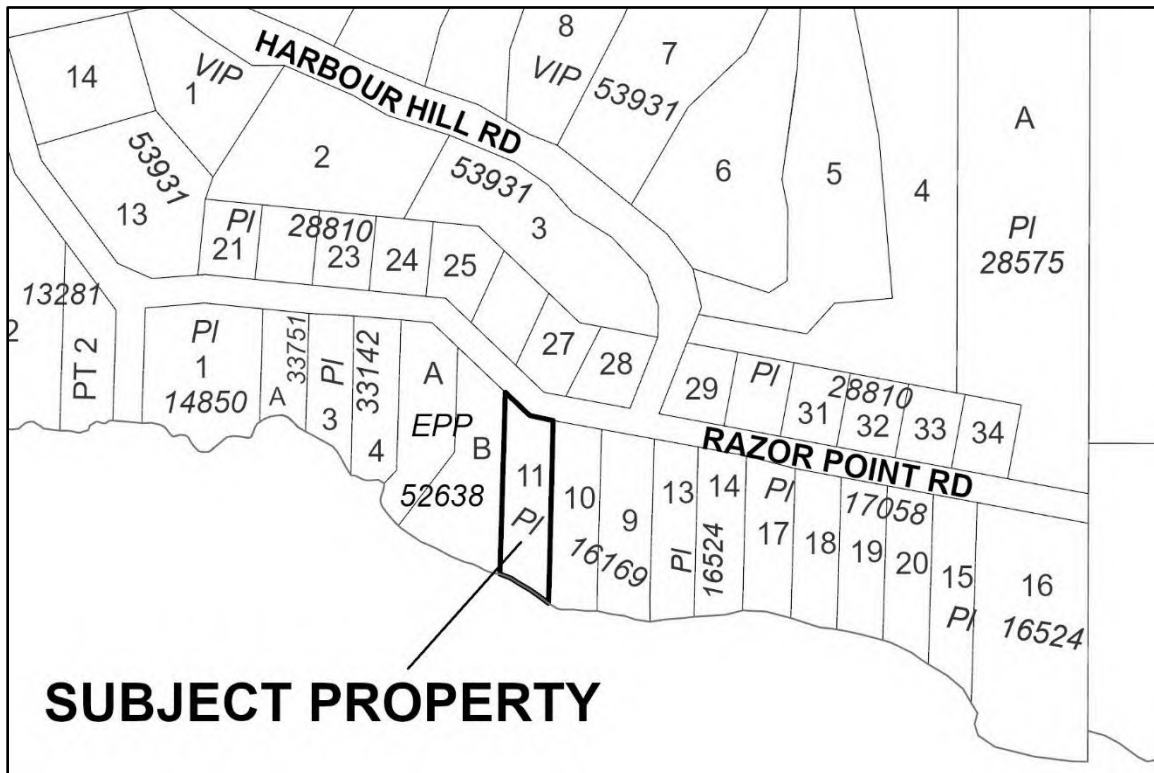
## BACKGROUND

The application is to allow for a TUP for a STVR use within an existing three-bedroom dwelling located at 6622 Razor Point Road. The house is currently used as a vacation property for the extended family and friends of the original owners who purchased the property in 1963. The house has also been listed on the vacation rental website 'Vrbo' with reviews dating back to 2022. To date there have been no bylaw enforcement complaints associated with the property. The applicant has provided a letter explaining their rationale for the new application which is included as Attachment 2.

Issuance of the proposed TUP would permit the STVR to be used lawfully. The STVR use would be contained within the existing 175m<sup>2</sup> (1,884ft<sup>2</sup>) principal dwelling on the property and would not include the existing accessory buildings. The applicant's proposed capacity is a maximum of six adult guests and parking spaces for up to three vehicles. The applicant is proposing to have the STVR available for rent for up to 40 weeks a year, but with a maximum of thirty days between May 1<sup>st</sup> and September 30<sup>th</sup>.

The 0.4 ha (1.01 ac) south facing, waterfront property is located near the intersection of Razor Point Road and Harbour Hill Drive. The existing three-bedroom dwelling is located on the south side of the property and faces on to Browning Harbour. The existing mature trees along the property boundaries partially screen the dwelling from the adjacent neighbours. The dwelling has septic system with a capacity of 1000 gallons and was last serviced in August 2023. The dwelling is connected to the Razor Point Improvement District water system which is tested regularly for bacteria and elements. A recent water test is included as Attachment 6.

A copy of the notice and draft TUP are included as Attachments 7 and 8.



*Figure 1 - Subject Property Location*

## ANALYSIS

### Policy/Regulatory

#### **Official Community Plan:**

The subject property is designated as **RR – Rural Residential** in the North Pender Island Official Community Plan No. 171, 2007 (OCP).

Guidelines for TUP applications for STVRs are contained in the OCP. The application is substantively consistent with the OCP guidelines as reviewed within the TUP checklist included as Attachment 3.

The Woodland Development Permit Area is partially located along the shoreline of the property. No development is proposed as part of this application.

#### **Land Use Bylaw:**

The property is zoned **RR2 – Rural Residential 2** in the LUB. The zoning permits a single-family dwelling and accessory uses. As the commercial STVR use is not permitted within the current zoning regulations, the applicant has applied for a TUP to temporarily allow the use.

### ***Temporary Use Permit:***

Section 492 to 497 of the *Local Government Act* authorizes local governments to temporarily permit a use that otherwise is not permitted by the land use bylaw by issuance of a Temporary Use Permit. Further, TUPs can include specific conditions to which the use must abide. A Temporary Use Permit may be issued for up to three years and renewed only once (for up to an additional three years). After the renewal TUP expires, the applicant may re-apply for a new Temporary Use Permit.

When an LTC is reviewing a draft TUP for decision, the LTC by resolution can only add additional conditions to a draft permit; a LTC cannot remove conditions from a draft permit. At the time of TUP renewal, no changes to the renewal permit conditions are allowed except for the expiration date.

### **Issues and Opportunities**

#### **OCP TUP Guidelines**

The above-noted compliance checklist reviews this application for each of the OCP guidelines in the same order as presented in the bylaw. The following discussion provides further information, context and analysis on a number of important guidelines in that same order.

#### ***Cumulative Effects***

There are currently 7 active TUPs for STVRs on North Pender Island. None of these active permits are within 200 metres of the subject property, the closest is over 1000 metres away.

#### ***Groundwater & Septic***

The STVR use of the property could lead to increased water use during rental periods. The limited rental use permitted during the summer months can help mitigate the overuse of water during droughts.

The applicant has not provided a septic system report; however, the system was serviced within the last two years and has a 1000-gallon capacity which is consistent with the 3-bedroom house. Limiting the guest capacity to six adults provides more assurance that the septic system will be capable to facilitate the use.

#### ***Sensitive Ecosystems***

There is an area of Woodland Sensitive Ecosystem located along the shoreline of the property, included in the Site Context Attachment 1. In reference to the OCP Guideline 6.4.10 the following has been included in the draft TUP as circulated:

*b) the property owner shall provide information for guests indicating the location of the Woodland Sensitive Ecosystem and information on how to avoid impacting the sensitive features;*

The owner has been made aware of this proposed condition and was provided with the sensitive ecosystem materials to be included in the guest binder.

#### ***Potential Neighbour Impacts***

The potential impacts of the use can be considerable on direct neighbours and the local neighbourhood. Generally, these include noise and nuisance, change of neighbourhood character, traffic and other

impacts. Further, the use can potentially impact established commercial accommodation operations by increasing alternative supply.

The neighbourhood impacts would be reduced and mitigated by the limited number of guests, the minimum parking requirements, and the designated contact available by phone 24 hours a day.

### ***TUP Conditions***

The TUP conditions have the objective of ensuring that the use does not have an unreasonable impact on neighbours and the local area, and, in the event it does, provide the ability to enforce compliance with the conditions of the TUP.

### **Circulation**

The draft permit was circulated to surrounding property owners and residents on May 9, 2025. The notification period will end on May 21, 2025.

At the time of writing staff has received one letter in opposition of the proposal expressing concerns over the noise associated with the short-term guests in the past few years, the owner not living in close proximity to the rental, and neighbourhood mostly consisting of owner-occupied residences. The letter is included as Attachment 9. Any comments received subsequently will be forwarded to the Local Trust Committee and reported at the meeting.

### ***First Nations***

There is no additional development proposed outside the current footprint of the existing dwelling with no proposed disturbance or impact to any possible archaeological sites. As reviewed, the TUP application is consistent with respect to LTC Standing Resolutions on reconciliation. Notwithstanding, to provide applicants with awareness regarding unknown archaeological areas, staff forwarded the Islands Trust Chance Find Protocol and the provincial Archaeological Branch guidelines on Heritage Act directly to the applicants.

### **Rationale for Recommendation**

Staff is recommending that the resolutions on page 1 be supported for the following reasons:

- The cumulative impacts of STVR use from the approval of this TUP would be small given the neighbourhood and island context;
- The permit provides conditions consistent with OCP guidelines and would ensure that the use does not have an unreasonable impact on the local area, and, in the event it does, there is the ability to enforce compliance with the TUP.

### **ALTERNATIVES**

The LTC may consider the following alternatives to the staff recommendation:

#### **1. Request further information**

The LTC may request further information prior to making a decision. If selecting this alternative, the LTC should describe the specific information needed and the rationale for this request. Recommended wording for the resolution is as follows:

*That the North Pender Island Local Trust Committee request that the applicant submit to the Islands Trust ....*

## **2. Add conditions**

The LTC may wish to further amend the TUP by adding conditions such as screening, water conservation measures and/or changing the time period that the permit would be valid. If selecting this alternative, the LTC should specify the additional conditions. Recommended wording for the resolution is as follows:

*That the North Pender Island Local Trust Committee amend Temporary Use Permit PL-TUP-2025-0093 be amended by the addition of the following condition(s): \_\_\_\_\_*

## **3. Deny the application**

The LTC may deny the application. Recommended wording for the resolution is as follows:

*That the North Pender Island Local Trust Committee refuse application PL-TUP-2025-0093*

|               |                                          |              |
|---------------|------------------------------------------|--------------|
| Submitted By: | Bruce Belcher, Planner 2                 | May 20, 2025 |
| Concurrence:  | Robert Kojima, Regional Planning Manager | May 21, 2025 |

## **ATTACHMENTS**

1. Site Context
2. Applicant's Letter
3. TUP Guidelines Checklist – Staff
4. TUP Guidelines Checklist – Applicant
5. Guest Information Document
6. Water Systems Quality Document
7. Notice
8. Draft Development Variance Permit
9. Correspondence

# ATTACHMENT 1 – SITE CONTEXT

## LOCATION

|                   |                                                              |
|-------------------|--------------------------------------------------------------|
| Legal Description | LOT 11 SECTION 12 PENDER ISLAND COWICHAN DISTRICT PLAN 16169 |
| PID               | 004-008-774                                                  |
| Civic Address     | 6622 RAZOR POINT RD PENDER ISLAND BC V0N 2M1                 |
| Lot Size          | 0.41 ha (1.01 ac)                                            |

## LAND USE

|                      |             |
|----------------------|-------------|
| Current Land Use     | Residential |
| Surrounding Land Use | Residential |

## HISTORICAL ACTIVITY

|          |         |
|----------|---------|
| File No. | Purpose |
| N/A      | N/A     |

## POLICY/REGULATORY

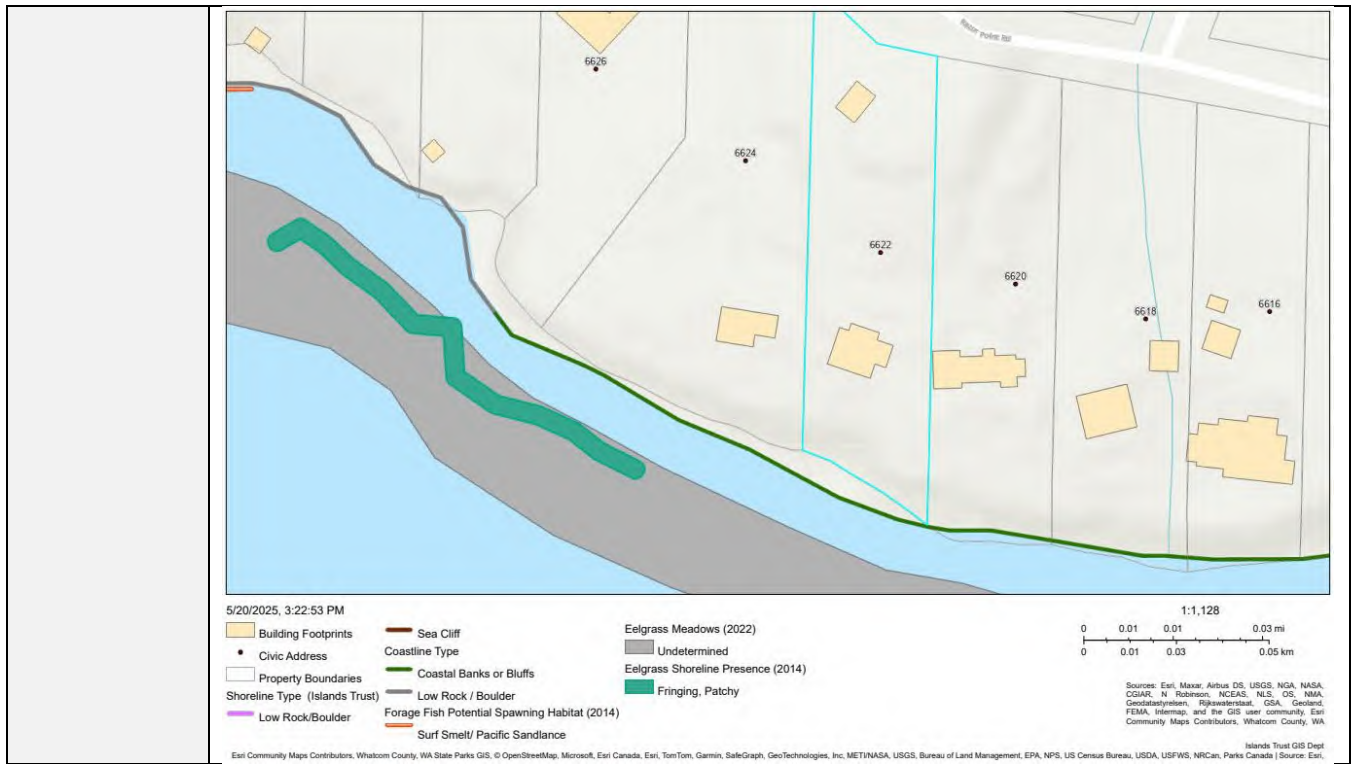
|                                                   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
|---------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Official<br>Community<br>Plan<br>Designation<br>s | <p>Rural Residential - RR<br/>DPA 1 – Woodland on property</p>  <p>5/20/2025, 3:21:29 PM</p> <p>Building Footprints<br/>DPA 6 - Intertidal<br/>DPA 1 - Woodland<br/>Civic Address<br/>Property Boundaries</p> <p>1:1,128<br/>0 0.01 0.01 0.03 mi<br/>0 0.01 0.03 0.05 km</p> <p>Sources: Esri, Maxar, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatenzentrum, Rigshusetatist, GSA, Geoland, FEMA, Intermap, and the GIS user community, Esri Community Maps Contributors, Whatcom County, WA</p> <p>Islands Trust GIS Dept<br/>Esri Community Maps Contributors, Whatcom County, WA State Parks GIS, © OpenStreetMap, Microsoft, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METINASA, USGS, Bureau of Land Management, EPA, NPS, US Census Bureau, USGS, USFWS, NRCAN, Parks Canada   Source: Esri,</p> |
| Land Use<br>Bylaw                                 | Rural Residential 2 – RR2                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |

|                   |     |
|-------------------|-----|
| Other Regulations | N/A |
| Covenants         | N/A |
| Bylaw Enforcement | N/A |

## SITE INFLUENCES

|                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
|--------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Islands Trust Conservancy      | The application has no considerations for the Islands Trust Conservancy                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
| Regional Conservation Strategy | This application has no considerations within the Regional Conservation Plan.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| Species at Risk                | Trifolium dichotomum, Douglas-fir / dull Oregon-grape, Sharp-tailed snake                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| Sensitive Ecosystems           | <p>Woodland Ecosystem</p>  <p>5/20/2025, 3:22:16 PM</p> <ul style="list-style-type: none"> <li>Building Footprints</li> <li>Civic Address</li> <li>Property Boundaries</li> <li>North Pender Primary Class</li> <li>Woodland</li> </ul> <p>1:1,128</p> <p>0 0.01 0.01 0.03 mi<br/>0 0.01 0.03 0.05 km</p> <p>Sources: Esri, Maxar, Airbus DS, USGS, NGA, NASA, CQIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodailyprint, Pliantier, GSA, Geotek, FEMA, Intermap, and the GIS user community. Esri Community Maps Contributors, Whatcom County, WA. Islands Trust GIS Dept</p> |

|                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
|------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Hazard Areas                             | <p>Moderate to Low-Risk Steep Slopes</p> <p>5/20/2025, 3:26:12 PM</p> <p> <span style="display: inline-block; width: 10px; height: 10px; background-color: #f4a460; border: 1px solid black; margin-right: 5px;"></span> Building Footprints         <span style="display: inline-block; width: 10px; height: 10px; background-color: #ffffcc; border: 1px solid black; margin-left: 10px; margin-right: 5px;"></span> Low Risk         <span style="display: inline-block; width: 10px; height: 10px; background-color: #ffcc00; border: 1px solid black; margin-left: 10px; margin-right: 5px;"></span> Moderate Risk         <span style="display: inline-block; width: 10px; height: 10px; background-color: #ff0000; border: 1px solid black; margin-left: 10px; margin-right: 5px;"></span> High Risk         <span style="display: inline-block; width: 10px; height: 10px; border: 1px solid black; margin-left: 10px; margin-right: 5px;"></span> Property Boundaries         <span style="display: inline-block; width: 0; height: 0; border-left: 5px solid transparent; border-right: 5px solid transparent; border-bottom: 10px solid black; margin-left: 10px; margin-right: 5px;"></span> Civic Address       </p> <p>         Sources: Esri, Maxar, Airbus, DIS, USGS, NOAA, NASA, CGIAR, N. Robinson, NCEAS, NLS, OS, NMA, GeoDataSyrnien, Rheinwaterstat, GSA, GeoLand, FEMA, Inmap, and the GIS user community, Esri Community Maps Contributors, Whatcom County, WA<br/>         Islands Trust GIS Dept<br/>         Esri Community Maps Contributors, Whatcom County, WA State Parks GIS, © OpenStreetMap, Microsoft, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, Bureau of Land Management, EPA, NPIS, US Census Bureau, USDA, USFWS, NRCan, Parks Canada   Source: Esri       </p> |
| Archaeological Sites                     | <p>Notwithstanding the foregoing, and by copy of this report, the owners and applicant should be aware that there is still a chance that the lot may contain previously unrecorded archaeological material that is protected under the Heritage Conservation Act. If such material is encountered during development, all work should cease and Archaeology Branch should be contacted immediately as a Heritage Conservation Act permit may be needed before further development is undertaken. This may involve the need to hire a qualified archaeologist to monitor the work</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
| Climate Change Adaptation and Mitigation | <p>No anticipated impacts to GHG emissions as a result of this proposal.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
| Shoreline Classification                 | <p>Coastal Blanks or Bluffs</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |



**Rational behind the application for Short Term Rental permit**

In September 1963, Desmond and Mary Rawlings purchased the property with the vision of creating a haven for family recreation. This land was intended to be a cherished space for their children, grandchildren, and great-grandchildren. This vision has guided the family through generations, fostering a strong sense of heritage and belonging.

In October 2014, as they both moved to an assisted living facility in Port Coquitlam, the house on their treasured property was rented out to support their living expenses. The rental income provided a steady stream of funds, ensuring their comfort and care during their time in the facility.

The passing of Desmond in January 2017 and Mary November 2020 marked a poignant moment for the family. In honor of his father's wishes, David Rawlings is diligently working towards establishing a proper trust. This trust will preserve the property for future generations, ensuring it remains a source of joy and connection for the family. The property is currently enjoyed for several weeks throughout the year by extended family and friends.

To sustain the property and support the legal process of creating a trust, revenue from vacation rentals plays a crucial role. This income aids in maintaining the land, upholding its beauty and functionality, and securing the necessary funds to finalize the trust arrangements. Through these efforts, the Rawlings' family continues to honor the memory of Desmond and Mary, support the community and safeguard their dream for generations to come.

## North Pender Island STVR TUP Application

Civic address 6622 Razor Point Road, Pender Island, BC V0N 2M1  
PID 004-008-744, Lot 11 Section 12 Pender Island Cowichan District Plan 16169  
Owners: David John Rawlings and Heather Christina Rawlings

### Site Plan - see attached drawing

The residence for use as a short-term rental, is a two storey 3-bedroom, 2- bathroom home, designed to accommodate 6 adults. Floor plan 1200 SF. Top floor has 1200 sf of liveable space and lower floor has 684 sf of liveable space.

Parking P1, one vehicle clear of driveway, 12 ft. x 24 ft.

Parking P2, two vehicles end to end, 12 ft. x 45 ft.

### Intensity of Use Proposed

Bedrooms 3

Maximum guests 6

Available 40 weeks. Residence to be available during non-family use times.

Days May 1 to September 30. Thirty days.

### Potable Water

Drinking water is from the Razor Point Improvement District water system. This water is tested monthly by Vancouver Island Health Authority for bacteria and is also tested four times a year for elements.

### Septic Capacity

Installed September 1990

Tank, two chamber 1,000 gallons

Last serviced August 15, 2023

### Residential Appearance

No change to interior or exterior

Occupancy permit issued June 1991

### On Island Contacts

Richard Whynot      250-710-8006

Jennifer Landry      250-539-8717

### Guest Information

Guest binder is provided outlining use of home. Binder is prominently displayed on dinning room hutch. See data pages attached.

### Additional Information

Civic address is display by illuminate numbers at top of driveway at Razor Point Rd.

Neighbours to the east and west have been notified.

Out buildings are NOT part of this application

## Attachment 3: TUP Checklist for Short TERM Vacation Rental

**PLTUP20250093 (David Rawlings)**

**6622 Razor Point Road, North Pender Island**

| Guidelines                                                                                                                                                                                                                                                                                                                                                                    | Comments                                                                                                                                                         |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Overall TUP Guidelines</b>                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                  |
| a) <b>Time Period</b> - For the purpose of a temporary use permit, “short term vacation rental” means the use of a dwelling or cottage as temporary commercial accommodation for a period of less than a month at a time by persons, other than the owner or a permanent occupier.                                                                                            | The use meets the definition of a STVR. Dwelling to be rented out short-term for periods of less than thirty days.                                               |
| b) <b>Residential Appearance</b> - The Local Trust Committee may consider issuance of a short term vacation rental permit provided the proposal would not alter the residential appearance of the residence                                                                                                                                                                   | No alterations or construction included as a part of the application.                                                                                            |
| c) <b>Cumulative Effects</b> - The Local Trust Committee may consider the cumulative effects on the neighborhood and Island of all the temporary use permits issued for commercial vacation rentals.                                                                                                                                                                          | Currently 7 active TUPs for STVR use on North Pender Island.                                                                                                     |
| d) <b>Distance to Another STVR</b> - The Local Trust Committee should not approve more than one short term vacation rental temporary use permit within a 200 metre radius from another short term vacation rental temporary use permit.                                                                                                                                       | No TUP for STVR use located within 200 metres of the property. Closest is over 1000 metres away.                                                                 |
| e) <b>Water Supply</b> - The landowner should demonstrate an adequate supply of water and septic capacity for the duration of the proposed use:                                                                                                                                                                                                                               | Septic installed September 1990, last serviced August 2023.                                                                                                      |
| i. <b>Private Well</b> - If the property is serviced by a private well, the applicant must demonstrate the well has adequate quality and quantity of water for the short term vacation use. A pump test or other report may be requested in the application process. Where there is inadequate groundwater, a rainwater cistern may be required as a condition of the permit. | N/A                                                                                                                                                              |
| ii. <b>Community Water System (Magic Lake &amp; Razor Point)</b> - If the property is serviced by a community water system, the draft permit must be sent to the water system for information.                                                                                                                                                                                | Water provided by Razor Point Improvement District community water system. <b>If approved draft permit to be sent to community water system for information.</b> |
| iii. <b>Trincomali Improvement District</b> - A short term vacation rental temporary use permit must not be issued if located within the Trincomali Improvement District.                                                                                                                                                                                                     | N/A                                                                                                                                                              |

### Attachment 3: TUP Checklist for Short TERM Vacation Rental

| Guidelines                                                                                                                                                                                                                                                                                                              | Comments                                                                                                                |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------|
| f) <b>Parking</b> - the landowner should demonstrate that the property is able to accommodate off-street parking for a minimum of <b>two (2)</b> vehicles                                                                                                                                                               | Site plan identifies adequate space for the minimum of two parking spaces.                                              |
| g) <b>Sensitive Ecosystems</b> - If the proposal is located on a property identified as containing a sensitive ecosystem, the permit should require that the landowner provide information for guests indicating the location of the sensitive areas, and information on how to avoid impacting the sensitive features. | Mapping identifies the property as partially within the Woodland sensitive ecosystem along the shoreline. TUP condition |
| h) <b>Signage</b> - The Permit should restrict advertising to one unilluminated sign, with a maximum area of 0.6 m <sup>2</sup> .                                                                                                                                                                                       | No signage proposed.                                                                                                    |
| i) <b>Operator Contact</b> - The permit should require that the owner or other contact be available on North or South Pender Island by telephone 24 hours/day, seven days per week.                                                                                                                                     | Yes – Condition in TUP                                                                                                  |
| j) <b>Operator Contact &amp; TUP to Neighbours</b> - The permit should require the owner or manager provide neighbours within a 100 metre radius of the vacation rental with the owner or manager's phone number, and a copy of the temporary use permit                                                                | Yes – Condition in TUP                                                                                                  |
| k) <b>Guest Information</b> - The permit should require the landowner post the following information for guests:                                                                                                                                                                                                        |                                                                                                                         |
| i. remind guests that the property is located in a residential area;                                                                                                                                                                                                                                                    | Provided in guest information package.                                                                                  |
| ii. information on noise bylaws, water conservation, fire safety, storage and disposal of garbage and recycling, septic care and control of pets (if pets are permitted);                                                                                                                                               | Provided in guest information package.                                                                                  |
| iii. emergency services contact information, and to provide a means for contacting them if the property is located in an area with no cellular service; and,                                                                                                                                                            | Provided in guest information package.                                                                                  |
| iv. the applicant provide the name and contact information of the property owner or designated contact who is available on North or South Pender Island at all times when the short term vacation rental is in use.                                                                                                     | Provided in guest information package.                                                                                  |
| l) <b>Permit Conditions</b> - In addition to any other conditions the LTC may consider appropriate, the permit may:                                                                                                                                                                                                     |                                                                                                                         |
| i. limit the number of <b>bedrooms</b> that can be used for short term vacation rentals;                                                                                                                                                                                                                                | The whole 3-bedroom, 2-bathroom dwelling is included as the STVR.                                                       |

### Attachment 3: TUP Checklist for Short TERM Vacation Rental

| Guidelines                                                                                                                                                                                                                           | Comments                                                                                                                |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------|
| ii. limit the number of guests to <b>six (6)</b> for properties located within the Magic Lake Estates Water System Area;                                                                                                             | Maximum of 6 guests.                                                                                                    |
| iii. <b>limit the number of days</b> the short term vacation rental may be in use from the period of May 1 to September 30 in a calendar year to a total of thirty days;                                                             | Proposed 40 weeks per year, limit of thirty days between May 1 and September 30.<br>Yes – Condition in TUP              |
| iv. require <b>mitigating</b> measures to address <b>neighbours' concerns</b> , such as retention of existing screening and fencing, or installation of additional screening;                                                        | Not a condition, some fencing and tree coverage between properties exists.                                              |
| v. require the landowner/operator to <b>post contact information and permit information</b> at the entrance to the property;                                                                                                         | Yes – Condition in TUP                                                                                                  |
| vi. <b>prohibit</b> camping or occupancy of RVs on the property;                                                                                                                                                                     | Yes – Condition in TUP                                                                                                  |
| vii. <b>prohibit</b> the rental or provision of motorized personal watercraft;                                                                                                                                                       | Yes – Condition in TUP                                                                                                  |
| viii. <b>prohibit</b> watercraft that has been brought from off island to be used on Magic Lake or Buck Lake;                                                                                                                        | Yes – Condition in TUP                                                                                                  |
| ix. <b>prohibit</b> outdoor fires; and                                                                                                                                                                                               | Yes – Condition in TUP                                                                                                  |
| x. establish the <b>dates</b> during which the use may occur.                                                                                                                                                                        | Not a condition                                                                                                         |
| m) <b>Agriculture Land Reserve</b> - A temporary use permit a short term vacation rental on a parcel in the Agricultural Land Reserve must require the approval of the Agriculture Land Commission prior to the permit being issued. | N/A                                                                                                                     |
| n) <b>Owner Occupancy</b> - An application for a short term vacation rental temporary use permit must not be considered if the dwelling unit is not occupied on a regular basis by the property owners.                              | The family (applicant) does not reside full time, property is used several weeks a year by extended family and friends. |
| o) <b>Maximum Number of STVRs</b> - The Local Trust Committee must not approve more than <b>twenty (20)</b> temporary use permits for short term vacation rentals within the Magic Lake Estates Water System Area.                   | N/A                                                                                                                     |
| p) <b>Occupancy Permit</b> - A short term vacation rental temporary use permit must not be issued in a dwelling or cottage that does not have Occupancy Permit approval                                                              | Occupancy permit issued June 1991.                                                                                      |
| q) <b>Bylaw Enforcement</b> - The Permit should include a provision stating that the bylaw enforcement officer may enter the property between certain hours, without prior consultation, if a complaint is received                  | Yes – Condition in TUP                                                                                                  |

### Attachment 3: TUP Checklist for Short TERM Vacation Rental

| Guidelines                                                                                                                                                                                                                                                                                                                                                                                                                        | Comments        |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------|
| <p>r) <b>Fire Department –</b></p> <ul style="list-style-type: none"><li>i. The permit may include a provision requiring a clearly marked and approved civic address sign at the driveway address.</li><li>ii. The permit may require installation of a monitored fire detection system</li><li>iii. The permit may include a condition that the owner permit the fire department to conduct an annual fire inspection.</li></ul> | Not a condition |

## OFFICE USE ONLY

File No: \_\_\_\_\_

## NORTH PENDER ISLAND STVR TUP CHECKLIST

| Issue                     | Information and Documentation Required                                                                                                                                                | ✓                        | Comments                                        |
|---------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|-------------------------------------------------|
| Site Plan                 | Depending on the proposal, a site plan <i>may</i> be required.                                                                                                                        | <input type="checkbox"/> |                                                 |
|                           | Site Plans must be drawn to scale and based on a legal survey, and contain the following:                                                                                             |                          |                                                 |
|                           | Existing buildings and structures labeled as to their use and their floor area.                                                                                                       | ✓                        | SEE ATTACHMENT                                  |
|                           | Roads and driveways                                                                                                                                                                   | ✓                        | SEE ATTACHMENT                                  |
|                           | Streams or other water bodies                                                                                                                                                         | ✓                        | NONE                                            |
|                           | Natural boundary of the sea                                                                                                                                                           | ✓                        | SEE ATTACHMENT                                  |
|                           | Well location                                                                                                                                                                         | ✓                        | NONE                                            |
|                           | Septic field location                                                                                                                                                                 | ✓                        | SEE ATTACHMENT                                  |
|                           | Off-street parking area showing dimensions sufficient to accommodate at least two vehicles, and more as required by the proposed use                                                  | ✓                        | "                                               |
|                           | Any fences or vegetative screening between adjacent lots or the road                                                                                                                  | ✓                        | "                                               |
| Intensity of Use Proposed | Applicant should provide the following information:                                                                                                                                   | <input type="checkbox"/> | SEE ATTACHMENT                                  |
|                           | No. of bedrooms proposed for STVR use                                                                                                                                                 | ✓                        | "                                               |
|                           | Maximum no. of guests to be permitted at one time. Note: the number is limited to <b>six (6)</b> for properties located within the Magic Lake Estates Water System Area               | ✓                        | "                                               |
|                           | No. of weeks per year unit is proposed to be available. :                                                                                                                             | ✓                        | "                                               |
|                           | No. of days from May 1 to September 30 in a calendar year. Note: maximum of thirty (30)                                                                                               | ✓                        | "                                               |
| Potable Water             | Where the subject property is serviced by groundwater, the applicant should provide:                                                                                                  | <input type="checkbox"/> | SEE ATTACHMENT                                  |
|                           | A written statement concerning the quantity and quality of water available on the subject lot.                                                                                        | ✓                        | "                                               |
|                           | Any available supporting documentation related to the quantity and quality of potable water on the subject lot.*                                                                      | ✓                        | AVAILABLE FROM RAZOR POINT IMPROVEMENT DISTRICT |
|                           | *Islands Trust staff may ask for further information, including professional reports, related to quantity and quality of available water.                                             |                          |                                                 |
|                           | Where a subject property has insufficient groundwater to support the proposed use, applicant should provide:<br><br>Plans for a rainwater catchment, storage, and delivery system.    | ✓                        | N/A                                             |
| Septic Capacity           | Where the property is serviced by a septic system, the applicant should provide:                                                                                                      | <input type="checkbox"/> |                                                 |
|                           | A written statement about the septic system on the subject property including: <ul style="list-style-type: none"> <li>Date of installation</li> <li>Capacity of the system</li> </ul> | ✓                        | SEE ATTACHMENT                                  |

# NORTH PENDER ISLAND STVR TUP CHECKLIST

| Issue                  | Information and Documentation Required                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | ✓ | Comments                 |
|------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---|--------------------------|
|                        | Any available supporting documentation related to the quantity and quality of potable water on the subject lot.*<br><br>*Islands Trust staff may ask for further information, including professional reports, related to sewage disposal systems.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |   |                          |
| Residential Appearance | If building or land alterations are proposed as part of the STVR use, they should not alter the residential appearance of any existing residence and the applicant should provide:                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | ✓ | N/A                      |
|                        | Plans showing form, character and floor area of proposed building or land alterations.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | ✓ | N/A                      |
| Sensitive Ecosystems   | Where a property is located within, or contains, a sensitive ecosystem*, applicant should provide:<br><br>A copy of the information intended to be provided to guests indicating the location of the sensitive areas, and information on how to avoid impacting these sensitive features.<br><br>Applicant should state how this information will be conveyed to guests.<br><br>*Use Islands Trust's <u>MapIT</u> program or the <u>Development Permit Area map</u> for North Pender Island to identify sensitive ecosystems on your property. Or, contact Islands Trust staff for further information.<br><br>Please note, where new development or vegetation removal is to be undertaken as a part of the proposed STVR use, a Development Permit for work within a sensitive ecosystem may be required. | ✓ | N/A ACCORDING TO MAPIT.  |
| Building Information   | Confirmation of an occupancy permit                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | ✓ | JUNE 1991                |
|                        | Is there are monitored fire detection system                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | ✓ | No                       |
| On-Island Contact      | Applicant should provide contact information for an on-Island owner or manager to address issues that may arise from the proposed use, 24 hours/day, seven days per week.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | ✓ | SEE ATTACHMENTS          |
| Information for Guests | Applicant should provide a copy of information to be provided to guests that:                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | ✓ | SEE HOUSE RULES ATTACHED |
|                        | Reminds them they are in a residential area                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | ✓ | "                        |
|                        | Provides information regarding noise bylaws, water conservation, fire safety, storage and disposal of garbage and recycling, septic care, and control of pets (if pets permitted)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | ✓ | "                        |
|                        | Provides emergency service contact information and offers use of a phone for the duration of the stay, if required. Emergency contact information should include the civic address of the property.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | ✓ | "                        |
|                        | Application should also demonstrate where above information will be posted in the building                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | ✓ | "                        |
| Signage                | If signage is proposed, applicant should provide a rendering of the proposed sign that includes its dimensions.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | ✓ | N/A                      |

# NORTH PENDER ISLAND STVR TUP CHECKLIST

| Issue               | Information and Documentation Required                                                                            | ✓                                   | Comments            |
|---------------------|-------------------------------------------------------------------------------------------------------------------|-------------------------------------|---------------------|
|                     | Confirmation that there is clearly marked civic address signage at the driveway                                   | <input checked="" type="checkbox"/> | ILLUMINATED ADDRESS |
| Accessory Buildings | If the proposed use is to occur in an accessory building, the applicant should provide information demonstrating: | <input checked="" type="checkbox"/> | N/A                 |
|                     | That accessory building has an occupancy permit for residential use under the BC Building Code                    | <input type="checkbox"/>            |                     |
|                     | That the total floor area of all buildings on the property does not exceed 185 m <sup>2</sup> .                   | <input type="checkbox"/>            |                     |

|                     |  |
|---------------------|--|
| Additional Comments |  |
|---------------------|--|

## Contents

|                                        |   |
|----------------------------------------|---|
| MAIN CONTACTS.....                     | 2 |
| WIFI .....                             | 2 |
| HOUSE RULES AND ISLAND POLICIES.....   | 2 |
| HOUSE RULES .....                      | 2 |
| GUEST RESPONSIBILITIES .....           | 3 |
| OTHER TERMS & CONDITIONS.....          | 3 |
| DAMAGES & BREAKAGES.....               | 3 |
| STORM POLICY .....                     | 3 |
| CHECK OUT GUIDELINES .....             | 4 |
| HOUSE INFORMATION & GUIDELINES .....   | 5 |
| FIRE ALARMS - EXTINGUISHERS .....      | 5 |
| FIRST AID KIT .....                    | 5 |
| CHILD SAFETY .....                     | 5 |
| PETS.....                              | 5 |
| WATER.....                             | 5 |
| POWER OUTAGES .....                    | 5 |
| HEATING/COOLING .....                  | 5 |
| LAUNDRY.....                           | 6 |
| BATHROOMS.....                         | 6 |
| GARBAGE.....                           | 6 |
| COMPOST.....                           | 7 |
| RECYCLING .....                        | 7 |
| AMENITIES, APPLIANCES & SUPPLIES ..... | 7 |
| TOWELS/BLANKETS/SUPPLIES .....         | 8 |
| BBQ – Propane .....                    | 8 |
| FIRE PIT TABLE– Propane .....          | 8 |
| PATIO HEATER – Propane .....           | 8 |
| PENDER ISLAND INFORMATION.....         | 9 |
| EMERGENCY CONTACTS .....               | 9 |
| PENDER ISLAND PHARMACY .....           | 9 |
| FIRE SAFETY.....                       | 9 |

|                               |    |
|-------------------------------|----|
| THINGS TO DO ON PENDER .....  | 9  |
| RESTAURANTS.....              | 9  |
| ACTIVITIES .....              | 11 |
| HIKING & SITESEEING.....      | 12 |
| ART GALLERIES & STUDIOS ..... | 13 |

## MAIN CONTACTS

|                 |                                      |
|-----------------|--------------------------------------|
| David Rawlings  | 604-328-1767 (Property Owner)        |
| Richard Whynott | 250-710-8006 (On island caretaker)   |
| Jennifer Landry | 250-539-8717 (On island housekeeper) |

## WIFI

Wifi Network:

Password:

## HOUSE RULES AND ISLAND POLICIES

### HOUSE RULES

1. Absolutely NO open fires on the property and beach. Only propane fire table, propane patio heater or upstairs indoor fireplace are acceptable. Ensure propane heaters are completely shut off and tank valves closed before retiring for the evening.
2. Smoking and vaping are NOT permitted inside the house at any time. Smoking is permitted on the patio if ashtrays are used, and extra care is given to ensure all materials are properly and safely extinguished. Do NOT dispose of cigarette butts on property grounds.
3. Guests are responsible for the safety and security of their children and pets at all times
4. Local Bylaws state Quiet time is from 11pm to 8am. Amplified music is not to be played inside or outside between the hours of 11pm and 8am. Please refrain from making any noise outside of the house, including the patio, after 11pm. Please notify property owner of any disputes or complains from neighbours as soon as reasonably possible.
5. Absolutely NO fireworks are to be used on the property.
6. Absolutely NO fireworks are to be stored on the property.
7. Absolutely NO firearms permitted on property.
8. NO overnight visitors
9. Parties and large gatherings of any kind are prohibited on property
10. No illegal substances.
11. No flame candles.

## GUEST RESPONSIBILITIES

All guests are responsible for closing windows and locking doors to maintain security and prevent damages from rain. The owner of the vacation rental is not responsible for any lost or stolen items during the duration of the rental period.

Guests should switch off lights, fans, and any other electronic devices when not in use.

Guests must abide by noise restrictions and must notify property owner of any disputes or complains from neighbours as soon as reasonably possible.

## OTHER TERMS & CONDITIONS

The owner of the vacation rental does not assume any liability for the loss, damage or injury to persons or their personal property. Neither do we accept liability for any inconveniences arising from the temporary defects or stoppage in supply of water, or electricity. We do not accept liability for any loss or damage caused by weather conditions, natural acts, disasters, or other reasons beyond our control.

The owner of the property or his representative reserves the right to terminate your stay if found to be in breach of contract. This applies to any guests and/or visitors who refuse to follow the above-mentioned house rules and who are found to be causing disturbances or damages to the property, neighborhood or to the residence of the community.

## DAMAGES & BREAKAGES

Please report any damages, breakages, or malfunctioning equipment immediately so that we can repair or replace them.

Please refrain from moving furniture from one room to another to avoid any damages or breakages.

No food or beverages other than water in bedrooms.

Guests are responsible for any damage to the rental property, (other than normal wear & tear), caused by you or your party during your stay. Including, but not limited to, misuse of appliances, and/or equipment and furnishings. The cost of any damages or breakages caused by negligence shall be charged to the guest whose name is on the rental agreement.

## STORM POLICY

The Gulf Islands are susceptible to fall and winter storms. No refunds will be given once guest has taken occupancy, and we do recommend you purchase travel insurance for your vacation during fall and winter months.

## CHECK OUT GUIDELINES

### **CHECK-OUT TIME**

Please abide by the checkout time agreed upon and stated on your Welcome info doc.

### **COMPOST REMOVAL**

Please take compost bucket and dispose of its contents in the green cone located behind lattice fence on grassy lawn out front. Rinse and place the empty bucket back under the sink before leaving.

### **GARBAGE**

All black garbage bags should be tied up and placed in labeled bins out front.

### **RECYCLING**

Only beverage containers can be recycled on island. Place beverage containers in clear/blue garbage bag and leave outside front door. All other recyclables become garbage or take with you when you leave.

### **DISHES**

If you have used any dishes/glassware/cookware/cutlery, please fill and start the dishwasher before you leave. Detergent pods can be found underneath the kitchen sink. Do NOT use liquid soap in the dishwasher.

### **TOWELS AND LINENS**

Please place all used towels, face towels, and dish towels in the upstairs shower before you leave. Please strip linens and leave at the end of beds. Place any used patio blankets at the end of a bed.

### **LIGHTS/FIRE**

Turn all lights and lamps off before exiting. Ensure the patio door, basement door and all windows are closed and locked securely. Ensure propane heaters and fire-table are shut off and tank valves closed.

### **FRONT DOOR**

Please ensure front door is locked upon departure. Note that we are not responsible for any lost property or forgotten items.

## HOUSE INFORMATION & GUIDELINES

### FIRE ALARMS - EXTINGUISHERS

Fire alarms are located one on each floor and are NOT monitored. If the fire alarm goes off, please calmly remove all persons from the House and call 911.

Fire extinguishers are in kitchen, upstairs adjacent to fireplace and downstairs fireplace

### FIRST AID KIT

First Aid Kit is located in the kitchen above refrigerator.

### CHILD SAFETY

Guests are responsible for the safety and security of their children and pets at all times

If toddlers are present, parents shall place gate at top of the stairs to lower floor. Gate is in the front entry closet. Patio mesh gate on west side of the deck should always be closed. Press, turn, and hold knob to release mesh from roll, connect to retainers on railing support.

### PETS

Cats and dogs welcome upon prior arrangement and payment of pet deposit. 2 pets maximum per stay and they must be house trained. All pets must keep off the furniture. All pets must be supervised at all times, including outside as the property is not fenced in. Owners are responsible for cleaning up after their pets.

### WATER

The Retreat is supplied by a community well which serves 30 other properties. Please do your part to conserve water. i.e., Do Not leave taps running while brushing your teeth, limit your shower usage, etc. Water restrictions are in effect June 1 through September 30.

### POWER OUTAGES

Home has plug-in night lights which also function as flashlights. Remove from outlet and press small square button on side of device. Battery operated lantern and flashlight also located above fridge next to first aid kit.

### HEATING/COOLING

House is not air-conditioned but bedrooms have ceiling fans.

House is heated using electric baseboard heaters and rooms are thermostatically controlled.

Guest may adjust as necessary by using the up/down arrows on the right side of each wall mounted in room thermostat. (Note that screens are not illuminated in bedrooms but will illuminate once a button is pressed.)

NOTE: Upstairs fireplace may be used between October 1 and May 31 ONLY. Firewood provided on side of house. Basement fireplace is for use during power outages only.

## LAUNDRY

The washer and dryer are in upstairs bathroom. Small quantities of complimentary detergent and fabric softener sheets are available from bottom drawer window side of vanity.

## BATHROOMS

House is on septic a system; ONLY toilet paper and personal deposits shall be flushed down the toilets.

Upstairs bathroom, please use fan when showering - timer switch located adjacent to toilet. Downstairs bathroom, fan has both manual and automatic controls. Fan automatically starts when showering. Floor is heated and may be adjusted using wall mounted thermostat.

Mirrors have internal illumination switched from bottom of mirror. They also change colour and have heater for defogging.

Please do not use white facecloths for removal of makeup. Makeup removal wipes are provided in each bathroom. Do not remove bathroom towels from the property (i.e., for beach use). Separate beach towels are provided for this purpose and located in upstairs bathroom, in large drawer to right of washer dryer.

## GARBAGE

Please use black bags in kitchen for garbage. Do not put food in the regular garbage bags/cans.

The following materials CANNOT be included in household garbage:

- yard and garden debris, other than lawn clippings
- construction waste (e.g., wood, gypsum, roofing)
- car parts or batteries
- waste oil
- paint cans
- pesticides
- flammable or hot materials
- medical waste (e.g., needles and syringes)
- compact fluorescent lightbulbs

## COMPOST

Please place all discarded food and napkins in the compost bucket located under the sink.  
No Bones please.

## RECYCLING

We donate all proceeds from recycled beverage containers to Pender Island's Elementary School. Please place all recyclable beverage containers in clear/blue bags.

## AMENITIES, APPLIANCES & SUPPLIES

### House

- Free Parking
- Heater
- Fireplace
- Patio with furniture (upstairs and downstairs)
- Patio heater (gas)
- Patio fire-table (gas)
- First Aid Kit (located in kitchen)

### Kitchen:

- Dishwasher
- Cookware
- Microwave
- Stove/Oven
- Refrigerator
- Dishes/Utensils
- Glassware
- Kettle
- Coffee Maker (drip/pods)
- Pantry Items
- Toaster
- Dining Table

### Bathroom

- Hair Dryers
- Complimentary soaps/shampoo/conditioner
- Linens & Towels
- Toilet Paper
- Washer & Dryer

### Entertainment

- TV w/ Streaming Services
- Wifi
- Board Games & Cards (located in dining room hutch)
- Outdoor games (located on west side of house)

### TOWELS/BLANKETS/SUPPLIES

Extra towels are in each bathroom, extra pillows are in each room's closet and blankets for outdoor deck/patio are located in round seat in living room. No bathroom towels are to be removed from the property (i.e., for beach use). Separate beach towels are provided for this purpose and located in upstairs bathroom, in large drawer to right of washer dryer.

### BBQ – Propane

A BBQ is provided as a courtesy by the owner and responsibility of the guest (gas and cleaning). See separate page in this binder "BBQ – Propane Fuelled"

### FIRE PIT TABLE– Propane

A propane burning fire table is provided as a courtesy by the owner and responsibility of the guest (gas and cleaning). See separate page in this binder "FIRE TABLE – Propane Fuelled"

### PATIO HEATER – Propane

A patio heater is provided as a courtesy by the owner and responsibility of the guest (gas). See separate page in this binder "PATIO HEATER – Propane Fuelled"

## PENDER ISLAND INFORMATION

### EMERGENCY CONTACTS

The medical clinic located on the island is for registered island residents.  
For after-hours urgent care only, the local physician on-call number is 1 (800) 866-5602

HEALTH LINK BC - for non-emergency health information and advice T. 8-1-1

### PENDER ISLAND PHARMACY

Located in the Driftwood Centre - 4605 Bedwell Harbour Rd.  
T. (250) 629-6555.  
Hours: Monday – Friday 10am-6pm, Saturday-Sunday 10am-4pm. Closed on holidays.

### FIRE SAFETY

Pender Island Fire & Rescue consists of three halls situated to optimize call times.

Always call 911 if you feel that danger is imminent to you or the community.  
If you are unsure whether the emergency is serious enough, ALWAYS CALL 911 immediately and let the professionals weigh the gravity of your emergency and respond accordingly.

Call Fire dispatch (250) 478-7770 and page out the on-duty Fire Officer if the danger is low.

## THINGS TO DO ON PENDER

### RESTAURANTS

#### COPPER OTTER BAR & GRILL

Driftwood Centre - #8-4605 Bedwell Harbour Road  
T. (250) 629-6033  
Hours: 8am-8pm Daily  
<https://www.copperottergrill.com/>

#### VANILLA BAKERY & CAFÉ

Driftwood Centre - 4605 Bedwell Harbour Road

T. (250) 629-6453

E. [vanillaleafbakerycafe@gmail.com](mailto:vanillaleafbakerycafe@gmail.com)

Offers fresh bread, lattes, espresso, coffee, breakfast, and lunches. We have a wide variety of baked goods, from muffins, pies, cookies, treats, and cakes (on order) to sandwiches, soups, and savouries. We have a growing variety of Vegan and vegetarian options for everyone

#### HUB - Mediterranean restaurant and design shop

Hope Bay

4301 Bedwell Harbour Road

T. (250) 222-9557

Hours: Thursday - Sunday 12:00 - 7:00pm

[www.hubathopebay.ca/](http://www.hubathopebay.ca/)

#### PORT BROWNING MARINA PUB

4605 Oak Rd

T. (250) 629-3493

Hours: Mon-Sun 11:30am-8pm

[www.portbrowning.ca/pub](http://www.portbrowning.ca/pub)

#### BRIDGEMANS BISTRO (Breakfast & Brunch)

4605 Oak Rd

T. (250) 629-3493

Hours: Friday and Saturday 8am-11am

[www.portbrowning.ca/bridgemansportbrowning#bridgemansbrowning](http://www.portbrowning.ca/bridgemansportbrowning#bridgemansbrowning)

#### PENDER CHOCOLATES

#2-4301 Bedwell Harbour Road

T. (250) 885-9131 E. [chocolates@penderchocolates.com](mailto:chocolates@penderchocolates.com)

Call ahead or check <https://www.facebook.com/penderchocolates/> for hours of operation

#### WOODS ON PENDER

4709 Canal Rd.

COFFEE + KITCHEN is the on-site restaurant at WOODS on Pender and is open to guests and the public. All their food is locally sourced or grown and made on-site with a focus on high-quality and healthy ingredients.

Coffee Bar: Thu to Sat – 9AM to Noon | Sun – Mon 9AM to 2PM

Dinner: Fri & Sat – 5PM to 7PM

Reservations text (250) 629-3353 or

E. [reservations@woodsonpender.com](mailto:reservations@woodsonpender.com)

## ACTIVITIES

### DRIFTWOOD CENTRE – Pender Islands main shopping centre

4605 Bedwell Harbour Rd.

Here you will find the Grocery Store, Pharmacy, Liquor store, Pet Store, Canada Post, Garden Centre, Hardware Store, Book Store, Gas Station, Bakery and Café, Marine and Auto Centre, Kandis' Nail & Esthetics and Pender Island Natural (Cannabis Dispensary).

### SEA STAR VINEYARD AND WINERY

6621 Harbour Hill (you can walk there!)

Turn right at top of driveway and then left up Harbour Hill to winery.

T. (250) 629-6960

E. [info@seastarvineyards.ca](mailto:info@seastarvineyards.ca)

Open Wednesday to Sunday 12:00 - 6:00

Reservations are encouraged but walk-ins are welcome upon availability -

[www.seastarvineyards.ca/reservation/](http://www.seastarvineyards.ca/reservation/)

### TWIN ISLAND CIDERY

5601 Lupin Rd (you can walk there!)

Turn left at top of driveway and turn left when you reach Lupin Rd.

Open Friday – Sunday 12-4pm (hours are subject to change)

Drop in tastings encouraged during the spring. Reservations for tastings encouraged through summer.

Contact and Reservations managed through website: [www.twinislandcider.com/tastings](http://www.twinislandcider.com/tastings)

### PENDER ISLAND GOLF & COUNTRY CLUB (9 Holes)

2305 Otter Bay Road

T. (250) 629-6659 E. [pigolf@shaw.ca](mailto:pigolf@shaw.ca)

Please check our Facebook page for information on course conditions and weather-related closures and look for the signs located on the first tee box.

More information and tee time booking: [www.penderislandgolf.ca/teetimes/](http://www.penderislandgolf.ca/teetimes/)

### DISC GOLF PARK

37162-37170 Galleon Way

The Golf Disc Park, located in Magic Lake Estates, features 27 holes. The front nine holes have the original tone poles while the middle and back nines have chain baskets. The disc golf course winds its way over and around a rocky hill just to the north of Magic Lake. The location of the course, with its many trees and bumpy landscape, make for an exciting game and a wonderful walk in the woods.

2 Sets of discs for guest use are located in deck box west side of house. Please return discs after use.

Discs for purchase are available from store at the gas station at Driftwood Centre  
Golf Park also has loaner discs available

#### FARMERS MARKET

4418 Bedwell Harbour Rd

Runs from Easter to Thanksgiving, at the Pender Islands Recreation and Agricultural Hall

Only Saturdays from 9:30am-1pm

#### POETS COVE RESORT & SPA

9801 Spalding Rd., South Pender Island.

Offers luxury accommodations, spa services, fine dining, a private marina, and outdoor pool.

Restaurant: Syrens Bistro & Lounge - features an upscale pub atmosphere and a menu inspired by classic comfort food and local produce. See website for more information.

[www.poetscove.com](http://www.poetscove.com)

#### PENDER ISLAND KAYAK ADVENTURES

4605 Oak Rd, Port Browning Marina

Sun - Sat: 8:00 am-8:00 pm

\*Due to COVID19 Restrictions, we recommend calling ahead to confirm available services.

T. (250) 629-6939

E. [info@kayakpenderisland.com](mailto:info@kayakpenderisland.com)

<http://www.kayakpenderisland.com>

#### DOG MERMAID ECO EXCURSIONS, KAYAK RENTALS & RETREATS

2311 MacKinnon Rd

\*Due to COVID19 Restrictions, we recommend calling ahead to confirm available services.

T. (250) 222-0015

E. [info@dogmermaid.com](mailto:info@dogmermaid.com)

<http://www.dogmermaid.com>

#### HIKING & SITESEEING

Pender offers many beach accesses as well as dozens of trails ranging from easy walks to vigorous hikes. Forest and intertidal ecosystems provide visitors with much to explore. Bald eagles, herons, orca whales, deer, arbutus trees and fawn lilies are among the many wonders to enjoy. Tidal pools on local beaches provide endless hours of family entertainment where you will see hermit crabs, tubeworms, starfish and anemones. For further information on the Gulf

Islands National Parks Reserve see Gulf Islands National Park Reserve. Pender also has community parks, trails and ocean accesses managed by the Pender Islands Parks Commission. Most of these parks and trails are marked by wooden posts at or near the entrance. A community Parks Guide indicating the location and features of these community parks and trails is available at local retail outlets. For a copy of the Parks and Trails map and a PDF copy of the Parks and Trail Guide, visit:

<https://www.crd.bc.ca/parks-recreation-culture/parks-trails/piprc/parks-trails>

#### ART GALLERIES & STUDIOS

Pender Island is home to many artists and craftspeople who operate art galleries, craft shops, and studios. Painting, photography, jewellery, glassware, pottery, wearable art and antiques are just some of the many and varied art forms. Many artists have studio hours where you can make personal visits. For more information, visit <https://www.pendercreatives.com/index.html>

Razor Point Improvement District  
Attn: Geoff Parkinson

21May24 09:10a  
Source: FWS  
Type of Sample: Water  
No. of Samples: 2

Attachment 6  
W180650

TEL: 250 514-5035  
geoff.c.parkinson@gmail.com

Arrival temp.: 10.0C  
Pd B1171 2205E

Samples: Razor Pt ID, Pender Island - 20May24 10:00p 1) Filtered Well 2) Residence

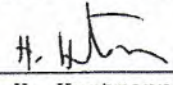
| ELEMENTS                           |    | 1 2    |        | UNITS | Maximum Limits      |
|------------------------------------|----|--------|--------|-------|---------------------|
|                                    |    | SAMPLE | SAMPLE |       | In Drinking Water*  |
| 1) Aluminium                       | Al | 0.135  | 0.173  | mg/L  | no limit listed     |
| 2) Antimony                        | Sb | <0.500 | <0.500 | ug/L  | 6.00 ug/L           |
| 3) Arsenic                         | As | <0.500 | <0.500 | ug/L  | 10.0 ug/L           |
| 4) Barium                          | Ba | <0.009 | <0.009 | mg/L  | 2.00 mg/L           |
| 5) Beryllium                       | Be | <0.003 | <0.003 | mg/L  | no limit listed     |
| 6) Boron                           | B  | 1.39   | 1.35   | mg/L  | 5.00 mg/L           |
| 7) Cadmium                         | Cd | <0.010 | <0.010 | ug/L  | 7.00 ug/L           |
| 8) Calcium                         | Ca | 51.9   | 50.4   | mg/L  | 200 mg/L            |
| 9) Chromium                        | Cr | <0.003 | <0.003 | mg/L  | 0.050 mg/L          |
| 10) Cobalt                         | Co | <0.005 | <0.005 | mg/L  | no limit listed     |
| 11) Copper                         | Cu | <0.008 | 0.027  | mg/L  | 1.00 mg/L           |
| 12) Gold                           | Au | <0.040 | <0.040 | mg/L  | no limit listed     |
| 13) Iron                           | Fe | 0.017  | 0.013  | mg/L  | 0.300 mg/L          |
| 14) Lanthanum                      | La | <0.020 | <0.020 | mg/L  | no limit listed     |
| 15) Lead                           | Pb | <0.500 | 0.603  | ug/L  | 5.00 ug/L           |
| 16) Magnesium                      | Mg | 15.1   | 14.7   | mg/L  | 50.0 mg/L           |
| 17) Manganese                      | Mn | 0.200  | 0.108  | mg/L  | 0.120 MAC 0.020 AO  |
| 18) Mercury                        | Hg | <0.010 | <0.010 | ug/L  | 1.00 ug/L           |
| 19) Molybdenum                     | Mo | <0.005 | <0.005 | mg/L  | no limit listed     |
| 20) Nickel                         | Ni | <0.004 | <0.004 | mg/L  | no limit listed     |
| 21) Phosphorus                     | P  | <0.010 | <0.010 | mg/L  | no limit listed     |
| 22) Potassium                      | K  | 0.420  | 0.450  | mg/L  | no limit listed     |
| 23) Scandium                       | Sc | <0.050 | <0.050 | mg/L  | no limit listed     |
| 24) Selenium                       | Se | <0.500 | <0.500 | ug/L  | 5.0 ug/L            |
| 25) Silicon                        | Si | 23.1   | 22.4   | mg/L  | no limit listed     |
| 26) Silver                         | Ag | <0.010 | <0.010 | mg/L  | no limit listed     |
| 27) Sodium                         | Na | 15.0   | 14.6   | mg/L  | 200 mg/L            |
| 28) Strontium                      | Sr | 0.270  | 0.270  | mg/L  | no limit listed     |
| 29) Tin                            | Sn | <0.020 | <0.020 | mg/L  | no limit listed     |
| 30) Titanium                       | Ti | <0.010 | <0.010 | mg/L  | no limit listed     |
| 31) Tungsten                       | W  | <0.050 | <0.050 | mg/L  | no limit listed     |
| 32) Vanadium                       | V  | <0.010 | <0.010 | mg/L  | no limit listed     |
| 33) Zinc                           | Zn | 0.001  | 0.047  | mg/L  | 5.00 mg/L           |
| Hardness (mg/L CaCO <sub>3</sub> ) |    | 192    | 186    | mg/L  | 150-300 mg/L = hard |
| pH                                 |    | 7.77   | 7.91   | units | 7.0 to 10.5         |

\* As per Canadian or B.C. Health Act Safe Drinking Water Regulation BC Reg 230/92, & 390 Sch 120, 2001. Task Force of the Canadian Council of Resource and Environment Ministers - Guidelines for Canadian Drinking Water Quality, 2020.

Comments:

Manganese: not considered to be toxic; high amounts of Manganese can cause staining of laundry, porcelain and plumbing fixtures; may produce an undesirable taste.

R. Bilodeau  
Analytical Chemist

  
H. Hartmann  
Sr. Analytical Chemist

M.B. LABS LTD  
T: 250 656-1334

E: info@mblabs.com

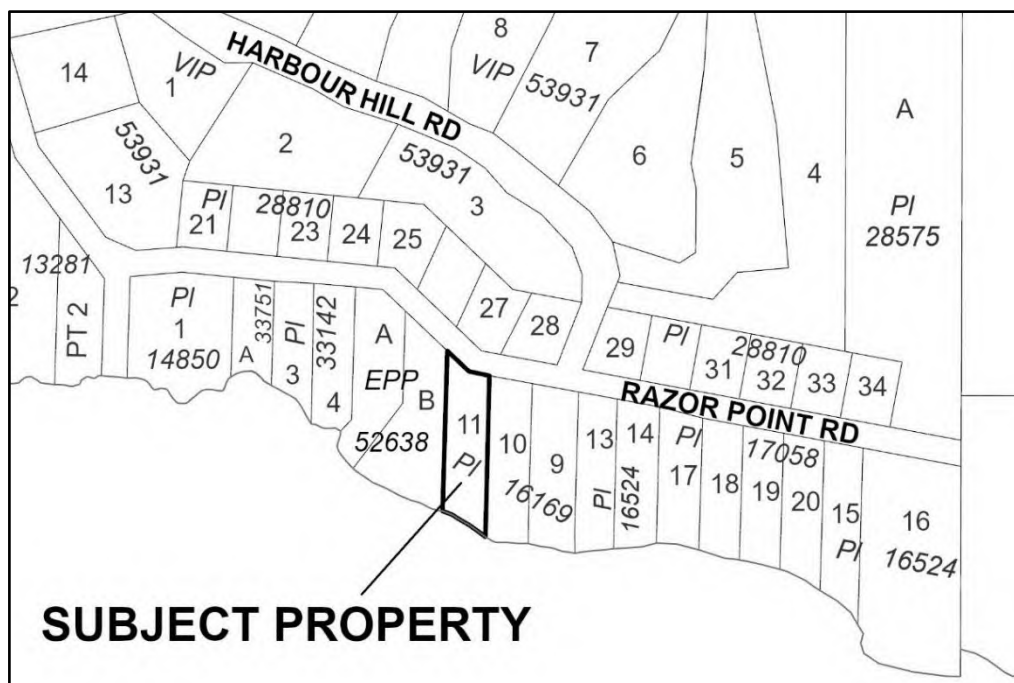
W: www.mblabs.com

**NOTICE** is hereby given pursuant to Section 494 of the *Local Government Act* that the North Pender Island Local Trust Committee will be considering a resolution allowing for the issuance of a Temporary Use Permit. The proposed permit would apply to LOT 11 SECTION 12 PENDER ISLAND COWICHAN DISTRICT PLAN 16169 (PID: 004-008-774). This property is located at **6622 Razor Point Road**, North Pender Island.

- The purpose of this temporary use permit would be to permit a **Short Term Vacation Rental** use within the existing Dwelling unit.

The establishment of these uses would be subject to the conditions specified in the attached proposed permit. The permit would be issued for three (3) years and the owner may apply to the LTC to have it renewed once for an additional three (3) years.

The general location of the subject property is shown on the following sketch:



A copy of the proposed permit may be inspected at the Islands Trust Office, 200 - 1627 Fort Street, Victoria, B.C. V8R 1H8 between the hours of 8:30 a.m. to 4:30 p.m. Monday to Friday inclusive, excluding statutory holidays, commencing **May 9, 2025** and continuing up to and including **May 21, 2025**.

For the convenience of the public only, and not to satisfy Section 499 (2) (c) of the *Local Government Act*, additional copies of the Proposed Permit may be inspected at various Notice Boards on North Pender Island.

Enquiries or comments should be directed to Bruce Belcher, Planner 2 at (250) 405-5179, for Toll Free Access, request a transfer via Enquiry BC: In Vancouver 660-2421 and elsewhere in BC 1-800-663-7867; or by fax (250) 405-5155; or by email to: [southinfo@islandstrust.bc.ca](mailto:southinfo@islandstrust.bc.ca) before 4:30 pm, **May 21, 2025**.

The North Pender Island Local Trust Committee may consider a resolution allowing for the issuance of the permit during the regular business meeting starting at **10:00 a.m.** on **May 30, 2025**, to be held at the **St. Peter's Anglican Church Hall**, 4703 Canal Rd, North Pender Island.

All applications are available for review by the public with prior appointment. Written comments made in response to this notice will also be available for public review.

**North Pender Island Local Trust Committee  
Temporary Use Permit  
PLTUP20250093 (*Rawlings*)**

**6622 Razor Point Road**

To: David Rawlings

1. This Permit applies to the land described below:

LOT 11 SECTION 12 PENDER ISLAND COWICHAN DISTRICT PLAN 16169  
(PID: 004-008-774).

2. This Permit is issued for the purpose of permitting the owner to conduct the following use on their property:

a) a **Short Term Vacation Rental** within the Dwelling Unit.

3. and is subject to the following conditions:

- a) A **parking** area that will accommodate a minimum of two (2) vehicles for the Short Term Vacation Rental (STVR) is required and must be wholly contained on the subject property;
- b) the property owner shall provide information for guests indicating the location of the **Woodland Sensitive Ecosystem** and information on how to avoid impacting the sensitive features;
- c) **signage** advertising the STVR use may not exceed 0.6 m<sup>2</sup>;
- d) either the property owner or other designated **contact** must be available on North or South Pender Island by telephone 24 hours per day, seven days per week when the STVR is in use, and the name (s) and contact information shall be provided to STVR guests upon arrival;
- e) either the property owner or other designated **contact** must provide neighbours within a 100 metre radius of the vacation rental with the owner or manager's phone number, and a copy of the temporary use permit;
- f) the property owner must post within the dwelling the following **information for guests**:
  - i. remind guests that the property is located in a residential area;
  - ii. information on noise bylaws, water conservation, fire safety, storage and disposal of garbage and recycling, septic care and control of pets (if pets are permitted); and
  - iii. emergency services contact information, including the civic address of the property, and to provide a means for contacting them if the property is located in an area with no cellular service;
  - iv. the name and contact information of the property owner or designated contact who is available on North or South Pender Island at all times when the STVR is in use;

- g) the **maximum number of bedrooms** that can be used for the STVR use is limited to **three (3)**;
  - h) the **maximum number of guests** is limited to **six (6)**;
  - i) the STVR use is limited to **thirty (30) days** from the period of May 1 to September 30 in a calendar year;
  - j) the property owner or operator shall **post contact information and permit information** at the entrance to the property;
  - k) The following activities are **prohibited**:
    - i. camping and occupancy of recreational vehicles;
    - ii. the rental or provision of motorized personal watercraft;
    - iii. the use on Magic Lake or Buck Lake of watercraft brought from off island; and,
    - iv. outdoor fires;
  - l) the holder of this Permit, will be held accountable for any violation of the conditions of this Permit. The Islands Trust Bylaw Investigations Officer may enter the property between the hours of 9:00 am and 5:00 pm on any day without prior consultation with the holder of the Permit, or STVR renter for the purpose of investigating a complaint;
4. This permit is valid for **three (3)** years from date of issuance of the permit and upon expiry of the permit the owner of the site shall discontinue the temporary use to the satisfaction of the Islands Trust, or apply for a renewal of this permit.
5. This permit is not a building permit and does not remove any obligation on the part of the permittee to comply with all other requirements of "North Pender Island Land Use Bylaw No. 224, 2022" and to obtain other approvals necessary for completion of the proposed development, including approvals from the Capital Regional District, Island Health and Ministry of Transportation and Infrastructure.

**AUTHORIZING RESOLUTION PASSED BY THE NORTH PENDER ISLAND LOCAL TRUST COMMITTEE THIS ##<sup>TH</sup> DAY OF MONTH, 202#.**

\_\_\_\_\_  
Deputy Secretary, Islands Trust

\_\_\_\_\_  
Date Issued

**From:** alan harper [REDACTED]  
**Sent:** Tuesday, May 20, 2025 9:52 AM  
**To:** SouthInfo <SouthInfo@islandstrust.bc.ca>  
**Subject:** Fw: Temporary Use Permit Application PLTUP20250093

**Subject:** Re: Temporary Use Permit Application PLTUP20250093

ATTENTION: Planner Bruce Belcher

As the owner of a nearby property I wish to register my opposition to the granting of this permit. The subject property (6622 Razor Point Road) has been operated as a rental business for the past several years. In that time our neighbourhood has regularly been subjected to loud and rude behaviour from the renters, impinging on the quiet and peaceful enjoyment of my property and that of my neighbours. Noise is a particular issue as this is a waterfront property and sound readily carries over water. (No doubt his renters belting out 'Star Spangled Banner' from the sundeck could be heard clear across the harbour to South Pender.)

The applicant, David Rawlings, does not live on nor in close proximity to the property so he does not have to deal with the consequences of his customers 'blowing off steam'. Having already demonstrated a lack of care in screening his renters it is unlikely that switching to short-term rental is going to improve the situation simply because a few notices have been posted on the premises reminding his customers to behave themselves. This is an area of mostly owner-occupied residences who are respectful of each other; it is not an appropriate location for a business whose only benefit is to financially reward the applicant at the expense of the neighbourhood.

Alan Harper  
[REDACTED] Pender Island

File No.: NP-6500-20-2023: Housing  
Access and Affordability  
Project

DATE OF MEETING: May 30, 2025  
TO: North Pender Island Local Trust Committee  
FROM: Brad Smith, Island Planner  
Southern Team  
COPY: Robert Kojima, Regional Planning Manager  
SUBJECT: Housing Access and Affordability Project – Housing Action Plan Endorsement

## RECOMMENDATION

1. That the North Pender Island Local Trust Committee gives final endorsement to the attached Housing Action Plan dated May 14, 2025, and directs staff to proceed with Housing Action Plan implementation.

## REPORT SUMMARY

This report is to seek direction from the North Pender Island Local Trust Committee (LTC) on the attached draft Housing Action Plan which is a key deliverable of the LTC's Housing Access and Affordability Project.

The recommendation above is supported as:

- Significant work has been done to collect and analyse information related to housing needs, barriers and potential opportunities;
- The proposed actions in the Housing Action Plan are largely based on community input and the recommendations of the special Advisory Planning Commission on Housing (APC); and
- Final endorsement of the Housing Action Plan will enable staff to shift from plan development to implementation.

## BACKGROUND

The LTC has initiated a Housing Access and Affordability Project. As part of the project, at the November 29, 2024 meeting the LTC passed the following resolutions:

**NP-2024-069****It was MOVED and SECONDED,**

that North Pender Island Local Trust Committee directs staff to initiate the development of a draft Housing Action Plan that considers the recommendations of the Special Advisory Planning Commission on Housing and results of community engagement including the housing needs survey results.

**CARRIED**

**NP-2024-070****It was MOVED and SECONDED,**

that North Pender Island Local Trust Committee requests that the Special Advisory Planning Commission on Housing review the 2024 Housing Needs Assessment survey results and provide input into the development of a draft Housing Action Plan.

**CARRIED**

Subsequently, at the January 31, 2025 meeting, the LTC received a second APC report with recommendations on short and long-term actions to increase affordable housing on North Pender Island, and at the April 4, 2025 meeting, the LTC received a draft Housing Action Plan that considers these recommendations. Staff have now completed additional community consultation on the draft Plan and are seeking final LTC endorsement.

Additional project information, including previous staff reports, is available here:

<https://islandstrust.bc.ca/island-planning/north-pender/projects/>

**ISSUES AND OPPORTUNITIES*****Draft Housing Action Plan***

The North Pender Island Housing Action Plan (Attachment 1) is based on the [Islands Trust Housing Toolkit Action Plan template](#).

The Plan identifies a number of policy, regulatory, advocacy and other actions associated with five key goals intended to improve housing access and affordability on North Pender Island. For each goal identified, there is an associated objective statement and actions. The five goals are:

**Goal 1: Updating and Using Available Data to Inform Housing Projects**

**Goal 2: Diversifying Housing Options through Zoning**

**Goal 3: Increasing Opportunities for Non-Profit Housing**

**Goal 4: Increasing Community Education and Outreach**

**Goal 5: Incorporate First Nations Interests in Land Use Decision Making**

The Housing Action Plan is informed by the work of the APC, which has done an extensive review of available information resulting in two recommendation reports, submitted to the LTC in [November 2024](#) and [January 2025](#). The Plan is also informed by community consultation conducted by staff and the LTC as part of the Housing project, including four Community Information Meetings and the completion of a [Pender Islands Housing Needs Survey](#) that received over 480 responses.

The LTC could request inclusion of additional items in the draft Housing Action Plan or exclusion of recommended actions prior to final endorsement.

A Community Information Meeting was held at the North Pender Community Hall on April 12, 2025. At that meeting, staff presented the draft Housing Action Plan to the public. Feedback was positive and no significant changes were proposed to the version that was presented to the LTC at the April 4, 2025 meeting.

The project is on track with the project workplan as shown below. As the project moves into the implementation phase, work will focus on finalizing suitable land and build-out analyses, the development of options for legislative amendments to increase housing options, and project communications and outreach both to First Nations and the public. A budget of \$8,000 for the project is available in the current fiscal year.

**We are here**

- Significant work has been done to collect and analyse information related to housing needs, barriers and potential opportunities;
- The proposed actions in the Housing Action Plan are largely based on community input and the recommendations of the special Advisory Planning Commission on Housing (APC); and
- Final endorsement of the Housing Action Plan will enable staff to shift from plan development to implementation.

## ALTERNATIVES

The LTC may consider the following alternatives to the staff recommendation:

### 1. Request further information

The LTC may request further information prior to making a decision. Staff advise that the implications of this alternative are that commencing work on the project would be delayed. Recommended wording for the resolution is as follows:

*That the North Pender Island Local Trust Committee request that...*

### 2. Request changes to the Housing Action Plan

The LTC could request changes to the Housing Action Plan. Recommended wording for the resolution is as follows:

*That the North Pender Island Local Trust Committee directs that \_\_\_\_\_ be added (or deleted) from the Housing Action Plan dated May 14, 2025.*

### 3. Receive for information

The LTC may receive the report for information.

## NEXT STEPS

With direction from the LTC, staff will initiate plan implementation.

|               |                                          |              |
|---------------|------------------------------------------|--------------|
| Submitted By: | Brad Smith, Island Planner               | May 14, 2025 |
| Concurrence:  | Robert Kojima, Regional Planning Manager | May 14, 2025 |

1. Housing Action Plan dated May 14, 2025

# North Pender Island Housing Action Plan – May 14, 2025\_Final

## Why Develop a Housing Action Plan For North Pender Island?

The traditional approach to land use planning on the islands in the Islands Trust Area has resulted in zoning that has almost exclusively supported the development of single-family dwellings, limiting housing options for those not able to own a property. Lack of housing inventory, increasing property values and rental prices in recent years have made purchasing and renting existing housing stock even less accessible for those currently living on North Pender Island.

The limitation of housing options has been a key concern on North Pender Island for over a decade. Previous North Pender Island Local Trust Committees (LTCs) have taken actions such as permitting secondary suites and limiting and regulating short-term vacation rentals as discrete initiatives. While these efforts have resulted in some increased land use policy and regulatory support for a mix of housing options, housing issues are a growing concern on the island, as they are in many other communities.

In response to these growing concerns, the LTC has initiated a [Housing Access and Affordability Project](#). The purpose of this project is to review housing options, to undertake housing related bylaw amendments and to develop a housing action plan. The project has been underway since the summer of 2024, with initial efforts focussing on community consultation and the work of a special Advisory Planning Commission (APC) on Housing.

Housing is also a priority of Trust Council. In 2023, Trust Council endorsed a [Housing Strategic Action Plan](#) to guide Trust-wide housing policy development and advocacy that supports Trust Council’s goal to sustain island character and healthy communities. The Plan provides a framework to guide decision-making and allocate resources to help resolve the housing equity and workforce shortage crisis in the Islands Trust Area. A [Housing Options Toolkit](#) is available to support housing initiatives.

## Housing for Who?

The housing most needed for North Pender Island falls within the shaded area on the spectrum of housing needs in the table below. A diversity of housing options are needed for seniors, families and workers who do not currently own properties as well as long-time residents who own properties on the island but are looking to downsize.

**Table 1: Spectrum of Housing Need**

| Short-Term Accommodation           | Affordable Housing                 |                                       | Market Housing        |                                |
|------------------------------------|------------------------------------|---------------------------------------|-----------------------|--------------------------------|
| Emergency Shelter and Transitional | Affordable and Below market rental | Affordable and Below Market Ownership | Market Rental Housing | Single Detached Market Housing |

Information provided by: [The 2018 Housing Needs Assessment for the Southern Gulf Islands, 2021 Statistics Canada Census Data](#) and the [Capital Regional District’s 2022 SGI Housing Market Analysis Report](#) identify that the primary housing need on North Pender Island is for rental and market housing

that is affordable and attainable by low to middle income households. As defined by BC Housing “housing is considered affordable when 30 per cent or less of your household’s income goes toward paying for your housing costs”.

The Action Plan is informed by the work of the APC, which has done an extensive review of available information resulting in two recommendation reports, submitted to the LTC in [November 2024](#) and [January 2025](#). The Plan is also informed by community consultation conducted by staff and the LTC as part of the Housing project, including three Community Information Meetings and the completion of a [Pender Islands Housing Needs Survey](#) that received over 480 responses. Survey results were largely consistent with the findings of the other reports described above in respect of housing needs.

Although specific to North Pender Island, and the scope of planning authority of the Local Trust Committee, the Action Plan is intended to align with the Capital Regional District’s (CRD’s) Southern [Gulf Islands Housing Strategy](#), which outlines seven objectives and twenty-two actions to address the need for affordable housing in the Southern Gulf Islands.

## **Action Plan Goals, Objectives and Actions**

This Action Plan identifies a number of policy, regulatory, advocacy and other actions associated with five key goals intended to improve housing access and affordability on North Pender Island. For each goal identified, there is an associated objective statement and actions. Successfully enacting goals 2-4 are dependent on the completion of the data gathering described in Goal 1.

The Housing Action Plan focusses on the delivery of five key goals:

- Goal 1: Updating and Using Available Data to Inform Housing Projects**
- Goal 2: Diversifying Housing Options through Zoning**
- Goal 3: Increasing Opportunities for Non-Profit Housing**
- Goal 4: Increasing Community Education and Outreach**
- Goal 5: Incorporate First Nations Interests in Land Use Decision Making**

### ***Goal 1: Updating and Using Available Data to Inform Housing Projects***

**Objective:** The objective of this goal is to help inform where additional density and intensity of land use will likely have the least negative impact on the land base, and where development opportunity may exist. Understanding existing conditions and potential impacts will help determine where rezoning for more intense use may be supportable.

#### Actions:

1. Finalize and Review Suitable Land Analysis and make results publicly accessible
2. Complete island-wide build-out analysis
3. Present results of Action 1 and 2 to public at a Community Information Meeting (CIM)

### ***Goal 2: Diversifying Housing Options through Zoning***

**Objective:** The objective of this goal is to provide a broader diversity of housing options on North Pender Island through amendments to land use zoning and associated OCP policies

**Actions:**

4. Expand opportunities to create secondary suites and permit Accessory Dwelling Units (ADU).
5. Explore opportunities for zoning changes to permit higher density Multi-Unit Development in areas with a concentration of community amenities.
6. Explore legalizing the use of RVs in appropriate areas considering set-backs, parking, access, septic, available water, visual aesthetics, and fire safety.
7. Explore opportunities to permit worker accommodation (e.g. at community firehalls, Driftwood Center etc.).
8. Explore permitting the use of Tiny Homes as ADUs or establishing higher density tiny home zones (e.g. modular home villages) in appropriate areas considering, set-backs, parking, access, septic, available water, visual aesthetics and fire safety.
9. Explore permitting non-market housing in all residential land use zones and in some public land use zones, where appropriate (e.g. school properties, community service).

***Goal 3: Increasing Opportunities for Non-Profit Housing***

**Objective:** The objective of this goal is to increase opportunities for land to be made available for affordable housing by a not-for-profit organization, and to generate greater community interest and capacity to support this development.

**Actions:**

10. Identify areas that may be appropriate for higher density community housing and explore rezoning.
11. Explore rezoning of a portion of Anglican Church lands to permit affordable housing.
12. Explore options at time of subdivision to increase opportunities for affordable housing (e.g. land donation in exchange for rezoning to permit subdivision, allowing smaller lot sizes for affordable housing).
13. Engage in advocacy and collaboration with other levels of government on island-based affordable housing initiatives including potential expansion of Plum Tree Court.
14. Engage with community members to increase participation in community housing initiatives and non-profit community housing organizations.

***Goal 4: Increasing Community Education and Outreach***

**Objective:** The objective of this goal is to increase community education and outreach in respect of housing initiatives, improve the information available to the public, and make it more accessible to a broader audience.

**Associated Actions:**

15. Increase awareness of secondary suite incentives and other housing programs (E.g. templates of house plans pre-approved by the province).
16. Initiate an island-wide mail out describing project goals and objectives and opportunities to become involved in housing initiatives.
17. Develop educational materials to inform the public of changes to zoning and results of project deliverables.

18. Review guidelines for Short Term Vacation Rentals (could include consideration of removal or amendment of Temporary Use Guidelines from OCP) and develop educational materials.
19. Collaborate with the Capital Regional District (CRD) and other levels of government on harmonization of compatible housing projects and programs.

***Goal 5: Incorporating First Nations Interests in Land Use Decision Making***

**Objective:** The objective of this goal is to continue to foster collaborative working relationships with local First Nations who have an interest in housing initiatives on North Pender Island and to address housing needs of First Nations on the island.

**Associated Actions:**

20. Send follow-up letter to initiate further collaborative engagement with local First Nations on housing needs and opportunities.
21. Initiate direct collaborative engagement with Tsawout First Nation [Housing Department](#).
22. Ensure that known registered archeological sites and potential archeological sites are considered when developing amendments to housing-related bylaws.

**Table: Housing Action Plan Implementation**

| #                                                                           | Action                                                                                                                                                                                                                                            | Timeline                                                                                                           | Status/Comments                                                                                                                                                                                               |
|-----------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Goal 1: Updating and Using Available Data to Inform Housing Projects</b> |                                                                                                                                                                                                                                                   |                                                                                                                    |                                                                                                                                                                                                               |
| 1                                                                           | Finalize Suitable Land Analysis and make results publicly accessible                                                                                                                                                                              | Completion – Summer/Fall 2025<br>Roll-out – Fall/Winter 2025                                                       | <ul style="list-style-type: none"> <li>Project is underway at Regional Planning level</li> <li>Will require time for staff and Trustee review of results and revisions as needed</li> </ul>                   |
| 2                                                                           | Complete island-wide build-out analysis                                                                                                                                                                                                           | Procurement – Spring 2025<br>Completion – Summer/Fall 2025<br>Roll-out – Fall/Winter 2025                          | <ul style="list-style-type: none"> <li>Requires internal GIS resources or funding for contractor to complete work</li> </ul>                                                                                  |
| 3                                                                           | Present results of 1 and 2 at a Community Information Meeting (CIM)                                                                                                                                                                               | Fall/Winter 2025                                                                                                   |                                                                                                                                                                                                               |
| <b>Goal 2: Diversifying Housing Options through Zoning</b>                  |                                                                                                                                                                                                                                                   |                                                                                                                    |                                                                                                                                                                                                               |
| 4                                                                           | Expand opportunities to create secondary suites and permit Accessory Dwelling Units (ADU)                                                                                                                                                         | Community engagement – Remainder of 2025<br>Legislative process – Winter-Summer 2026<br>Implementation – Fall 2026 | <ul style="list-style-type: none"> <li>These actions will all be moved forward at the same time through community engagement, drafting of bylaw amendments, legislative process and implementation</li> </ul> |
| 5                                                                           | Explore opportunities for zoning changes to permit higher density Multi- Unit Development in areas with a concentration of community amenities                                                                                                    |                                                                                                                    |                                                                                                                                                                                                               |
| 6                                                                           | Explore legalizing the use of RVs in appropriate areas considering set-backs, parking, access, septic, available water, visual aesthetics, and fire safety.                                                                                       |                                                                                                                    |                                                                                                                                                                                                               |
| 7                                                                           | Explore opportunities to permit worker accommodation (e.g at community firehalls, Driftwood Center.)                                                                                                                                              |                                                                                                                    |                                                                                                                                                                                                               |
| 8                                                                           | Explore permitting the use of Tiny Homes as ADUs or establishing higher density tiny home zones (e.g. modular home villages) in appropriate areas considering set-backs, parking, access, septic, available water, visual aesthetics, fire safety |                                                                                                                    |                                                                                                                                                                                                               |
| 9                                                                           | Explore permitting rezoning for non-market housing in all residential land use designations and also in some public land use designations (e.g. school properties, community service)                                                             |                                                                                                                    |                                                                                                                                                                                                               |
| <b>Goal 3: Increasing Opportunities for Non-Profit Housing</b>              |                                                                                                                                                                                                                                                   |                                                                                                                    |                                                                                                                                                                                                               |
| 10                                                                          | Identify areas that may be appropriate for higher density community housing and explore rezoning                                                                                                                                                  | Fall/Winter 2025                                                                                                   | <ul style="list-style-type: none"> <li>Dependent on completion of Suitable Land Analysis</li> </ul>                                                                                                           |

|                                                            |                                                                                                                                                                                                            |                                                                                                                      |                                                                                                                                                                                                         |
|------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                                                            |                                                                                                                                                                                                            |                                                                                                                      | <ul style="list-style-type: none"> <li>Any bylaw amendments would follow same timelines as Goal 2.</li> </ul>                                                                                           |
| 11                                                         | Explore rezoning of a portion of Anglican Church lands to permit affordable housing.                                                                                                                       | Fall/Winter 2025                                                                                                     | <ul style="list-style-type: none"> <li>Preliminary engagement has already occurred with Anglican diocese</li> <li>Any bylaw amendments would follow same timelines as Goal 2.</li> </ul>                |
| 12                                                         | Explore options at time of subdivision to increase opportunities for affordable housing (e.g. land donation in exchange rezoning to permit subdivision, allowing smaller lot sizes for affordable housing) | Community engagement – Remainder of 2025<br>Legislative process – Winter - Summer 2026<br>Implementation – Fall 2026 | <ul style="list-style-type: none"> <li>Any bylaw amendments would follow same timelines as Goal 2.</li> </ul>                                                                                           |
| 13                                                         | Engage in advocacy and collaboration with other levels of government on island-based affordable housing initiatives including potential expansion of Plum Tree Court.                                      | Winter 2025                                                                                                          | <ul style="list-style-type: none"> <li></li> </ul>                                                                                                                                                      |
| 14                                                         | Engage with community members to increase participation in community housing initiatives and non-profit community housing organizations.                                                                   | Ongoing                                                                                                              | <ul style="list-style-type: none"> <li>Interest level and engagement has increased since the start of the project.</li> <li>APC is an effective avenue for getting citizens involved.</li> </ul>        |
| <b>Goal 4: Increasing Community Education and Outreach</b> |                                                                                                                                                                                                            |                                                                                                                      |                                                                                                                                                                                                         |
| 15                                                         | Increase awareness of secondary suite incentives and other housing programs (e.g. templates of house plans pre-approved by the province).                                                                  | Winter 2025                                                                                                          | <ul style="list-style-type: none"> <li>Mailout could be considered</li> <li>Will collaborate with CRD</li> <li>Province has developed <a href="#">standardized housing designs catalogue</a></li> </ul> |
| 16                                                         | Initiate island wide mail out describing project goals and objectives and opportunities to become involved in housing initiatives                                                                          | Spring/Summer 2025                                                                                                   |                                                                                                                                                                                                         |
| 17                                                         | Develop educational materials to inform the public of changes to zoning and results of project deliverables                                                                                                | Development – Summer 2026<br>Roll-out - Fall 2026                                                                    | <ul style="list-style-type: none"> <li>Dependent on completion of bylaw amendments</li> </ul>                                                                                                           |
| 18                                                         | Review Short Term Vacation Rental guidelines (could include consideration of removal or amendment of Temporary Use Guidelines from OCP) and develop educational materials.                                 | Roll-out of Educational Materials – Fall 2026                                                                        | <ul style="list-style-type: none"> <li>Any bylaw amendments would follow same timelines as Goal 2.</li> </ul>                                                                                           |
| 19                                                         | Collaborate with the Capital Regional District (CRD) and other levels of government on harmonization of compatible housing projects and programs.                                                          | Ongoing                                                                                                              |                                                                                                                                                                                                         |

| Goal 5: Incorporating First Nations Interests in Land Use Decision Making |                                                                                                                                                        |                                       |                                                                                                                                   |
|---------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------|
| 20                                                                        | Send follow-up letter to initiate further collaborative engagement with local First Nations on housing needs and opportunities.                        | Spring 2025                           | <ul style="list-style-type: none"> <li>An early engagement letter was sent in late summer 2024. No responses received.</li> </ul> |
| 21                                                                        | Initiate direct collaborative engagement with Tsawout First Nation Housing Department                                                                  | Schedule Meeting – Spring/Summer 2025 | <ul style="list-style-type: none"> <li>Other First Nations may be identified</li> </ul>                                           |
| 22                                                                        | Ensure that known registered archeological site and archeological potential information is considered when developing housing related bylaw amendments | Winter 2025 – Spring 2026             |                                                                                                                                   |

## Active Projects Report

### North Pender Island

#### 0. Major project - Housing Access and Affordability Project

#### Responsible

#### Dates

**Activity:**

Brad Smith

Rec'd: 26-May-2023

Pre-project phase: establish project scope and submit business case for Trust Council approval

Target: 31-Dec-2025

Consultation - special APC to review issues and provide recommendations

#### 0. Minor project - Update of Raptors Nest DPAs

#### Responsible

#### Dates

**Activity:**

Brad Smith

Rec'd: 26-May-2023

To review and update DPA mapping, DPA provisions, undertake consultation and legislative process to adopt OCP amendment

Target: 31-Oct-2025

## Future Projects Report

### North Pender Island

#### 1. *Coastal Douglas Fir Ecosystem*

Responsible

Date Received

Consider implementation of toolkit and mapping  
- LPC to develop model bylaw in 2021-22

01-Feb-2019

#### 2. *Accessory Dwelling Units*

Responsible

Date Received

Review options for accessory dwelling units on North Pender.

26-May-2022

#### 3. *Review DPAs*

Responsible

Date Received

To review the Development Permit Areas in the NP Official Community Plan to update guidelines, requirements, and outline options for new DPAs including forest cover, tree cutting and removal.

11-Aug-2022

#### 4. *Browning to Driftwood Corridor Plan*

Responsible

Date Received

Coordination on a transportation plan for the Driftwood to Port Browning corridor.

11-Aug-2022

#### 5. *Soil Bylaw Project*

Responsible

Date Received

Work on Soil bylaw was undertaken in 2021 and 2022. Project deferred prior to bylaw readings

29-Apr-2021

## Future Projects Report

### North Pender Island

#### 6. *Public engagement on groundwater data*

Responsible

Date Received

Project to present information on groundwater project to public and educate landowners

26-May-2023

#### 7. *Fire Inspection requirements for STVRs*

Responsible

Date Received

05-Apr-2024



# North Pender Local Trust Committee

## Open Applications

### Report

Print Date: May 22, 2025

#### Development Permit

| Application Number | Applicant Name | Date Received | Address                              | Purpose                                |
|--------------------|----------------|---------------|--------------------------------------|----------------------------------------|
| PLDP20250171       | Jack Ferguson  | 4/24/2025     | 2705 YAWL LANE, PENDER ISLAN         | <Optional, enter comments if required> |
| Planner            |                | Status        | Most Recent Completed Activity       |                                        |
| Bruce Belcher      |                | Under Review  | Generate Complete Application Letter |                                        |

| Application Number | Applicant Name | Date Received         | Address                        | Purpose                                                                                                        |
|--------------------|----------------|-----------------------|--------------------------------|----------------------------------------------------------------------------------------------------------------|
| NP-DP-2024.3       | Robert Gamel   | 2/16/2024             | 385 EVERGREEN LANE             | GAMEL - 385 EVERGREEN LANE: Application for a DP for development in the Sidney Island Geotechnical Area B DPA. |
| Planner            |                | Status                | Most Recent Completed Activity |                                                                                                                |
| Bruce Belcher      |                | Local Trust Committee | Planning Review                |                                                                                                                |

## North Pender

### Development Variance Permit

| Application Number | Applicant Name | Date Received         | Address                         | Purpose                                                                                                                                                               |
|--------------------|----------------|-----------------------|---------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| PLDVP20240350      | Doug Smith     | 12/13/2024            | 5410 HOOSON RD, PENDER ISLAN    | The owners are applying for a height variance to repurpose the barn to an accessory building, seeking a building height of 8.61m to save and reuse the existing barn. |
| Planner            |                | Status                | Most Recent Completed Activity  |                                                                                                                                                                       |
| Bruce Belcher      |                | Waiting for Revisions | Record LTC Decision/Update FUAL |                                                                                                                                                                       |

| Application Number | Applicant Name | Date Received         | Address                        | Purpose                                                                                                              |
|--------------------|----------------|-----------------------|--------------------------------|----------------------------------------------------------------------------------------------------------------------|
| PLDVP20250124      | Rolf Hurbin    | 3/17/2025             | 2319 MACKINNON RD, PENDER IS   | Application for a variance for siting of boulders and riprap to remediate a landslip within the setback from the sea |
| Planner            |                | Status                | Most Recent Completed Activity |                                                                                                                      |
| Bruce Belcher      |                | Local Trust Committee | Email Applicant of LTC Meeting |                                                                                                                      |

| Application Number | Applicant Name | Date Received         | Address                        | Purpose                                                                                           |
|--------------------|----------------|-----------------------|--------------------------------|---------------------------------------------------------------------------------------------------|
| PLDVP20250086      | Angela Wood    | 2/19/2025             | 1204 PORT WASHINGTON RD, PEN   | A Development Variance Permit Application for a variance for the height of an accessory building. |
| Planner            |                | Status                | Most Recent Completed Activity |                                                                                                   |
| Bruce Belcher      |                | Local Trust Committee | Email Applicant of LTC Meeting |                                                                                                   |

## North Pender

### Rezoning

| Application Number | Applicant Name | Date Received         | Address                         | Purpose                                                                                                                                                                          |
|--------------------|----------------|-----------------------|---------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| NP-RZ-2024.1       | Aaron Grimmer  | 1/8/2024              | 4415 BEDWELL HARBOUR RD, PE     | Application for rezoning to amend the land use bylaw and OCP to permit Gulf Excavating to continue operations as established under the temporary use permit. Bylaws 236 and 237. |
| Planner            |                | Status                | Most Recent Completed Activity  |                                                                                                                                                                                  |
| Brad Smith         |                | Local Trust Committee | Record LTC Decision/Update FUAL |                                                                                                                                                                                  |

| Application Number | Applicant Name | Date Received         | Address                        | Purpose                                          |
|--------------------|----------------|-----------------------|--------------------------------|--------------------------------------------------|
| PLRZ20240110       | Braedon Bigham | 6/27/2024             | 3334 PORT WASHINGTON RD, PEN   | Amend zoning to bring BDE into zoning compliance |
| Planner            |                | Status                | Most Recent Completed Activity |                                                  |
| Brad Smith         |                | Local Trust Committee | Email Applicant of LTC Meeting |                                                  |

## North Pender

| Subdivision        |                  |                         |                                |                                                                                              |
|--------------------|------------------|-------------------------|--------------------------------|----------------------------------------------------------------------------------------------|
| Application Number | Applicant Name   | Date Received           | Address                        | Purpose                                                                                      |
| NP-SUB-2023.1      | Brent Mayenburg  | 9/22/2023               |                                | 2218 Clam Bay Road - Edgewood Estates - Re-activated subdivision for 12 lot bare land strata |
| Planner            |                  | Status                  | Most Recent Completed Activity |                                                                                              |
| Bruce Belcher      |                  | Waiting for Conditions  | Determine Next Steps - PL      |                                                                                              |
| Application Number | Applicant Name   | Date Received           | Address                        | Purpose                                                                                      |
| NP-SUB-2023.2      | Greg Atkins      | 10/18/2023              | 0 JAMES ISLAND                 | Lots 1-5, James Island: Referral of a subdivision application for 79 new lots                |
| Planner            |                  | Status                  | Most Recent Completed Activity |                                                                                              |
| Brad Smith         |                  | Administrative Approval | Record and File PLR            |                                                                                              |
| Application Number | Applicant Name   | Date Received           | Address                        | Purpose                                                                                      |
| NP-SUB-2020.1      | Bradford Gilbert | 3/5/2020                | 1610 SCHOONER WAY, PENDER I    | A subdivision referral for a boundary adjustment subdivision.                                |
| Planner            |                  | Status                  | Most Recent Completed Activity |                                                                                              |
| Bruce Belcher      |                  | Administrative Approval | Record and File PLR            |                                                                                              |

## North Pender

### Temporary Use Permit

| Application Number | Applicant Name | Date Received         | Address                        | Purpose                                       |
|--------------------|----------------|-----------------------|--------------------------------|-----------------------------------------------|
| PLTUP20250093      | David Rawlings | 2/26/2025             | 6622 RAZOR POINT RD, PENDER I  | Use of private residence as short term rental |
| Planner            |                | Status                | Most Recent Completed Activity |                                               |
| Bruce Belcher      |                | Local Trust Committee | Email Applicant of LTC Meeting |                                               |

***Islands Trust***  
LTC EXP SUMMARY REPORT F2025  
Invoices posted to Month ending February 2025

| 650 North Pender        | Invoices posted to Month ending February 2025 | <u>Budget</u>    | <u>Spent</u>    | <u>Balance</u>   |
|-------------------------|-----------------------------------------------|------------------|-----------------|------------------|
| 65000-650               | LTC "Trustee Expenses"                        | 300.00           | 0.00            | 300.00           |
| LTC Local               |                                               |                  |                 |                  |
| 65200-650               | LTC - Local Exp - LTC Meeting Expenses        | 1,670.00         | 910.48          | 759.52           |
| 65210-650               | LTC - Local Exp - APC Meeting Expenses        | 300.00           | 1,369.26        | -1,069.26        |
| TOTAL LTC Local Expense |                                               | <u>1,970.00</u>  | <u>2,279.74</u> | <u>-309.74</u>   |
| Projects                |                                               |                  |                 |                  |
| 73001-650-4132          | North Pender Raptor Nest DPA update           | 5,000.00         | 90.00           | 4,910.00         |
| 73001-650-4137          | North Pender Housing Access & Affordability   | 15,000.00        | 1,615.86        | 13,384.14        |
| TOTAL Project Expenses  |                                               | <u>20,000.00</u> | <u>1,705.86</u> | <u>18,294.14</u> |

## Standing Resolutions Log

### North Pender Island

| Resolution Number                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | Action  | Date        |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------|-------------|
| <b>2023-040 (Standing)</b><br><br><b>Proposed Bylaws 224 &amp; 229 - 4606 Razor Point Rd</b><br><br>That the North Pender Island Local Trust Committee move to suspend bylaw enforcement on the Industrial zoned portion of 4606 Razor Point Road until the completion of Bylaw 224 and 229.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | Carried | 11-Mar-2023 |
| <b>2022-002 (Standing)</b><br><br><b>Travel Trailer Enforcement</b><br><br>that the North Pender Island Local Trust Committee direct bylaw staff to defer enforcement on unlawful dwellings, except in the following circumstances:<br>a. There are concerns regarding health and safety;<br>b. There are concerns that sewage is not being disposed of in an approved septic or sewage disposal system; or that septic or sewage disposal systems are beings used in excess of capacity or ability as a result of unlawful dwellings;<br>c. There are concerns of possible contamination of wells or other drinking water sources;<br>d. Unlawful dwellings are in environmentally sensitive areas;<br>e. There are non-permitted campgrounds; and<br>f. That the North Pender Island Local Trust Committee may give direction to resume enforcement on activities on any property that poses risk to the health and safety of the neighbouring residents or the residents on the property subject to enforcement. | Carried | 27-Jan-2022 |

## Standing Resolutions Log

### North Pender Island

| Resolution Number                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | Action         | Date               |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------|--------------------|
| <b>2020-010 (Standing)</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | <b>Carried</b> | <b>30-Jan-2020</b> |
| <p><b>15.1 Policy options for Bylaw Enforcement Compliance on unlawful uses</b></p> <p>that the North Pender Island Local Trust Committee adopt the following policy on unlawful land uses and planning applications:</p> <p>a. Where an application is received and a use is continuing in contravention of a land use bylaw, staff are directed to request that the applicant cease the use prior to processing the application, and staff are directed to continue with enforcement until the use is ceased.</p> <p>b. The applicant may request that the Local Trust Committee proceed with consideration of the application while the use is continuing; and, where the Local Trust Committee considers there is a community need to process the application while the prohibited use is continuing, the Local Trust Committee may direct that bylaw enforcement actions, including the issuing of notices, cease.</p> <p>c. Where the Local Trust Committee does not consider that there is a community need, or the applicant has not made such a request of the Local Trust Committee, bylaw enforcement actions, including the issuing of notices will continue</p> <p>d. In deciding whether to grant land use approval for a use that was commenced in contravention of a land use bylaw, the Local Trust Committee may consider whether the applicant has suspended the prohibited land use pending a decision on the application.</p> |                |                    |
| <b>2019-074 (Standing)</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | <b>Carried</b> | <b>04-Jul-2019</b> |
| <p><b>13.3 Model Cell Tower Strategy - Staff Briefing</b></p> <p>that the North Pender Island Local Trust Committee adopt the model cell tower strategy for future review and consideration of proposals.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                |                    |

## Standing Resolutions Log

### North Pender Island

| Resolution Number                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | Action  | Date        |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------|-------------|
| <b>2019-072 (Standing)</b><br><br><b>13.2 Standing Resolution - Reconciliation Report</b><br><br>that the North Pender Island Local Trust Committee adopt the following standing resolution with respect to First Nations in the Local Trust Area: Whereas the Local Trust Committee seeks to engage in Reconciliation with local First Nations, governments and the island community by honouring the Truth and Reconciliation Commission (TRC) Calls to Action, United Nations Declaration on the Rights of Indigenous Peoples (UNDRIP), Draft Principles that Guide the Province of British Columbia's Relationship with Indigenous Peoples, and Islands Trust First Nations Engagement Principles, the Local Trust Committee endeavours to: a) Annually, write a letter to First Nations, (re)introducing trustees and staff and provide a schedule of known Local Trust Committee meetings for the upcoming year, as well as, provide an update of current projects and advocacy activities; b) For various Local Trust Committee meetings, invite elders from local First Nations to attend and provide a traditional welcome to the territory; c) Work with First Nation governments on cooperative initiatives, including and not limited to, language, place names, territorial acknowledgements, and community education on Coast Salish and local First Nations' cultural heritage and history; d) Work with First Nation governments on engagement principles for inclusive land use, marine use, and climate change planning; advocacy, protection and stewardship; and knowledge and information sharing protocols; e) Establish and maintain government-to-government dialogue with First Nations, now and into the future, based on respect and recognition of Aboriginal rights and title, treaty rights, and First Nations' traditional territories within the Islands Trust Area. | Carried | 04-Jul-2019 |
| <b>2019-061 (Standing)</b><br><br><b>16.2. Rise and Report</b><br><br>that the North Pender Local Trust Community refer Short Term Vacation Rental Temporary Use Permits in the Magic Lake sewer catchment to the Magic Lake Sewer and Water Committee to confirm infrastructure capacity.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | Carried | 30-May-2019 |
| <b>2019-030 (Standing)</b><br><br><b>13.2 Advisory Planning Commission - Staff Memo</b><br><br>that the North Pender Island Local Trust Committee request that prior to expiration of Advisory Planning Commission members terms of office, staff write to commissioners asking if they wish to be reappointed and also advertise for expressions of interest for new commissioners.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | Carried | 28-Feb-2019 |

## Standing Resolutions Log

### North Pender Island

| Resolution Number                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | Action  | Date        |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------|-------------|
| <b>2019-016 (Standing)</b><br><br><b>12.4 Adopted Policies and Standing Resolutions</b><br><br>that the North Pender Island Local Trust Committee directs bylaw enforcement officers to commence bylaw investigations and enforcement without written complaint if bylaw violations related to disposal or storage of waste or recyclable materials or storage of vehicles or vehicle parts are observed by the bylaw enforcement officer while doing inspections for other issues or if it is reliably reported to the officer that such activity may be taking place.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | Carried | 31-Jan-2019 |
| <b>2018-070 (Standing)</b><br><br><b>12.2 Retail Cannabis Licensing - Staff Report</b><br><br>that the North Pender Island Local Trust Committee adopt the following standing resolution with respect to the processing of non-medical cannabis retail license applications: - Proposed or amended licenses for non-medical cannabis retail establishments require an application to the Local Trust Committee. - The application process shall comprise a public consultation component, which includes at least one notification to neighbours, one public meeting, posting of public notices and one advertisement in a local periodical. - The public consultation process shall be determined by the local trust committee after initial review of the proposal. - However, as a minimum, the Local Trust Committee will mail or otherwise deliver a notice to all owners and residents of properties within a 500 metre radius of the subject property, where the establishment is proposed at least 10 days before adoption of a resolution providing comment on the application. The required notice shall include the following information: o Name of the applicant and a description of the proposal in general terms. o The location of the proposed establishment and the subject site. o The place, date and time when, both a build meeting will be held and a resolution of the Local Trust Committee is considered. o The name and contact information of the Islands Trust planning staff member who can provide copies of the proposed or amended license application. o How public comments may be submitted to the local trust committee. | Carried | 06-Sep-2018 |
| <b>2006-080 (Standing)</b><br><br><b>Communications Policy</b><br><br>Policy Number NP-LTC-01-06 (Communications Policy) establishes guidance for the preparation and dissemination of routine non-statutory notices, extraordinary notices and trustee newsletters.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | Carried | 25-May-2006 |



## ISLANDS TRUST CONSERVANCY REPORT TO LOCAL TRUST COMMITTEES AND BOWEN ISLAND MUNICIPALITY

### HIGHLIGHTS OF ISLANDS TRUST CONSERVANCY March 18<sup>th</sup>, 2025 BOARD MEETING

*NOTE: For more detail on Islands Trust Conservancy meetings, including meeting minutes, please visit <https://islandstrust.bc.ca/whats-happening/meetings-and-events/>*

#### 1. STRATEGIC PLANNING/ADMINISTRATION

- The ITC Board rose and reported that a meeting was held between ITC staff and the Ministry of Housing and Municipal Affairs concerning land disposition, including transfer of land to Indigenous Governing Bodies. The Ministry staff's recommendation was for the ITC Board to develop a policy and include it in ITC's Five-Year Plan (2028-2032) for the Minister's consideration.
- The ITC Board directed staff to notify the Salt Spring Island Local Trust Committee that Islands Trust Conservancy's interests are unaffected by Bylaw No. 541 Referral.
- Chair Gauvreau presented the briefing on an invitation to join the Centre for Land Conservation's Land Trust Certification Pilot Program. The ITC Board requested Chair Gauvreau to write a letter declining the invitation to join pilot program.
- Species at Risk Program Coordinator Wheeler presented a briefing on the North Pender Island Bylaw 235 Referral regarding updating Raptor and Heron Nest Development Permit Area (DPA) mapping and associated provisions from 2008 and provided additional Species at Risk information to consider to the Islands Trust planning team.
- Trustee Patrick joined the ITC Board Meeting to discuss the April 23<sup>rd</sup>, 2025 EC-ITC Joint Meeting agenda topics. Discussion ensued and agenda topics were identified.
- Trustee Elliott provided a Trust Council update to the ITC Board reporting on a number of items, including Trustee Patrick's election as Chair of Trust Council.
- Chair Gauvreau advised that the ITC budget for 2025/26 was approved by Trust Council.
- Chair Gauvreau reported that she gave a synopsis of the ITC 4<sup>th</sup> Quarter 2024/25 report at Trust Council.
- There was no Governance Committee Update. Chair Gauvreau reported she did not attend the last meeting.
- The ITC Board agreed to write a letter to the organizers of the Funding our Future: Financing Conservation on Private lands thanking them for the excellent workshop and expressing the interest of the ITC Board in participating in future discussions as the concept of a Regional Conservation Fund progresses.



## ISLANDS TRUST CONSERVANCY REPORT TO LOCAL TRUST COMMITTEES AND BOWEN ISLAND MUNICIPALITY

- The ITC Board approved additional allocation to Trustee Smith to cover the full cost of attendance at the “Funding our Future: Financing Conservation on Private Lands” conference on February 27<sup>th</sup>, 2025 in Esquimalt.

### 2. COMMUNICATIONS AND OUTREACH

- Trust Council’s introduction letter to Minister Kahlon was received for information. Discussion ensued on the possibility of securing additional funding from the Province for First Nations engagement and consultation.

**Learn more about Islands Trust Conservancy:** <https://islandstrust.bc.ca/conservancy/>

**Subscribe for Islands Trust Conservancy updates:** <https://islandstrust.bc.ca/subscribe/>

## REQUEST FOR DECISION

**To:** North Pender Island LTC      **For the Meeting of:** May 30, 2025  
**From:** Trust Area Services      **Date Prepared:** March 28, 2025  
**SUBJECT:** 2024/25 ANNUAL REPORT – APPROVAL OF NORTH PENDER ISLAND LTC SECTION

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**RECOMMENDATION:** That the North Pender Island Local Trust Committee approves the attached text for inclusion in the 2024/25 Annual Report for approval by Trust Council and submission to the Minister of Housing and Municipal Affairs.

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- 1 PURPOSE:** Local Trust Committees are provided with their draft sections of the annual report for review and approval so that Trust Council is able to easily approve its annual report in June 2025 without further editing from staff or trustees at the Trust Council meeting.

**BACKGROUND:** Preparation of the Islands Trust Annual Report is undertaken by Trust Area Services Communications staff, reporting to the Executive Committee and consistent with Trust Council's [Annual Report Policy 6.10.1](#). The Executive Committee approved the format and outline of the 2023/24 Annual Report at its meeting on February 5, 2025.

**2 IMPLICATIONS OF RECOMMENDATION**

**ORGANIZATIONAL:** Under Trust Council's Policy, all LTCs and Council committees are expected to review and approve their sections at regular meetings in order to have the report approved by Trust Council at its June 2025 meeting.

**FINANCIAL:** None.

**POLICY:** No implications for existing policy

**IMPLEMENTATION/COMMUNICATIONS:** The process for development of the Annual Report is outlined in Trust Council's Annual Report policy 6.10.i. Once each committee has approved its section, staff will create a draft Annual Report for review by the Executive Committee and then Trust Council consideration of approval in June. Upon approval by Trust Council, staff will send the Annual Report to the Minister of Housing and Municipal Affairs and circulate it as indicated in Trust Council's policy.

**FIRST NATIONS:** Information about First Nations relations may be included within committee reports.

**OTHER:** None.

- 3 RELEVANT POLICY(S):** Trust Council's Annual Report policy 6.10.i; *Islands Trust Act*

- 4 ATTACHMENT(S):** North Pender Island LTC input to Annual Report (draft)
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## **RESPONSE OPTIONS**

**Recommendation:** That the North Pender Island Local Trust Committee approves the attached text for inclusion in the 2024/25 Annual Report for approval by Trust Council and submission to the Minister of Housing and Municipal Affairs.

**Alternative:** That the North Pender Island Local Trust Committee approves the attached text for inclusion in the 2024/25 Annual Report for approval (as amended) by Trust Council and submission to the Minister of Municipal Affairs.

**Prepared By:** Morgana van Niekerk, A/Communications Specialist

**Reviewed By/Date:** Robert Kojima, Regional Planning Manager

## **North Pender Island Local Trust Committee**

The North Pender Island Local Trust Committee (NP LTC) held four regular business meetings in the 2024/25 fiscal year, as well as one Community Information Meeting, and three special meetings.

Work for this period focused on advancing the NP LTC priorities to:

1. Protect raptor nests
2. Increase housing affordability

The NP LTC advanced these priorities through the following key projects:

1. Raptor Nest DPA project, which will update nest mapping and update a development permit area
2. Housing Access and Affordability project, which will develop a Housing Action Plan to improve access to affordable housing

From April 1, 2024 to March 31, 2025, the NPLTC adopted the following bylaws:

1. Bylaw No. 226 that updated the LTC's Fees Bylaw

From April 1, 2024 to March 31, 2025, the NP LTC received and considered applications for five development variance permits, three development permits, two bylaw amendment applications, and four temporary use permits

During the same time period staff also reviewed 23 building permit referrals, two crown lease referrals, and one subdivision referral.